

AGENDA
PLANNING COMMISSION
116 WEST NEEDLES
BIXBY, OKLAHOMA
May 20, 2013 **6:00 PM**

CALL TO ORDER

ROLL CALL

CONSENT AGENDA

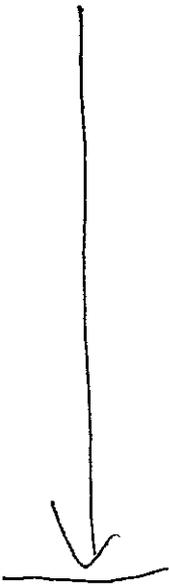
1. Annual nominations and elections for Chairperson, Vice-Chairperson, and Secretary (City Code Section 10-1-3).
2. Approval of Minutes for the May 02, 2013 Special Meeting

3

PUBLIC HEARINGS

3. (Continued from April 15 and May 02, 2013)
BCPA-9 – JR Donelson for Helene V. Byrnes Foundation. Public Hearing to receive Public review and comment, and Planning Commission recommendations regarding the adoption of a proposed amendment to the Comprehensive Plan of the City of Bixby, Oklahoma, specifically to remove the “Residential Area” specific land use designation.
Property Located: 12345 S. Memorial Dr. and/or 12404 S. 85th E. Pl.
4. (Continued from March 18, April 15, and May 02, 2013)
PUD 77 – “Byrnes Mini-Storage” – JR Donelson, Inc. Public Hearing, discussion, and consideration of a rezoning request for approval of a Planned Unit Development (PUD) for approximately 3.4 acres consisting of part of Lot 1, Block 1, *The Boardwalk on Memorial*, part of the NW/4 of Section 01, T17N, R13E, and All of Lot 11, Block 2, *Southern Memorial Acres No. 2*.
Property Located: 12345 S. Memorial Dr. and/or 12404 S. 85th E. Pl.
5. (Continued from March 18, April 15, and May 02, 2013)
BZ-365 – William W. Wilson for Helene V. Byrnes Foundation. Public Hearing, discussion, and consideration of a rezoning request from AG Agricultural District to OL Office Low Intensity District for approximately 2.9 acres consisting of part of Lot 1, Block 1, *The Boardwalk on Memorial* and part of the NW/4 of Section 01, T17N, R13E.
Property Located: 12345 S. Memorial Dr. and/or 12404 S. 85th E. Pl.

46



PLATS

99

6. **Sketch Plat – Seven Lakes III – HRAOK, Inc.** Discussion and consideration of a Sketch Plat for “Seven Lakes III” for approximately 40 acres in part of the W/2 of Section 02, T17N, R13E.

Property Located: South and east of the intersection of 121st St. S. and Sheridan Rd.

117

7. **Final Plat – Scenic Village Park – Tanner Consulting, LLC (PUD 76).** Discussion and consideration of a Final Plat and certain Modifications/Waivers for “Scenic Village Park” for 22 acres in part of the E/2 of Section 02, T17N, R13E.

Property Located: South and west of the intersection of 121st St. S. and Memorial Dr.

OTHER BUSINESS

125

8. **BSP 2013-02 – Panda Express – Bannister Engineering, LLC (PUD 67).** Discussion and possible action to approve a PUD Detailed Site Plan and building plans for “Panda Express,” a Use Unit 12 restaurant development for part of the NW/4 SW/4 of Section 25, T18N, R13E.

Property located: 10535 S. Memorial Dr.

138

9. **BSP 2013-03 – Grand Bank – Sisemore, Weisz & Associates, Inc. (PUD 65).** Discussion and possible action to approve a PUD Detailed Site Plan and building plans for “Grand Bank,” a Use Unit 11 bank and retail development for Lot 5, Block 1, *101 Memorial Square.*

Property located: 8200 E. 101st St. S.

OLD BUSINESS

NEW BUSINESS

ADJOURNMENT

Posted By: Enyark

Date: 05/08/2013

Time: 10:00 AM

**MINUTES
PLANNING COMMISSION
116 WEST NEEDLES
BIXBY, OKLAHOMA**

May 02, 2012

6:00 PM

SPECIAL-CALLED MEETING

In accordance with the Oklahoma Open Meeting Act, Title 25 O.S. Section 311, the agenda for this meeting was posted on the bulletin board in the lobby of City Hall, 116 W. Needles Ave., Bixby, Oklahoma on the date and time as posted thereon, a copy of which is on file and available for public inspection, which date and time was at least twenty-four (24) hours prior to the meeting, excluding Saturdays and Sundays and holidays legally declared by the State of Oklahoma.

STAFF PRESENT:

Erik Enyart, AICP, City Planner
Patrick Boulden, Esq., City Attorney

OTHERS ATTENDING:

See below
(Sign-In Sheet lost after meeting)

CALL TO ORDER:

Vice/Acting Chair Larry Whiteley called the meeting to order at 6:02 PM.

Erik Enyart advised the Commission that, as there were only three (3) members present, it would take all three (3) votes in the affirmative to pass any Motion.

ROLL CALL:

Members Present: John Benjamin, Larry Whiteley, and Lance Whisman.
Members Absent: Thomas Holland and Jeff Baldwin.

CONSENT AGENDA:

1. Approval of Minutes for the April 15, 2013 Regular Meeting
2. Approval of Minutes for the April 18, 2013 Special Meeting

Acting/Vice-Chair Larry Whiteley introduced Consent Agenda Items numbered 1 and 2. The Commissioners noted that all three (3) of them were in attendance at those meetings.

Acting/Vice-Chair Larry Whiteley asked to entertain a Motion. John Benjamin made a MOTION to APPROVE Consent Agenda Items numbered 1 and 2, the Minutes of the two (2) meetings as presented by Staff. Lance Whisman SECONDED the Motion. Roll was called:

ROLL CALL:

AYE: Benjamin, Whiteley, & Whisman
NAY: None.
ABSTAIN: None.
MOTION CARRIED: 3:0:0

PUBLIC HEARINGS

3. (Continued from April 15, 2013)
BCPA-9 – JR Donelson for Helene V. Byrnes Foundation. Public Hearing to receive Public review and comment, and Planning Commission recommendations regarding the adoption of a proposed amendment to the Comprehensive Plan of the City of Bixby, Oklahoma, specifically to remove the “Residential Area” specific land use designation.
Property Located: 12345 S. Memorial Dr. and/or 12404 S. 85th E. Pl.

4. (Continued from March 18 and April 15, 2013)
PUD 77 – “Byrnes Mini-Storage” – JR Donelson, Inc. Public Hearing, discussion, and consideration of a rezoning request for approval of a Planned Unit Development (PUD) for approximately 3.4 acres consisting of part of Lot 1, Block 1, *The Boardwalk on Memorial*, part of the NW/4 of Section 01, T17N, R13E, and All of Lot 11, Block 2, *Southern Memorial Acres No. 2*.
Property Located: 12345 S. Memorial Dr. and/or 12404 S. 85th E. Pl.

5. (Continued from March 18 and April 15, 2013)
BZ-365 – William W. Wilson for Helene V. Byrnes Foundation. Public Hearing, discussion, and consideration of a rezoning request from AG Agricultural District to OL Office Low Intensity District for approximately 2.9 acres consisting of part of Lot 1, Block 1, *The Boardwalk on Memorial* and part of the NW/4 of Section 01, T17N, R13E.
Property Located: 12345 S. Memorial Dr. and/or 12404 S. 85th E. Pl.

Vice/Acting Chair Larry Whiteley introduced the item and asked Erik Enyart for the Staff Report and recommendations. Mr. Enyart summarized the Staff Report as follows:

To: Bixby Planning Commission
From: Erik Enyart, AICP, City Planner
Date: Friday, April 26, 2013
RE: Report and Recommendations for:
*PUD 77 – “Byrnes Mini-Storages” – JR Donelson, Inc., and
BZ-365 – William W. Wilson for Helene V. Byrnes Foundation*

(NOTE: BCPA-9 and BZ-365 concern two (2) tracts, while PUD 77 concerns three (3) tracts.)

LOCATION:

PUD 77: – 12345 S. Memorial Dr. and/or 12404 S. 85th E. Pl.
– Part of Lot 1, Block 1, *The Boardwalk on Memorial*, part of the NW/4 of Section 01, T17N, R13E, and All of Lot 11, Block 2, *Southern Memorial Acres No. 2*

BCPA-9/BZ-365:
– 12345 S. Memorial Dr. and/or 12404 S. 85th E. Pl.

- Part of Lot 1, Block 1, The Boardwalk on Memorial and part of the NW/4 of Section 01, T17N, R13E

LOT SIZE:

PUD 77: approximately 3.4 acres in three (3) tracts
BCPA-9/BZ-365: approximately 2.9 acres in two (2) tracts

EXISTING ZONING:

PUD 77: AG Agricultural District/PUD 29A & RS-2 Residential Single-Family District
BCPA-9/BZ-365: AG Agricultural District/PUD 29A

EXISTING USE:

PUD 77: A soccer practice field and a single-family dwelling with accessory building
BCPA-9/BZ-365: A soccer practice field and a residential accessory building

REQUESTED ZONING:

OL Office Low Intensity District & PUD 77 (existing RS-2 zoning to remain in place)

SUPPLEMENTAL ZONING:

Corridor Appearance District (part)

SURROUNDING ZONING AND LAND USE:

North: OL, AG, CS/OL/PUD 68, & RS-1; A single-family residence on a 7-acre tract zoned OL and AG and the PUD 68 "North Bixby Commerce Park" pending development on a 16-acre tract, a drainage channel, and residential homes in Houser Addition. To the northwest at 12113 S. Memorial Dr. is the Spartan Self Storage ministorage development on an unplatted 1-acre tract zoned CS, and commercial development in 121st Center.

South: RS-1 & RS-2; Single-family residential zoned RS-1 in Gre-Mac Acres along 124th St. S. and RS-2 in Southern Memorial Acres No. 2.

East: RS-2; Single-family residential in Southern Memorial Acres No. 2.

West: CS/PUD 29-A; The The Boardwalk on Memorial shopping center and Memorial Dr.

COMPREHENSIVE PLAN: Low Intensity + Residential Area (BCPA-9 requests removal of Residential Area specific land use designation)

PREVIOUS/RELATED CASES: (Not a complete list; Minor Architectural Committee and Planning Commission signage approvals in the Boardwalk shopping center not included here):

PUD 29 – The Boardwalk on Memorial: Part of Lot 1, Block 1, The Boardwalk on Memorial (of which subject property was a part), Lots 1 and 2, Block 1, Gre-Mac Acres, requested for rezoning and PUD approval – PC Recommended Approval 05/20/2002 and City Council Approved PUD 29 and CS zoning for Lot 1 and OL zoning for Lot 2 06/10/2002 (Ordinance # 850, evidently dated 06/11/2001 in error).

PUD 29A – The Boardwalk on Memorial: Request for Major Amendment to PUD 29, known as PUD 29A, which expanded the original PUD and underlying CS zoning to an unplatted area to the north of Lots 1 and 2, Block 1, Gre-Mac Acres, and rezoned Development Area B to AG for "open space" – PC Recommended Approval 03/17/2003 and City Council Approved 04/28/2003 (Ordinance # 867).

Preliminary Plat of The Boardwalk on Memorial: Request for Preliminary Plat approval for part of subject property – Recommended for Approval by PC 04/21/2003 and Approved by City Council 04/28/2003.

Final Plat of The Boardwalk on Memorial: Request for Final Plat approval for part of subject property – Recommended for Approval by PC 11/21/2005 and Approved by City Council 11/28/2005.

"Minor Amendment PUD 29b to PUD 29, 29a": Request for Planning Commission approval of the first Minor Amendment to PUD 29A (could have been called "Minor Amendment # 1) to approve a drive through bank window on the south side of the building for Grand Bank – PC Approved 02/22/2005.

AC-07-08-01 – Request for Architectural Committee approval of a masonry archway over an internal access drive on the north side of the The Boardwalk on Memorial (of which subject property was a part) – AC Approved 08/20/2007.

"PUD 29A Minor Amendment # 1 [2]": Second request for Minor Amendment to PUD 29A to (1) Remove restrictions from east-facing signs and (2) Increase maximum display surface area for wall signs from 2 square feet per lineal foot of building wall to 3 square feet per lineal foot of building wall as permitted by the Zoning Code – Planning Commission Conditionally Approved 11/19/2007. Should have been called "Minor Amendment # 2."

5

AC-07-10-11 & AC-07-10-13: Request for Architectural Committee approval of two (2) wall signs for The Boardwalk on Memorial (of which subject property was a part) for The Eye Center South Tulsa – Tabled by AC 10/15/2007 pending resolution of outstanding PUD zoning issues and Approved by AC 12/17/2007 after Minor Amendment # 2 was approved.

BL-373 – William Wilson for Boardwalk on Memorial I, LP: Request for Lot-Split approval to separate the east approximately 472' from the balance of the subject property –PC Approved 02/16/2010.

PUD 29A Minor Amendment # 3: Request for Minor Amendments to PUD 29A to remove Development Area B from the PUD – Planning Commission Continued the application from the January 19, 2010 meeting to the February 16, 2010 meeting. The submission of PUD 29A Major Amendment # 1 in lieu of this application was recognized as the Withdrawal of this application.

PUD 29A Major Amendment # 1: Request for Major Amendments to PUD 29A to relax Zoning Code bulk and area requirements for Development Area B to allow for Lot-Split per BL-373, which Development Area B was required to be legally attached to lots having the minimum required amount of public street frontage – PC Recommended Approval 02/16/2010 and City Council Approved 03/08/2010 (Ord. # 2033).

AC-11-06-03 – The Boardwalk on Memorial: Request for Planning Commission approval of an Electronic/LED ground sign for The Boardwalk on Memorial (of which subject property was a part), which became the second allowable ground sign on the property upon the attachment of the archway sign (cf. AC-07-08-01, AC-07-10-11, & AC-07-10-13) to the north side of the building as an extension of the building wall, which thus became a wall sign as originally approved by the City – PC Approved 06/20/2011.

RELEVANT AREA CASE HISTORY: (Not a complete list)

BCPA-3, PUD 68, & BZ-341 – North Bixby Commerce Park – Lou Reynolds for Alvis Houser – Request to amend the Comprehensive Plan to redesignate property (in part) “Medium Intensity,” rezone from AG to CS and OL, and approve PUD 68 for a ministorage, “trade center / office-warehouse,” and retail development on a 16-acre tract abutting subject property to the north – PC voted 2 in favor and 3 opposed on a Motion to approve the development on 04/20/2009. On 04/27/2009, on appeal, the City Council reversed the Planning Commission’s action. On 06/08/2009, the City Council denied the ordinance which would have approved the rezoning, PUD, and Comprehensive Plan amendment, on the City Attorney’s advice regarding certain language in the ordinance, and called for the developer to proceed “under existing ordinances.” On 06/22/2009, the City Council Approved, by Ordinance # 2030, all three (3) applications as submitted, and with no Conditions of Approval. The legal descriptions in the ordinance reflected the underlying CS/OL zoning pattern as recommended by Staff, rather than per the “Exhibit 1” to the PUD.

Preliminary Plat of North Bixby Commerce Park (PUD 68) – Request for approval of a Preliminary Plat and certain Modifications/Waivers for a ministorage, “trade center / office-warehouse,” and retail development on a 16-acre tract abutting subject property to the north – PC recommended Conditional Approval 03/15/2010 and City Council Conditionally Approved 03/22/2010.

Final Plat of North Bixby Commerce Park (PUD 68) – Request for approval of a Final Plat and certain Modifications/Waivers for a ministorage, “trade center / office-warehouse,” and retail development on a 16-acre tract abutting subject property to the north – PC recommended Conditional Approval 05/17/2010 and City Council Conditionally Approved 05/24/2010.

BSP 2010-01 – North Bixby Commerce Park – RK & Associates, PLC / McCool and Associates, P.C. (PUD 68) – Request for approval of a PUD Detailed Site Plan for a ministorage, “trade center / office-warehouse,” and retail development on a 16-acre tract abutting subject property to the north – PC Conditionally Approved 07/19/2010.

PUD 76 “Scenic Village Park” & BZ-364 – Tanner Consulting, LLC – Request for rezoning from AG to CG and PUD approval for a multiple-use development, including ministorage, on 92 acres located approximately 1/3 of a mile west of subject property – PC recommended Conditional Approval 02/27/2013 and City Council Approved 03/25/2013 (Ord. # 2116).

Preliminary Plat of “Scenic Village Park” – Tanner Consulting, LLC – Request for Preliminary Plat approval for a multiple-use development, including ministorage, on 92 acres located approximately 1/3 of a mile west of subject property – PC recommended Conditional Approval 03/18/2013 and City Council Conditionally Approved 03/25/2013 (Ord. # 2116).

Staff searched for but did not find any Zoning or site plan approval records related to the Spartan Self Storage, a 1-acre ministorage development at 12113 S. Memorial Dr. which appears to have 0' setbacks along the north/side, east/rear, and south/side property lines. The Tulsa County Assessor's records indicate the facility was constructed in 1998.

BACKGROUND INFORMATION:

History of the Applications. When beginning the review of PUD 77 on March 08, 2013, Staff observed that the Comprehensive Plan designates the BZ-365 subject property as Low Intensity + Residential Area, with which OL zoning and a non-residential PUD are not consistent. Staff advised the Applicant by email that these applications needed to be Continued to the April 15, 2013 Regular Meeting, to allow for the preparation, submission, and concurrent review of a request for Comprehensive Plan Amendment, as would be required by Zoning Code Section 11-5-2. By phone conversation on March 08, 2013, Applicant JR Donelson consented to the Continuance to the April Regular Meeting. On March 18, 2013, the Planning Commission Continued both cases to the April 15, 2013 Regular Meeting.

BCPA-9 was submitted and advertised for the April 15, 2013 Regular Meeting, and is covered by this Staff Report.

At the TAC meeting held March 04, 2013, Staff discussed with the developer and developer's agent JR Donelson some of the issues presented by the original proposal to build ministorage buildings on the north and south property lines. Upon further reflection, Staff advised the Applicant by email on March 08, 2013 that this situation will apparently create need to secure easements from the adjoining property owners:

1. Temporary construction easement (or license) to allow construction activities that marginally fall on the adjoining properties during the erection of the buildings and installation of masonry facades
2. Permanent easement for building wall maintenance (repair, painting, repointing/"tuck-pointing," cleaning, etc.)

Securing multiple easements would be a significant issue to undertake, and considering the number of residential property owners abutting the south side of the property, may be nearly impossible to completely secure.

In addition to the other issues noted at the TAC meeting and the above, there may be other consequences 0' setback building may present that Staff has not yet considered due to there being no local experience with such a situation where a commercial building would be built on a residential property line. Zero-lot-line developments are typically residential (townhouses, etc.) or downtown/storefront-style buildings, the latter which are not constructed locally anymore. In those cases, residential abuts residential, and commercial abuts commercial. Staff requested input from Tulsa area community planners, and received many comments, but none of them provided insight into the question of construction or maintenance easements for 0' setback situations, or alternative solutions or new issues this would present.

Given:

1. 170' lot width
2. 30' minimum spacing between buildings
3. 70' desired main building with (20' exterior access, 10' interior access, 10' internal walking corridor, 10' interior access, 20' exterior access)
4. 20' desired south line building (10' X 20' storage units)
5. 20' desired north line building (10' X 20' storage units),

It appears that any setback along the south line would not allow all three (3) buildings to be in their current configurations. The modular pre-fabricated storage buildings come in 10' X 10' increments. That would appear to require reducing one (1) tier of exterior access units from 20' to 10' in depth. Other than reducing the building with, the only other flexibility would come from reducing drive(s), which is subject to the review and approval of the Fire Marshal.

JR Donelson, Bill Wilson, Fire Code Enforcement Official Jim Sweeden, and City Planner Erik Enyart met on April 02, 2013, to discuss this situation and options. It was determined that the Zoning Code's 30' minimum separation between buildings was intended to allow turning movements for fire apparatuses within the site. Upon agreement in the meeting, the southerly east-west drive was enhanced with an additional gate at its west end, allowing for a singular drive with no required turning movements from east to west ends. This allowed the reduction in the drive width from 30' to 26', with the 4' to be applied along the south line as the building setback. Per the Fire Marshal, the full 26' drive width is

required to be carried through to 85th Pl. E. The northernmost buildings continue to be proposed on the northerly property line, with expectation that the property owner will be able to secure easement or other legal permission to allow temporary construction activities and future building wall maintenance as described above. As of the date of this report, documentation regarding easement or other legal permission has not been received.

Staff encourages the revision adding a 4' setback from the southerly property line of Development Area A ("DA A"), as a 0' commercial building setback from single-family residential properties was problematic for several reasons. Further, the 4' setback, as per statements by the Applicant in the April 02, 2013 meeting with Staff, would allow for the several existing mature trees along the fenceline to be preserved. Installing a required fence or redesigning the site in accordance with the Zoning Code requirements, which would normally result in an internal drive constructed here (which has no required setback) would result in the loss of these trees. To ensure this design element is incorporated in this PUD, Staff recommends adding a 4'-wide "Existing Tree Preservation and Landscaping Easement" along the entirety of the south line of DA A, as per other recommendations in this report. Due to the 4' building-to-property line proximity and the intent to use materials required by the Zoning Code, the building wall is proposed to serve as the screening fence along this south property line. Staff has reservations about the proposed use of "stamped concrete to resemble brick." Unless the Planning Commission and City Council can be convinced that the "stamped concrete" will be consistent in quality in terms of appearance and resistance to weathering, cracking, and fading, Staff recommends actual brick be used along the south line, in respect to the residential neighborhood. This also applies to the east end of the southernmost building, which appears to be approximately 5' from the west/rear yard line of the residential Lot 12, Block 2, Southern Memorial Acres No. 2, rather than having the 10' setback required.

While resuming the review of PUD 77 on April 05, 2013, Staff found that the PUD proposed a maximum floor area of 40,000 square feet, which would be an effective FAR of 0.33. Staff calculated the proposed square footage based on the site plan, at 57,500 square feet, which is an FAR of 0.47. The maximum allowable in the OL district is 0.30, but it may be increased to 0.40 by Special Exception (or PUD, in this case). In response, on April 09, 2013, the Applicant submitted a revised PUD removing certain portions of building areas as originally proposed. The revised plan now proposes approximately 47,600 square feet, an FAR of 0.39, which may be allowed by this PUD.

As requested by the Applicant, this PUD was Continued from the April 15, 2013 Regular Meeting to this May 02, 2013 Special Meeting agenda. This report has been updated to reflect changes made to the PUD, received on the date of this report, April 26, 2013. The name of the PUD was changed from "Byrnes Mini-Storage" to "Byrnes Mini-Storages." In the interest of time, Staff has dispensed with the customary detailed re-review of the report for resolution of internal inconsistencies, and focused most attention to the recommended corrections, modifications, and Conditions of Approval.

The Nature and Value of the Comprehensive Plan. Comprehensive Plans are the result of intensive study, broadly garnered and comprehensive information, professional analysis and coordination, public input, and general consensus of the City's staff, Planning Commission, and City Council. They bring together all planning functions (e.g., housing, land use, transportation, physical environment, energy, infrastructure and community facilities, demographics, etc.), analyze and compare them all on the community-wide scale, relate them to specific geographical areas within the community (i.e. the Land Use Map), and consider all this with a long-range time perspective (e.g., 15-20 years into the future).

The Comprehensive Plan is a thorough, complete, and well researched policy document used to inform the Planning Commission, City Council, and the Public at large how land can best be developed and used (among other things), and so how rezoning applications should be accepted or rejected. Comprehensive Plans, when followed, prevent arbitrary, unreasonable, or capricious exercise of the legislative power resulting in haphazard or piecemeal rezonings (read: rezoning decisions legally indefensible in a court of law).

Comprehensive Plans can be highly prescriptive, prescribing specific land uses and land use intensities to specific parcels of land, or can be highly generalized, merely mapping out large swaths of land which may be suitable for certain intensities of development, and including a broad range of zoning districts which may be authorized therein. Bixby's Comprehensive Plan falls somewhere in between, specifically designating certain areas with specific land uses, and others more generally (e.g. the "Corridor" designation).

Zoning Code Section 11-5-2 prohibits rezonings which would conflict with the Comprehensive Plan, and requires that such rezonings "must be processed along with a request to amend the land use map and

a PUD in order to be accepted and considered." The Applicant has requested PUD 77 in support of BCPA-9 and the rezoning application.

Procedure for Comprehensive Plan Amendments. Certain passages in the Comprehensive Plan text (page 30, 55, etc.) suggest the anticipation of amendments to the Plan. However, the Comprehensive Plan does not provide, nor do State Statutes, a definite procedure or method for the City or property owners to request to amend the Comprehensive Plan. The City of Broken Arrow regularly (quarterly, etc.) considers applications to amend their Comprehensive Plan, for cases where a rezoning application would not be consistent with the Plan, but the plan amendment and rezoning application may be appropriate.

After receiving the first two (2) requests in mid-2008 (BCPA-1 and BCPA-2), Staff consulted the City of Broken Arrow to determine how that community goes about facilitating applications for Comprehensive Plan amendments, and followed the same method, which was supported by the Applicant's attorney in those cases, which was to advertise the public hearing in the same manner used for a rezoning application: By sign posting on the property, newspaper publication, and mailing a notice to all property owners within a 300' radius of the subject property. This method was used in the successful applications BCPA-3 and BCPA-4 in 2009, BCPA-5 and BCPA-6 in 2011, and BCPA-7 and BCPA-8 in 2012, and all of these have been done in this amendment case as well.

ANALYSIS:

Subject Property Conditions. The subject property consists of three (3) parcels of land:

1. The Easterly approximately 472' of Lot 1, Block 1, The Boardwalk on Memorial (approximately 1.4 acres), separated from the balance of the platted lot with the shopping center and parking lot by Lot-Split BL-373 in 2010, Tulsa County Assessor's Parcel # 57623730115240,
2. One (1) acre unplatted tract, being the E. 256.23' of the N. 170' of the NW/4 of Section 01, T17N, R13E, Tulsa County Assessor's Parcel # 97301730154670, and
3. Lot 11, Block 2, Southern Memorial Acres No. 2 (approximately 0.6 acres), Tulsa County Assessor's Parcel # 58100730101130.

Tract "1" contains a soccer practice field and is zoned AG with PUD 29A. Tract "2" contains a residential accessory building historically associated with Tract "3" and is zoned AG. Tract "3" contains a single-family dwelling and is zoned RS-2.

Tracts "1" and "2" are requested for Comprehensive Plan amendment and rezoning from AG to OL. All three (3) tracts are to be covered by PUD 77. PUD 77 would supersede PUD 29A for the concerned part thereof. Tracts "1" and "2" are in Development Area A, and Tract "3" is in Development Area B. Tract "3" / Development Area B will remain zoned RS-2 and will continue to maintain the house structure as a residential dwelling.

All of the subject property is relatively flat and drains to the east to an un-named tributary of Fry Creek # 1.

Comprehensive Plan. The Comprehensive Plan designates all of the subject property as (1) Low Intensity and (2) Residential Area. BCPA-9 requests removal of Residential Area specific land use designation, to allow Development Area A to be rezoned to OL and be developed with a ministorage business.

The "Matrix to Determine Bixby Zoning Relationship to the Bixby Comprehensive Plan" ("Matrix") on page 27 of the Comprehensive Plan provides that OL zoning May Be Found In Accordance with the Low Intensity designations of the Comprehensive Plan Land Use Map.

Page 7, item numbered 1 of the Comprehensive Plan states:

"The Bixby Comprehensive Plan map depicts desired land uses, intensities and use and development patterns to the year 2020. Intensities depicted for undeveloped lands are intended to develop as shown. Land uses depicted for undeveloped lands are recommendations which may vary in accordance with the Intensities depicted for those lands." (emphasis added)

This language is also found on page 30, item numbered 5.

This text introduces a test to the interpretation of the Comprehensive Plan Land Use Map, in addition to the Matrix: (1) If a parcel is within an area designated with a specific "Land Use" (other than "vacant, agricultural, rural residences, and open land," which cannot be interpreted as permanently-planned land uses), and (2) if said parcel is undeveloped, the "Land Use" designation on the Map should be interpreted to "recommend" how the parcel should be zoned and developed. Therefore, the "Land Use" designation of the Comprehensive Plan Land Use Map should also inform/provide direction on how rezoning applications should be considered by the Planning Commission and City Council.

If approved to remove the Residential Area specific land use designation, BCPA-9 would not confer a new one.

Per the Matrix, PUDs (as a zoning district) are In Accordance or May Be Found In Accordance with all designations of the Comprehensive Plan Land Use Map, and thus PUD 77 would be In Accordance with the Comprehensive Plan as a zoning district.

General. Because the review methodology is similar, and all three (3) applications are essentially rezoning-related and propose to prepare the subject property for the same ministorage development, this review will, for the most part, include all three (3) applications simultaneously, and not attempt to differentiate between the analyses pertaining to each of the different applications.

The submitted site plans for the development exhibit a suburban-style design. The plan indicates essentially three (3) rows of ministorage buildings, with internal drives connecting them. Primary access would be through an "Existing 25' Access Easement" through the Boardwalk on Memorial shopping center parking lot. The entrance will be gated past the leasing office and parking area. Secondary, emergency-only ingress/egress would be through a driveway connecting the southeast corner of Development Area A through the south/west side of the residential lot to S. 85th E. Pl. Per revised plans received April 09, 2013, another emergency-only gated entrance will be installed at the west end of the southerly drive in Development Area A, to allow a "straight shot" drive to the emergency-only ingress/egress at the southeast corner of the PUD. This revision will allow the reduction in the 30' minimum building spacing for that drive only per the Fire Marshal, since the 30' spacing between buildings is primarily to ensure adequate spacing for fire apparatus turning movements and thus, removing the need for turning movements from that drive reduces the drive width requirement.

For stormwater drainage and detention purposes, a stormwater detention pond will be constructed at the northeast corner of DA A. This will, in turn, drain into the un-named upstream tributary of Fry Creek # 1.

In the interest of efficiency and avoiding redundancy, regarding PUD particulars for needed corrections and site development considerations, such as screening, buffering, and exterior materials, please review the recommended Conditions of Approval as listed at the end of this report.

The Fire Marshal's, City Engineer's, and City Attorney's review correspondence are attached to this Staff Report (if received). Their comments are incorporated herein by reference and should be made conditions of approval where not satisfied at the time of approval.

The Technical Advisory Committee (TAC) discussed PUD 77 at its regular meeting held March 04, 2013. Minutes of that meeting are attached to this report.

Access. The proposed internal automobile traffic and pedestrian flow and circulation and parking can be inferred from the provided site plans.

Development Area A is "landlocked," having no frontage on a dedicated and built public street. Access will be provided by means of Mutual Access Easements from adjoining lots with public street frontage and between lots within the development.

The development is planned to have two (2) means of ingress / egress through The Boardwalk on Memorial shopping center, which will lead to two (2) entrances / gates at the west end of DA A. The routes as planned for the two (2) drives through the shopping center must be legally provided by dedication of Mutual Access Easement(s). The Applicant needs to provide in the appropriate section of the Text a timeline for the dedication or a citation of Document # where such easement(s) is/are recorded.

The two (2) Mutual Access Easements to connect and allow cross access between proposed Lots 1 and 2, Block 1, "Byrnes Mini-Storages," must be represented on the Exhibit A "Preliminary Plat" and other Exhibits as appropriate.

At the east end of the PUD, a 26'-wide emergency-only ingress/egress drive will be constructed through Development Area B, connecting DA A to 85th Pl. E. It is not clear, from the provided plans, whether and to what extent that 26'-wide drive will fall on Lot 12, Block 2, Southern Memorial Acres No. 2. Per the plans, part of the drive may fall on that residential lot by means of a 15'-wide Mutual Access Easement. The plans cite the recordation of the easement with Document # 2013018388, which is a "Roadway Easement" granted from Gail & John Horne to The Helene V. Byrnes Foundation, recorded 02/22/2013. The document grants easement over "The Northwesterly 15 feet" of Lot 12. Based on its representation on the provided exhibits, it is assumed to have meant the "Northeasterly 15 feet." Otherwise, the described area may be a pie-shaped piece extending southeasterly from the northwest corner of said Lot 12, which may not allow for the emergency-only 26'-wide drive as shown on the plans. The Applicant should clarify and/or amend the easement if/as needed.

Development Area A has frontage on the northerly dead-end of S. 85th E. Ave., a half-street platted in Gre-Mac Acres but not built. The PUD Text needs to specify that access to this platted right-of-way will not be allowed within this PUD.

Surrounding Zoning and Land Use Compatibility. Surrounding zoning patterns are primarily CS, OL, AG, RS-1, and RS-2.

To the north is a single-family residence on a 7-acre tract zoned OL and AG, the PUD 68 "North Bixby Commerce Park" pending development on a 16-acre tract with underlying zoning CS and OL, a drainage channel, and residential homes in Houser Addition zoned RS-1. "North Bixby Commerce Park" consisted of (1) a ministorage development on the southerly approximately 8 acres, a "trade center" / "office-warehouse" development on the middle approximately 5 acres, and a retail commercial site on the balance of the acreage at its north end along 121st St. S. Thus, the City of Bixby has recently approved OL zoning and ministorage development for the tract abutting to the north, similar to the present applications. To the northwest at 12113 S. Memorial Dr. is the Spartan Self Storage, a 1-acre ministorage development which appears to have 0' setbacks along the north/side, east/rear, and south/side property lines. The Tulsa County Assessor's parcel records indicate the facility was constructed in 1998.

The Boardwalk on Memorial shopping center to the west is zoned CS/PUD 29-A, and Memorial Dr. is further west zoned CS and CG. On March 25, 2013, the City Council Approved/Conditionally approved PUD 76, CG zoning per BZ-364, and a Preliminary Plat of "Scenic Village Park," a multiple-use development, including ministorage, on 92 acres located approximately 1/3 of a mile west of subject property.

South and east of the subject property is single-family residential zoned RS-1 in Gre-Mac Acres along 124th St. S. and RS-2 in Southern Memorial Acres No. 2. Care must be applied when allowing the non-residential zoning and ministorage business land use to abut residential zoning and land use.

The requested OL zoning would be a logical extension of the two (2) established OL districts to the north, one (1) of which is abutting. Further, the location of BZ-365 would place the OL district between CS districts abutting to the north and west and the RS districts abutting to the south and east, and so the OL could serve as a buffer zoning district between CS and RS. OL zoning is the lowest-intensity non-residential district available in the City of Bixby, and is commonly used as a buffer zoning district between higher-intensity uses and residential districts. Ministorage itself is commonly used as a buffer land use between higher intensity uses and residential districts.

Recognizing its landlocked position and long and narrow tract configuration, Staff believes that the location and configuration of Development Area A and the character surrounding area satisfactorily meet the expectations of Zoning Code Section 11-9-16.C.13 for ministorage developments.

Therefore, Staff is supportive of BCPA-9 and OL zoning as requested by BZ-365, as refined by PUD 77. Staff has certain recommendations as to the specifics of PUD 77 to enhance the compatibility of the development with the residential neighborhood to the south and east, listed in the Staff Recommendation section of this report.

Zoning Code Section 11-7I-8.C requires PUDs be found to comply with the following prerequisites:

1. Whether the PUD is consistent with the comprehensive plan;
2. Whether the PUD harmonizes with the existing and expected development of surrounding areas;
3. Whether the PUD is a unified treatment of the development possibilities of the project site; and
4. Whether the PUD is consistent with the stated purposes and standards of this article.

Regarding the fourth item, the "standards" refer to the requirements for PUDs generally and, per Section 11-7I-2, the "purposes" include:

- A. Permit innovative land development while maintaining appropriate limitation on the character and intensity of use and assuring compatibility with adjoining and proximate properties;

B. Permit flexibility within the development to best utilize the unique physical features of the particular site;

C. Provide and preserve meaningful open space; and

D. Achieve a continuity of function and design within the development.

For the sake of development and land use compatibility, as described more fully above, Staff would be supportive of the three requests supporting the development proposal if it provides for land use buffering and compatibility needs. If these were satisfactorily provided for, Staff believes that the prerequisites for PUD approval per Zoning Code Section 11-7I-8.C will have been met.

Staff Recommendation. *For all the reasons outlined above, Staff believes that the surrounding zoning and land uses and the physical facts of the area weigh in favor of the requested amendment and rezoning applications generally. Therefore, Staff recommends Approval of both requests, subject to the following corrections, modifications, and Conditions of Approval:*

1. *Subject to the satisfaction of all outstanding Fire Marshal, City Engineer, and City Attorney recommendations.*
2. *Please secure and submit easements (or other acceptable form of legal agreement) to allow incidental construction activities and future building wall maintenance activities on the two (2) parcels adjoining to the north, to allow the buildings to be constructed on the north property line.*
3. *Please submit clear and compelling information on what the building wall would look like on the south side, as facing the residential homes, in order to not have to install a screening fence along the south line, 4' from the building. A note on site plan states "Back wall of building to be stamped concrete to resemble brick." This needs to be operationalized by placing text into the Development Standards for DA A. Further, please submit an example or exhibit of the "stamped concrete" actually proposed, for the review and approval of the Planning Commission and City Council. Unless the Planning Commission and City Council can be convinced that the "stamped concrete" will be consistent in quality in terms of appearance and resistance to weathering, cracking, and fading, Staff recommends actual brick be used along the south line, in respect to the residential neighborhood. This also applies to the east end of the southernmost building, which appears to be approximately 5' from the west/rear yard line of the residential Lot 12, Block 2, Southern Memorial Acres No. 2.*

In the PUD received April 26, 2013, certain standards have been proposed but which are not fully consistent with Staff's recommendations. Reconciliation is recommended.

4. *In addition to the southerly property line as discussed elsewhere, Zoning Code Section 11-9-16.C.3, the masonry building wall and screening fence requirements would appear to apply to:*
 - a. *The north building wall of the northernmost buildings (to the extent adjoining OL zoning, and potentially visible from RS-1 zoning in Houser Addition),*
 - b. *The north property line (to the extent adjoining OL zoning, and potentially visible from RS-1 zoning in Houser Addition),*
 - c. *The east property line (adjoining RS-2 zoning),*
 - d. *The east-facing ends of three (3) easternmost buildings (adjoining RS-2 zoning).*
 - e. *The west-facing ends of three (3) westernmost buildings (visible from RS-2 zoning).*

The PUD Text needs to list and describe building wall and screening fence materials to be applied to each of the above, and the same need to be labeled on the appropriate Exhibit(s).

In the PUD received April 26, 2013, certain standards have been proposed but which are not fully consistent with Staff's recommendations. Reconciliation is recommended.

5. *The modular pre-fabricated storage buildings come in 10' X 10' increments. Please confirm that these dimensions incorporate the thickness of exteriorly-applied siding materials (masonry or "stamped concrete" tilt-up panels, etc.), or adjust site plans as necessary. For the sake of the residential properties to the south and the other reasons expressed elsewhere in this report, Staff is not supportive of reducing the setback from the south line less than 4' as currently proposed.*

6. *The PUD needs to specify that the existing U/Es will be vacated, and the Applicant will request a Modification/Waiver of the 17.5' Perimeter U/E requirement when platting, and specify to propose, in lieu thereof, a U/E between the northernmost buildings to allow the waterline loop, and future utilities as may be necessary.*
7. *"Roadway Easement" granted from Gail & John Horne to The Helene V. Byrnes Foundation, Document # 2013018388, recorded 02/22/2013, grants easement over "The Northwesterly 15 feet" of Lot 12. Based on its representation on the provided exhibits, it is assumed to have meant the "Northeasterly 15 feet." Otherwise, the described area may be a pie-shaped piece extending southeasterly from the northwest corner of said Lot 12, which may not allow for the emergency-only 26'-wide drive as shown on the plans. Please clarify and/or correct easement if/as needed.*
8. *Page 2, DA B Minimum Building Setbacks: Zoning Code citation needs to use a period instead of a colon to remove ambiguity.*
9. *Page 3, Section C.1.a: First sentence wording suggests a screening fence will be installed along the north line. Please clarify.*
10. *Page 3, Section C.1.a: Staff recommends adding a 4'-wide "Existing Tree Preservation and Landscaping Easement" along the entirety of the south line of DA A, as per other recommendations in this report. Please add this to the narrative here, stating that all existing mature trees of a certain minimum caliper (and define same) within the 4' easement will be preserved, or replaced through time at a 2:1 ratio, and new landscaping will be planted, spaced X' (20' maximum) on center, for areas currently containing no trees, in consideration of the requested removal of the requirement for a screening fence along the south property line of DA A. Describe what new landscaping will be installed, which must be found satisfactory to the Planning Commission and City Council. Specify that the new landscaping will be replaced through time at a 1:1 ratio. Describe how new landscaping will be irrigated and how the minimum "drip line" requirements of the landscaping chapter of the Zoning Code will be met, at least in spirit and intent.*

In the PUD received April 26, 2013, certain standards have been proposed but which are not fully consistent with Staff's recommendations. Reconciliation is recommended.

11. *Page 3, Section C.1: Please quantify how much landscaping will be proposed for which property lines (landscaped strip widths, landscaped areas, and tree counts), recognizing the following minimum setbacks/minimum required landscaped areas and landscaping tree requirements as per Zoning Code Sections 11-7I-5.E and 11-7C-4 Table 3 and this PUD:*
 - a. *The west approximately 68' of the north line of DA A abutting AG zoning has a 10' setback therefrom (680 square feet = 1 landscaping tree; 15% of this area must be landscaped).*
 - b. *The East Line of DA A, abutting RS-2 zoning for a distance of 170', has a 10' setback therefrom (1,700 square feet = 2 landscaping trees; 15% of this area must be landscaped).*
 - c. *The South Line of DA A, abutting RS-1 zoning for a distance of approximately 723.74', has a 10' setback therefrom (7,237.4 square feet = 8 landscaping trees; 15% of this area must be landscaped).*
 - d. *The 170'-long West Line of DA A has a 15' setback therefrom (2,550 square feet = 3 landscaping trees; 15% of this area must be landscaped).*

Any proposed reductions from the above must be spelled out and approved as a part of this PUD and the same must be compensated for by alternative landscape plans, in recognition of Zoning Code Section 11-7I-5.E. Recognizing that this PUD, as proposed, grants flexibility from the setbacks per a., b., and c. and from the screening fence requirement for ministorage uses along the north and south lines of DA A, the proposed standards should demonstrate that the combination of existing tree preservation and new tree plantings will be more than the minimum standards as would otherwise be required.

In the PUD received April 26, 2013, certain standards have been proposed but which are not fully consistent with Staff's recommendations. Reconciliation is recommended.

12. *Page 3, Section C.2.a: Please specify that the one (1) "ground monument sign" "shall" not exceed 15' in height (used term "will" connotes intent at this point in time, and does not clearly have obligatory effect in this context).*

13

13. Page 4, Section C.7 Access, Circulation and Parking: Describe plans for access such as identified in this analysis:
 - a. The gated emergency-only ingress/egress through Lot 11, Block 2, Southern Memorial Acres No. 2 to S. 85th Pl. E., to include
 - b. Whether and to what extent that 26'-wide drive will fall on Lot 12, Block 2, Southern Memorial Acres No. 2, and
 - c. If the "Roadway Easement" on Lot 12, Block 2, Southern Memorial Acres No. 2 was adequately described therein or requires amendment.
14. Exhibits A, B, F, & G: Please represent and label existing U/Es (with notation that same are subject to being vacated) and proposed new U/E (see related review item).
15. Exhibit A "Preliminary Plat": Approval of Exhibit A as a part of this PUD, though titled "Preliminary Plat," would not constitute the approval of an application for Preliminary Plat of "Byrnes Mini-Storages," which will require submission of an application and a full review for Preliminary Plat approval. Staff has not reviewed Exhibit A fully as if it were a Preliminary Plat.
16. Exhibit B: Please dimension existing and proposed setbacks as follows:
 - a. Three (3) westernmost buildings from the west property line.
 - b. Northernmost two (2) buildings from the east line of proposed Lot 1, Block 1, "Byrnes Mini-Storages."
 - c. Southernmost building from the east line of proposed Lot 2, Block 1, "Byrnes Mini-Storages."
 - d. House in Development Area B / proposed Lot 3, Block 1, "Byrnes Mini-Storages" from (at a minimum) front, northeast/side, and 135'-wide west/rear property lines.
17. Exhibit B: Please label Development Areas as stated in Introduction section on page 1.
18. Exhibit B: Please label proposed fence height and materials as per other recommendations in this report. Fence notation completely missing at southwest corner of DA A.
19. Exhibit C: Please restore PUD name or add PUD #.
20. Exhibit G: Please confirm all existing trees of a certain minimum caliper (must be defined) are represented within X' (4' minimum) north and south of the south line of DA A and represent any currently missing. Aerial and satellite imagery indicate several other trees than are represented on the exhibit, but their sizes are not known.
21. For the recommended Conditions of Approval necessarily requiring changes to the text or exhibits, recognizing the difficulty of attaching Conditions of Approval to PUD ordinances due to the legal requirements for posting, reading, and administering ordinance adoption, please incorporate the changes into appropriate sections of the PUD, or with reasonable amendments as needed. Please incorporate also the other conditions listed here which cannot be fully completed by the time of City Council ordinance approval, due to being requirements for ongoing or future actions, etc. Per the City Attorney, if conditions are not incorporated into the PUD text and exhibits prior to City Council consideration of an approval ordinance, the ordinance adoption item will be Continued to the next City Council meeting agenda.
22. A corrected PUD text and exhibits package shall be submitted incorporating all of the corrections, modifications, and conditions of approval of this PUD: Two (2) hard copies and one (1) electronic copy (PDF preferred).

Erik Enyart stated that most of the recommendations were for minor corrections, but several of them ask for specific information and proposals, such as for the type of masonry material to be used on the buildings, which [proposals] should be made at this meeting.

Vice/Acting Chair Larry Whiteley asked if the Applicant was present and wished to speak on the item. Applicant JR Donelson asked to be allowed to speak after the others signed in to speak had spoken first.

Vice/Acting Chair Larry Whiteley recognized Fritz from the Sign-In Sheet. Fritz asked to be allowed to speak after listening for a "little bit."

Vice/Acting Chair Larry Whiteley recognized Judy Sunday of 12446 S. 85th E. Pl. from the Sign-In Sheet. Ms. Sunday stated that she had lived in the neighborhood from 1973 to 1982, moved to an acreage, and then back [to the neighborhood]. Ms. Sunday stated that, as for the “stamped concrete,” that is all “well and good—if it crumbles, fix it.” Ms. Sunday stated that she was more concerned for the engineer’s [recommendations on stormwater] runoff. Ms. Sunday stated that she would oppose the project for the runoff. Ms. Sunday expressed concern that the house within the PUD would be removed for the new drive access. Ms. Sunday reiterated her concern over drainage.

Erik Enyart stated that, after the previous meeting, where drainage was discussed at length even though the application was not technically considered, he had contacted the City Engineer to get a synopsis of the drainage situation for this neighborhood. Mr. Enyart stated that the City Engineer emailed a response. Mr. Enyart read the first two (2) paragraphs of the email as follows:

“The Earth Change Permit approval for the Wilson property included constructing a crown along the east/west axis of the soccer field at the same elevation as the original dike between the Butler/Wilson property on the north. The dike’s purpose was to prevent runoff from the Butler site from entering or crossing the Wilson property, a function that is now to be performed by the field crown.

The Wilson Earth Change Permit also included providing drainage swale along the south boundary of the Wilson property to receive and convey neighborhood runoff to the east end of the Wilson property.

A specific drainage plan has yet to be submitted, but any future development will continue to be required to receive and convey off-site runoff (from either the neighborhood or the Butler property) and convey the water to the Fry Channel without allowing bypass from the north or creating a dam on the south.”

Before Mr. Enyart read the final paragraph, Judy Sunday stated the drainage will “still be a problem.” Matt Talley of 8113 E. 124th St. S. stated that, when [The Boardwalk on Memorial shopping center was being developed around 2003], the City Council required that the “back” part be “cut off” and the developer was told no to development because of the drainage.

Vice/Acting Chair Larry Whiteley asked Erik Enyart who was responsible for the drainage behind the homes [along the north side of 124th St. S.]. Mr. Enyart responded that the property owner was responsible for taking care of the drainage for this [subject] property, but would not be required to solve the drainage problems for the whole neighborhood. Mr. Enyart stated that the buildings would have roofs that drain into the development’s drives, which drain to [a stormwater detention facility at the northeast corner of the development]. Mr. Enyart stated that the drainage would be “fully contained and drained properly as concerns this property.”

Judy Sunday expressed concern for the new development to the south of the neighborhood. Vice/Acting Chair Larry Whiteley advised Ms. Sunday that Matt Talley was talking at this time. Mr. Talley expressed concern over the adequacy of the tributary to Fry Creek Ditch # 1, and asked if anything had been done to improve it. Erik Enyart responded that the channel had been widened

by the developer of the property to the north, but that it had only been done enough to benefit that property. Mr. Enyart stated that this property would have a stormwater detention pond, which would have an outlet to the channel. Mr. Enyart stated that the drainage matters were an engineering function and not a part of the rezoning application process. Mr. Talley stated, "The City shot him down then." Vice/Acting Chair Larry Whiteley asked when this event occurred. Mr. Enyart responded that [PUD 29 was approved in] "2003, give or take." Mr. Talley stated, "The City said no more [development to the] east; what changed?"

A question was asked as to the drainage for the area. Erik Enyart stated, "The Applicant would be best to respond to the stormwater drainage design." JR Donelson stated, "I'll answer when" the others were done speaking. Vice/Acting Chair Larry Whiteley invited Mr. Donelson to speak at this time. Mr. Donelson stated that the City Staff recommended approval [of the applications]. Mr. Donelson stated that [City Engineer] Jared [Cottle] would be responsible for the engineering requirements, and that the [drainage matters] were not a part of the Zoning, PUD, or Comprehensive Plan [Amendment] processes. Mr. Donelson stated that, as Erik [Enyart] said, the roofs will drain into the site, through the storm drains into the detention ponds, which will drain into Fry Creek at the same rate as presently discharged. Mr. Donelson stated that there would be a four (4)-foot [setback along the south line]. Mr. Donelson clarified with Mr. Enyart that this area would be called a "[4' Existing Tree Preservation and] Landscape Easement." Mr. Donelson stated that there was an existing drain 2 ½ feet off the [south] property line—a French drain—which would stay in place and catch the water [draining from the] 4' of grass. Mr. Donelson stated that [these applications] met all the criteria, and Staff recommended approval, "and we thank him." Mr. Donelson provided a printout of a photograph of stamped concrete.

Vice/Acting Chair Larry Whiteley asked how much more the real masonry would cost versus the stamped concrete, and JR Donelson responded it would be about 25% more than the "tilt-up" [concrete] panels.

Vice/Acting Chair Larry Whiteley asked who put the [French drain] in, and JR Donelson responded that [subject property owner Bill] Wilson did. Mr. Donelson stated that it was an approximately 12" diameter pipe. Mr. Whiteley asked if it needed cleaned out, and Mr. Donelson responded, "I can't answer that—I didn't install or design it." Mr. Donelson stated that he had not shot the elevations for it either. Mr. Whiteley asked Erik Enyart what he knew about the drain pipe, and Mr. Enyart stated that he had not previously known it even existed. Mr. Whiteley asked what its purpose was, and Mr. Donelson responded that it was designed to take water from Mr. Wilson's property. Mr. Whiteley stated that this needed to be looked at, and that he thought something could be done to make the situation better for both parties. Judy Sunday stated that Mr. Whiteley was correct [regarding the concern for cleaning the French drain pipe], "if someone would just check it."

Vice/Acting Chair Larry Whiteley and Matt Talley discussed a neighboring property owner that had a pipe sticking out of the ground.

Vice/Acting Chair Larry Whiteley clarified with Erik Enyart that it was possible to add a Condition of Approval that the developer work with the City Engineer on drainage plans as concerns the houses along the south property line.

Patrick Boulden stated that such a Condition would not be necessary, as it was the engineer's job anyway, and was outside the purview of the Planning Commission directly. Mr. Boulden indicated the Commission's action on drainage would be misplaced, "except when it comes to the intensity of use." Vice/Acting Chair Larry Whiteley expressed favor for not adding such a Condition of Approval, based on the City Attorney's comments. Mr. Boulden noted that "The engineer will do this whether you say or not." It was noted that someone needed to make sure the water was going somewhere, as French drains occasionally get stopped up.

Lance Whisman clarified with Matt Talley that the French drain being discussed was located south of the subject property and along the north line of the residential homes along 124th St. S. Mr. Talley stated that he never saw the pipe go in—only sand.

Lance Whisman expressed concern that a development could take care of the water on its own side, but still block drainage across the lot. Mr. Whisman stated that he had seen this before.

Lance Whisman stated that the question before the Commission was whether or not to change the Comprehensive Plan—whether it felt the proposed change fits in well enough.

Judy Sunday asked "Where's the City Engineer?" Ms. Sunday and others asked how this could be approved now without the drainage questions being resolved. Erik Enyart addressed Vice/Acting Chair Larry Whiteley and offered to respond to these questions. Mr. Enyart stated that these were all zoning exercises and it was not normal to see engineer's drainage plans until the plat [application]. A Commissioner asked if the Commission would see those plans later. Mr. Enyart stated that [drainage review and approval] was done at the City Engineer's office, so the Commission would not see the plans, but the City Engineer may include comments in his review memo, which spells out deficiencies. Mr. Enyart stated that the City Engineer's memo was included in the agenda packets, so in that case, the Commissioners would see that at the Preliminary Plat application stage.

John Benjamin excused himself momentarily. Patrick Boulden noted that quorum had been lost. All three (3) Commissioners took a brief recess at 6:43 PM.

All three (3) Commissioners returned to the dais and Vice/Acting Chair Larry Whiteley called the meeting back to order at 6:46 PM.

Vice/Acting Chair Larry Whiteley asked to entertain a Motion.

Lance Whisman reiterated his rhetorical question, "should we change the Comprehensive Plan? Do we make the change more positive, or more interpretive, or a better fit? Is this better than the Residential that is there now?" Mr. Whisman indicated he did not believe the change would be beneficial and made a MOTION to Recommend DENIAL of BCPA-9, Agenda Item # 3. Larry Whiteley SECONDED the Motion. Roll was called:

ROLL CALL:

AYE: Whiteley, & Whisman
NAY: Benjamin.
ABSTAIN: None.
MOTION FAILED: 2:1:0

Erik Enyart discussed with the Commissioners the possibility of Continuing the application to the May 20, 2013 Regular Meeting, in order to allow other Commissioners to attend and possibly achieve a quorum majority vote.

John Benjamin made a MOTION to CONTINUE BCPA-9, Agenda Item # 3, to the May 20, 2013 Regular Meeting. Larry Whiteley SECONDED the Motion.

Judy Sunday asked what was going on. Erik Enyart responded that the likelihood of an up-or-down vote after a 2:1 split vote was not high, so the Commissioners were Continuing the applications to the next meeting, where there may be four (4) or five (5) Commissioners, and the likelihood of a three (3) vote up-or-down on a Motion would be much higher. Mr. Enyart stated that the next meeting date would be May 20, 2013.

Roll was called:

ROLL CALL:

AYE: Benjamin, Whiteley, & Whisman
NAY: None.
ABSTAIN: None.
MOTION CARRIED: 3:0:0

Erik Enyart stated that the vote was on Agenda Item # 3, the Comprehensive Plan amendment request. Mr. Enyart stated that a followup Motion and vote on the other two (2) related applications was needed.

Lance Whisman made a MOTION to CONTINUE PUD 77 and BZ-365, Agenda Items # 4 and 5, to the May 20, 2013 Regular Meeting. John Benjamin SECONDED the Motion. Roll was called:

ROLL CALL:

AYE: Benjamin, Whiteley, & Whisman
NAY: None.
ABSTAIN: None.
MOTION CARRIED: 3:0:0

6. **PUD 78 – “Willow Creek” – Rosenbaum Consulting, LLC.** Public Hearing, discussion, and consideration of a rezoning request for approval of a Planned Unit Development (PUD) for approximately 104.78 acres consisting of part of the NE/4 of Section 12, T17N, R13E. Property Located: South and west of the intersection of 131st St. S. and Mingo Rd.
-

Vice/Acting Chair Larry Whiteley introduced the item and asked Erik Enyart for the Staff Report and recommendations. Mr. Enyart summarized the Staff Report as follows:

To: Bixby Planning Commission
From: Erik Enyart, AICP, City Planner
Date: Thursday, May 02, 2013
RE: Report and Recommendations (Revised 05/02/2013 to reflect the revised plans and information received 05/02/2013) for:
PUD 78 – "Willow Creek" – Rosenbaum Consulting, LLC

LOCATION: – South and west of the intersection of 131st St. S. and Mingo Rd.
– Part of the NE/4 of Section 12, T17N, R13E
LOT SIZE: 104.78 acres, more or less
EXISTING ZONING: – RS-3 Residential Single Family District
– RM-2 Residential Multifamily District
SUPPLEMENTAL ZONING: Corridor Appearance District (300' south from centerline of 131st St. S.)
EXISTING USE: Agricultural
REQUEST: Approval of PUD 78
SURROUNDING ZONING AND LAND USE:

North: CS & AG; The Faith Temple Assembly church, agricultural land, and a house on a 3-acre tract zoned CS, and agricultural land to the north of 131st St. S.
South: RS-3 & RE; Single family residential in Blue Ridge Estates, Blue Ridge II, Southbridge, and Southwood South Addition.
East: CS & AG; The Faith Temple Assembly church, agricultural land zoned CS, and, across Mingo Rd.: AAA Landscaping, Four Seasons Lawn Care, agricultural land, and a cell tower, all in unincorporated Tulsa County.
West: RS-3, CG, & CS; Single family residential in Blue Ridge II and Sun Burst and, along 131st St. S.: a house on a 3-acre tract zoned CS, the WW Sprinkler Repair business, and the Broken Arrow Hitch & Trailer, and miscellaneous other uses, all zoned CS and CG.

COMPREHENSIVE PLAN:

- (1) Medium Intensity + Residential
- (2) Development Sensitive/Low Intensity + Vacant, Agricultural, Rural Residences, and Open Land
- (3) Medium Intensity + Commercial Area

PREVIOUS/RELATED CASES: (Not necessarily a complete list)

BZ-23 – Robert Leikam – Request for rezoning from AG to OL, CS, RM-2, & RS-2 for approximately 117 acres, including subject property – Modified approval as per Staff granted in 1974 (Ord. # 282).
BZ-31 – Robert Weir – Request for rezoning from AG to RS-2 for 8.0 acres of the subject property at about the 13400-block of S. Mingo Rd. – Approved together with BZ-23 November 19, 1974 (Ord. # 282).
BZ-236 – Faith Temple Assembly, Inc. – Request for rezoning from RM-1 to CS for area of subject property currently zoned RM-2 for future church parking lot – Recommended/Approved for RM-2 zoning in November 1997/January 1998 (Ord. # 765).
BZ-338 – Cardinal Industries, Inc. c/o Bob Lemons – Request for rezoning from RM-2, RM-1, CS, OL, RD, and RS-2 to RS-3 for approximately 104.74 acres (includes subject property) for a future "Willow Creek" residential subdivision – PC recommended Approval 05/19/2008 and City Council Approved 06/09/2008 (Ord. # 1000).
Preliminary Plat of Willow Creek – Cardinal Industries, Inc. c/o Bob Lemons – Request for Preliminary Plat and Modification/Waiver (maximum cul-de-sac length) approval for 104.74 acres (includes subject property) – PC recommended Conditional Approval on 05/19/2008 and City Council Conditionally Approved 05/27/2008.
BL-353 – Faith Temple Assembly, Inc. c/o Tony Genoff – Request for Lot-Split approval for 13 acres abutting to the north and east (but including approximately 2 acres of subject property currently zoned RM-2) to separate the church property from its surrounding acreage – PC Approved 05/19/2008.

19

BL-364 – HRAOK, Inc. for Prestige Trading Company – Request for Lot-Split approval for 104.74 acres (includes subject property) to allow for the conveyance of approximately 2.3 acres on the east side of the Old Fry Creek Ditch to adjoining property owner (Genoff) to the north (part of a land trade along with BL-365) – PC Approved 12/15/2008.

BL-365 – HRAOK, Inc. for Tony Genoff – Request for Lot-Split approval for 9 acres abutting to the north and east, to allow for the conveyance of the approximately 2 acres of subject property currently zoned RM-2 for attachment to the subject property (part of a land trade along with BL-364) – PC Conditionally Approved 12/15/2008.

Revised Preliminary Plat of Willow Creek – HRAOK, Inc. – Request for revised Preliminary Plat and Modification/Waiver (to exceed the 2:1 maximum lot depth to lot width ratio of SRs Section 12-3-4.F) approval for subject property – PC recommended Conditional Approval on 06/15/2009 and probably Conditionally Approved by City Council 06/22/2009.

BBOA-562 – Hank Spieker for Cardinal Industries, LLC – Request for Special Exception per Zoning Code Section 11-7B-2 Table 1 to allow a Use Unit 5 church and Use Unit 5 private elementary school in the RS-3 and RM-2 Residential districts for subject property – Withdrawn by Applicant 07/03/2012.

Preliminary Plat of Willow Creek – Rosenbaum Consulting, LLC – Request for Preliminary Plat approval for subject property – Pending PC consideration 05/02/2013.

RELEVANT AREA CASE HISTORY: (not necessarily a complete list and does not include cases located in unincorporated Tulsa County)

BZ-342 – JR Donelson for Cardinal Industries – Request for rezoning from RS-3 to CS for southerly approximately 2.3 acres of the planned plat of “Willow Creek Plaza” – PC recommended Approval 04/20/2009 and City Council Conditionally Approved 05/11/2009 (Ord. # 2015).

Preliminary Plat of Willow Creek Plaza – Request for Preliminary Plat approval for approximately 9 acres abutting subject property to the east – PC recommended Conditional Approval on 04/20/2009 and City Council Conditionally Approved 04/27/2009.

BACKGROUND INFORMATION:

The subject property was approved for a Preliminary Plat (and Modification/Waiver of the 300' maximum cul-de-sac/dead end street standard, to allow cul-de-sacs in the 350' range based on local precedent) for a 254-lot development in 2008. The Planning Commission recommended Conditional Approval of the Preliminary Plat on 05/19/2008 and City Council Conditionally Approved it 05/27/2009.

As part of a series of Lot-Splits reallocating ownership patterns, the subject property acquired approximately two (2) acres on the west side of the “Twin Hills Creek” / “Old Fry Creek” in exchange for approximately 2.33 acres on the east side of the same. Per an older rezoning case,

(BZ-236 – Faith Temple Assembly, Inc., 1998), the approximately two (2) acres retains RM-2 zoning.

The subject property was redesigned for a 276-lot development with more stormwater drainage/detention Reserve areas in 2009. The Planning Commission recommended Conditional Approval of the Preliminary Plat on 06/15/2009 and City Council probably Conditionally Approved it 06/22/2009 (electronic copy of Minutes appears to have been overwritten by a later meeting date's Minutes), along with a Modification/Waiver to exceed the 2:1 maximum lot depth to lot width ratio of SRs Section 12-3-4.F.

The property ownership has since changed. The new owner has proposed a new Preliminary Plat for a 291-lot development, but has retained the overall framework (streets and blocks) as proposed and Conditionally Approved in 2009. This PUD would allow for the 65' minimum lot widths per RS-3 to be reduced to 60', which would allow for the increase in the number of lots as compared to the previous plat proposal.

The developer has expressed this situation within the PUD as follows, “Due to market conditions the Willow Creek is primarily based on a smaller lot size and excellent location to drive the residential market to this area of Bixby. With great access and a consistent market of residential home construction in this range PUD# [78] will greatly improve the Willow Creek success for the City of Bixby's continued growth.

This Planned Unit Development (PUD# [78]) is an overlay covering the RS-3 zoning district and will generally follow RS-3 dimensional and density standards with certain notable exceptions. The purpose of this PUD# [78] is to modify the dimensional and development standards allowing the site to be developed into 60' minimum lot widths.”

The Preliminary Plat for the subject property is also pending Planning Commission consideration at this May 02, 2013 Special Meeting.

On Thursday, May 02, 2013, the Applicant submitted revised electronic copies of the PUD Text & Exhibits package and the Preliminary Plat. This report has been revised to reflect recommendations from the original Staff Report which have been satisfied with this submittal. Although the numbered recommendations at the end of this report have been fully updated, some of the following text may not reflect the latest version. A copy of the revised PUD Text & Exhibits package is attached to this report.

ANALYSIS:

Subject Property Conditions. The subject property is agriculturally-used and contains 104.78 acres, more or less. It is zoned RS-3, with the exception of approximately two (2) acres zoned RM-2. It has approximately 1,470 feet of frontage on 131st St. S. and approximately 1,505 feet of frontage on Mingo Rd. It is bounded on the east by Mingo Rd., on the south and west by residential subdivisions Southwood South Addition, Southbridge, Blue Ridge Estates / Blue Ridge II, and Sun Burst, on the west by the Broken Arrow Hitch & Trailer business on a 4-acre tract zoned CG and a house on a 3-acre tract zoned CS, on the north by 131st St. S., and on the northeast by "Twin Hills Creek" / "Old Fry Creek." Per the EPA My WATERS Mapper, "Twin Hills Creek" was that drainageway that, since the Fry Ditch project was constructed, is now known as Fry Creek # 2 from its northernmost extent to its confluence with Fry Creek # 1. The creek was also previously rerouted southwest of the intersection of 141st St. S. and Mingo Rd. to discharge directly to the Arkansas River.

The land is relatively flat and appears to slope slightly to the southeast along a trajectory paralleling "Twin Hills Creek" / "Old Fry Creek," which then drains more or less due south after it crosses to the east side of Mingo Rd.

Although the Haikey Creek Flood Improvement project may affect the floodplain situation, the subject property currently contains substantial areas of 100-year (1% Annual Chance) Regulatory Floodplain. Per the City Engineer, any development of the subject property must coordinate with the Haikey Creek engineering design plans.

Development of the property at this time, and prior to the completion of the Haikey Creek drainage improvement project will result in the requirement to (1) Submit and receive FEMA approval of a Conditional Letter Of Map Revision based on Fill (CLOMR-F), (2) Fill / elevate the property to above the current 100-year Base Flood Elevation (BFE), (3) Provide compensatory storage for the fill / elevation, (6) Submit and receive FEMA approval of a LOMR-F, and (5) provide on-site stormwater detention. Elevating the subject property out of the 100-year floodplain would avoid conflict with the restriction from platting lots within the 100-year floodplain per SRs § 12-3-2.O. The subject property was approved for a CLOMR-F (Case No. 10-06-2013C) per letter from FEMA dated September 09, 2010. The balance of the actions remains to be done.

Access. Primary access to the subdivision would be via one (1) entrance from 131st St. S. and another from Mingo Road, and the third via 133rd St. S. through Sun Burst. There are no other stub-out streets abutting the subject property to connect to, and no undeveloped residential acreages to provide a new stub-out street to.

The Subdivision Regulations do not contain a ratio schedule for the number of required points of access to a subdivision based on the number of lots within it. Recommendations as to adequacy of the three (3) means of ingress and egress in ratio to the number of lots proposed should come from the City Planner, Fire Marshal, and Police Chief, all of whom have expressed that the three (3) should be considered adequate when 254 lots were proposed. All three (3) verbally indicated that the three (3) were still adequate when that number was increased to 276 lots. 291 lots are now proposed, and Staff is soliciting input from these officials as to the adequacy at this number of lots.

A Residential Collector Street is planned, at 60' in right-of-way width (and presumed roadway width at 36', when infrastructure plans are submitted), as per Subdivision Regulations standards, connecting 131st St. S. to Mingo Rd., located between Blocks 1, 2, 3, and 7 on the west and Blocks 4, 5, 6, 8, and 9 on the east.

General. This PUD primarily proposes to reduce the RS-3 minimum lot width requirement from 65' to 60', to allow for platting as "Willow Creek." The submitted site plan for the development (Concept Plat) exhibits a suburban-style subdivision design.

The Fire Marshal's, City Engineer's, and City Attorney's review correspondence are attached to this Staff Report (if received). Their comments are incorporated herein by reference and should be made conditions of approval where not satisfied at the time of approval.

The Technical Advisory Committee (TAC) reviewed this PUD on April 03, 2013. The Minutes of the meeting are attached to this report.

In the interest of efficiency and avoiding redundancy, regarding PUD particulars for needed corrections and site development considerations, please review the recommended Conditions of Approval as listed at the end of this report.

Comprehensive Plan. The Comprehensive Plan designates the subject property as (1) Medium Intensity + Residential, (2) Development Sensitive/Low Intensity + Vacant, Agricultural, Rural Residences, and Open Land, and (3) Medium Intensity + Commercial Area.

The existing RS-3 and RM-2 districts both allow the single-family development as proposed. Per the Matrix, the existing RS-3 and RM-2 districts are In Accordance or May Be Found In Accordance with all the Comprehensive Plan designations.

Per the Matrix, PUDs (as a zoning district) are In Accordance or May Be Found In Accordance with all designations of the Comprehensive Plan Land Use Map, and thus PUD 78 would be In Accordance with the Comprehensive Plan as a zoning district.

Therefore, Staff believes that the proposed single-family residential PUD should be recognized as being consistent with the Comprehensive Plan.

Surrounding Zoning and Land Use Compatibility. Surrounding zoning patterns are primarily AG, RS-3, RE, CS, and CG. To the south and west are single family residential subdivisions Sun Burst, Blue Ridge Estates, Blue Ridge II, Southbridge, and Southwood South Addition zoned RS-3 and RE.

Along 131st St. S. to the northwest are a house, the WW Sprinkler Repair business, and the Broken Arrow Hitch & Trailer business, and miscellaneous other uses, all zoned CS and CG. Along 131st St. S. To the north of 131st St. S. is agricultural land zoned AG. To the northeast (across "Twin Hills Creek" / "Old Fry Creek") is the Faith Temple Assembly church and agricultural land zoned CS.

Land east of the subject property, across Mingo Rd., includes the AAA Landscaping and Four Seasons Lawn Care businesses, agricultural land, a communications tower, and land recently acquired by the City of Bixby for the Haikey Creek Flood Improvement project, all zoned AG in unincorporated Tulsa County.

Staff believes that the proposed single-family residential development contemplated by this PUD would be compatible with and complimentary to the surrounding residential uses and zoning patterns, and future uses anticipated in the areas to the north and east.

The subject property is within the Corridor Appearance District, to the extent located within 300' of the centerline of 131st St. S. However, Zoning Code Sections 11-7G-3 exempts residential zoning districts.

Within the nearest subdivisions, lots in Sun Burst, Blue Ridge Estates, Blue Ridge II, and Southbridge are all typically 65' in width, consistent with their RS-3 zoning. Lots in Southwood South Addition to the south are typically 150' in width, consistent with RE zoning. The closest additions with smaller lots is the recently-approved "Bixby Landing Second," which has lots varying in width but as narrow as 50', as permitted by PUD 57 and its underlying RS-4 zoning. Abbie Raelyn Estates at 132nd St. S. and 78th E. Ave. and Copperleaf at 131st St. S. and Sheridan Rd. each contain lots at roughly 50' typical widths.

Somewhat similarly to this development, the City of Bixby recently approved PUD 72, allowing Lantern Hill at 146th St. S. and Sheridan Rd. to be replatted as Southridge at Lantern Hill with 60'-wide lots. Upon its August 27, 2012 approval of PUD 72, the City Council imposed the following Conditions of Approval:

"...subject to the corrections, modifications, and conditions provided by staff and the additional conditions that houses constructed will be a minimum of 1,800 square feet up to 3,000 square feet, with full masonry up to the plate line, which masonry shall not include "hardi board. This approval is subject to final review by the City Planner for inclusion of language in PUD-72 providing for these conditions..."

Within this PUD, similar language has been added, but is different:

"The minimum home square footage shall be 1,500 square foot.

Home exterior shall be 50% masonry up to the first floor plate line."

The Developer should note the difference and be advised that the City Council may request changes to such standards for quality in exchange for the benefits conferred upon the development by this PUD.

Regardless of area precedent for lots narrower than 65', recognizing that the subject property contains approximately two (2) acres of RM-2 zoning, and that this PUD will exclude multifamily use in favor of an exclusively single-family development, it seems reasonable that the RM-2 zoning be translated to a small measure of added intensity in the form of the relaxation of the 65' lot widths to 60'. This 60' width appears to have allowed for a (291 - 276 =) 15 lot net increase in lot yield, or 5.4% increase over the 276 last proposed and Conditionally Approved. For comparison, even when excluding the

approximately two (2) acres of RM-2 zoning and counting the same as RS-3, provisions for residential intensity within a PUD would permit approximately 540 lots per Zoning Code Section 11-7I-5.A.1.a.

The PUD would not appear to be inconsistent with surrounding Zoning or land use patterns.

Potential Subdivision Design Enhancements. In the Staff Reports for the original and revised Preliminary Plat applications, Staff identified several potential design enhancements, some of which have been incorporated as of the 2009 redesign (more reserve areas, and reserve areas connecting to other reserve areas, etc.). One of the recommended potential design enhancements was to use the 130' PSO electric powerline right-of-way easement as a greenway / walking trail amenity (for illustration, consider the walking trail in the Churchill Park subdivision in Jenks). This could connect to the corresponding open space Reserve along the north side of the Southbridge subdivision. This trajectory would allow it to connect to the planned trail along the south side of Southbridge and into the Tulsa Metropolitan Trails system connection at Washington Irving Park to the west. The other Reserve Areas used for drainage/detention may also allow for passive recreational uses.

Studies have shown that lots abutting greenways, linear parks, and parks in general, fetch higher prices in the marketplace and maintain their values better than others not abutting such amenities. Use as a walking trail amenity could enhance the attractiveness, and thus value, of the entire subdivision.*

Such design enhancements could be discussed and decided at an early date, and without significant developer investment in a singular plan, if a Sketch Plat were submitted first for the Planning Commission's approval of the conceptual layout.

These recommendations were not incorporated into the design, but there are now more Reserve areas, primarily designed for stormwater drainage/detention. The Planning Commission should discuss with the developer the likelihood of adding walking trails around the high banks of the drainage/detention areas.

Staff Recommendation. Staff believes that the proposed PUD is consistent with Zoning Code Section 11-7I-8.C and the purposes and intent of the Zoning Code generally and recommends Approval subject to the following corrections, modifications, and Conditions of Approval:

1. Subject to the satisfaction of any outstanding Fire Marshal, City Engineer, and City Attorney recommendations.
2. Per the City Engineer, any development of the subject property must coordinate with the Haikey Creek engineering design plans.
3. Development of the property at this time, and prior to the completion of the Haikey Creek drainage improvement project will result in the requirement to (1) Submit and receive FEMA approval of a Conditional Letter Of Map Revision based on Fill (CLOMR-F), (2) Fill / elevate the property to above the current 100-year Base Flood Elevation (BFE), (3) Provide compensatory storage for the fill / elevation, (6) Submit and receive FEMA approval of a LOMR-F, and (5) provide on-site stormwater detention. Elevating the subject property out of the 100-year floodplain would avoid conflict with the restriction from platting lots within the 100-year floodplain per SRs § 12-3-2.O. The subject property was approved for a CLOMR-F (Case No. 10-06-2013C) per letter from FEMA dated September 09, 2010. The balance of the actions remains to be done.
- ~~4. Entire document: Please add PUD number where appropriate (PUD # 78 presuming approval).~~
- ~~5. Project Description: Correct geographical description such as follows: "The project is located approximately ½ mile south of South 131st Street east South and on the west side of Mingo Road in Bixby, Oklahoma."~~
- ~~6. Soil Characteristics: Reference to "Southridge at Lantern Hill" rather than "Willow Creek."~~
- ~~7. Platting: Please clarify language such as follows: "Prior to issuance of a certificate of occupancy a building permit, restrictive covenants, enforceable by the City of Bixby, setting forth the design standards of this approved Planned Unit Development (PUD # 78) shall be filed of record in the Office of the County Clerk. The required covenants may shall be filed in conjunction with a re-plat the subdivision plat of the property or as a separate instrument."~~
8. The "Concept Plat" is recognized as the site plan required by Zoning Code Section 11-7I-8.B.1. The following corrections or enhancements should be made:

* <http://www.tpl.org/research/parks/economic-health-benefits.html>

23

- a. Please change the street names as per the "Street Names Plat" provided to the Applicant on April 03, 2013.
 - b. The Reserve Areas should indicate the purpose(s) for each per the PUD site plan requirement to represent land uses. Reserve Areas A, B, C, and D are labeled "Drainage and Detention Easement." If the Developer is agreeable to Staff's suggestion to allow their additional passive recreational use such as for walking trails, this can be added to each.
 - ~~c. Reserve Areas E and F are not labeled as to intended use (landscaping and/or entry features presumed).~~
 - ~~d. The 130' wide AEP/PSO easement (Book 3600 Page 16) is not represented on this or the Preliminary Plat.~~
 - ~~e. Please represent locations of identification signage per Zoning Code Section 11-7I-8.B.1.f (if known at this time).~~
 - f. Please represent locations and descriptions of screening and landscaping per Zoning Code Section 11-7I-8.B.1.e (if known at this time).
 - g. The graphic scale does not appear to correspond to map features. The numeric scale was not checked as its native paper size is not known.
9. Zoning Code Section 11-7I-8.B.1.c calls for the provision of plans for pedestrian access and circulation, in addition to vehicular access and circulation. The PUD needs to have wording to acknowledge that the Subdivision Regulations require sidewalks along the perimeter and internal streets, such as follows, "Sidewalks shall be constructed by the developer or individual lot owners along perimeter and internal streets in accordance with the Bixby Subdivision Regulations. Sidewalks shall be a minimum of four (4) feet in width, shall be ADA compliant, and shall be approved by the City Engineer." If walking trails will be permitted within Reserve Areas, as suggested by Staff, this should be described here as well.
 10. Information on signage, as required per Zoning Code Section 11-7I-8.B.1.f, is missing. Modern subdivisions with frontage along main arterial streets typically have identification signage at the entrances, maintained by the Homeowners Association. If plans for signage are known at this time, they should be described in an appropriate section of the PUD and represented on the "Concept Plat" site plan if known as to location. If otherwise, the PUD text can state something general, such as "Identification signage, if to be installed for this development, shall comply with Bixby Zoning Code Section 11-7B-3.B.4.b."
 11. Zoning Code Section 11-7I-8.B.1.e calls for the provision of plans for screening and landscaping. Modern subdivisions with frontage along main arterial streets typically have a uniform fence or wall along these streets, sometimes enhanced with landscaping, maintained by the Homeowners Association. If plans for perimeter walls/fences are known at this time, they should be described in an appropriate section of the PUD and represented on the "Concept Plat" site plan as to location. The development also has Reserve Areas that may someday have landscaping (sod, trees, etc.). The PUD does not have, and needs to describe in the text and represent on the "Concept Plat" site plan proposed screening/walls, entry features, and landscaping throughout, if known at this time. If otherwise, the PUD text can state something general.
 12. For the recommended Conditions of Approval necessarily requiring changes to the text or exhibits, recognizing the difficulty of attaching Conditions of Approval to PUD ordinances due to the legal requirements for posting, reading, and administering ordinance adoption, please incorporate the changes into appropriate sections of the PUD, or with reasonable amendments as needed. Please incorporate also the other conditions listed here which cannot be fully completed by the time of City Council ordinance approval, due to being requirements for ongoing or future actions, etc. Per the City Attorney, if conditions are not incorporated into the PUD text and exhibits prior to City Council consideration of an approval ordinance, the ordinance adoption item will be Continued to the next City Council meeting agenda.
 13. A corrected PUD text and exhibits package shall be submitted incorporating all of the corrections, modifications, and conditions of approval of this PUD: One (1) hard copy and one (1) electronic copy (PDF preferred).

24

Erik Enyart noted that he had distributed copies of a revised Staff Report for this and the Preliminary Plat prior to the meeting, which updated the recommendations based on the revised PUD and plat received that day. Mr. Enyart stated that copies of the revised PUD and plat were also distributed to the Commissioners prior to the meeting.

Vice/Acting Chair Larry Whiteley recognized Roger Klein from the Sign-In Sheet. Mr. Klein stated that he was representing *BA Hitch & Trailer*, and Lorlane [Enterprises, LLC], the owner of [that *BA Hitch & Trailer*] property. Mr. Klein asked why his property was included in the map he received in the mail, and if his zoning was being changed. Erik Enyart responded that the circle indicated a 300' radius around the subject property, and simply demonstrated which property owners received the notice in the mail. Mr. Enyart stated that Mr. Klein's property was within 300' and so he received the notice. Mr. Enyart stated that the rezoning was only requested for the subject property. Mr. Klein asked if this application would change his zoning or what he could sell the land for. Mr. Enyart responded that it would not change his zoning. Mr. Enyart indicated he could not answer the land value question. Mr. Klein asked, if he were to sell the land "to another CG business," if this application would affect what [the property owner] would do later. Mr. Enyart stated that the only [realistic] way the zoning would change would be if the property owner themselves made an application to rezone it. A question was asked, and Mr. Klein stated that the [*BA Hitch & Trailer*] property was at 8806 E. 131st St. S.

Vice/Acting Chair Larry Whiteley recognized Jerry James from the Sign-In Sheet. Mr. James stated that he lived at 13316 S. 91st E. Ave., and "We back up to the greenbelt." Mr. James stated that he was attending for two (2) things: (1) he wanted to make sure there would be no increase in the potential flooding, and (2) he wanted to ask if this application/development would affect the "greenbelt." Mr. James expressed desire that ["Park" Lot 34, Block 3, *Blue Ridge II*] be cleaned up, and asked if anyone would do anything to improve safety and law enforcement. Mr. James described it as a potential hazard, with kids going down into it, poison ivy, and [brush and tall grass/weeds creating a potential] fire hazard.

Barrick Rosenbaum indicated to Erik Enyart he would address these questions later, and Mr. Enyart stated that the Applicant was present but was indicating he would address these questions later.

Jerry James also asked about the red stakes "at the corner."

Roger Klein asked if this property was not in the floodplain. Erik Enyart responded that "A significant amount is in the 100-year Floodplain," and would require consistency with the Haikey Creek Flood Improvement Project and compliance with the City Engineer's recommendations. Mr. Enyart stated that the developer had a plan to take all of the buildable lots out of the Floodplain, and also had FEMA approval of a CLOMR.

Lance Whisman indicated curiosity as to how the Applicant was able to "squeeze in more lots." Someone responded that the lot widths were being reduced to 60'.

Vice/Acting Chair Larry Whiteley stated that more money could probably be made by "squeezing down" the lots. Mr. Whiteley stated that whatever [*Southridge at*] *Lantern Hill* did doesn't make a difference here, and no precedent was set. Mr. Whiteley stated that this property is in the

25

Floodplain, and [*Southridge at*] *Lantern Hill* is on the top of a hill; the drainage is completely different.

A Commissioner asked why the drainage would go through *Blue Ridge [II]*. Erik Enyart stated that the [Developer's] Engineer would be the best person to respond to that question.

Barrick Rosenbaum stated that he would answer some of the questions raised. Mr. Rosenbaum addressed Jerry James and stated that the stakes were in the field where [the client's] surveyor surveyed the neighborhood. Mr. Rosenbaum stated that some of the neighbors went across the platted ["Park" Lot 34, Block 3, *Blue Ridge II*] land with their fences. Mr. Rosenbaum stated that [the client's] intent was to clean it up, make it a park-like setting, and not change the drainage patterns for the area. Mr. Rosenbaum stated that this was the same [drainage concept] as in 2009, and that the *Blue Ridge [II]* pond would not be a part of this plat. Mr. Rosenbaum stated, "This client purchased the land." Mr. Rosenbaum stated that a CLOMR-F had been approved by FEMA originally, to pull all the buildable lots out of the floodplain.

Patrick Boulden asked what the "CLOMR-F" was, and Barrick Rosenbaum stated that it [was an acronym for] "Conditional Letter Of Map Revision based on Fill." Mr. Rosenbaum stated that no changes could be made to the LOMR or one would "be in trouble" [with FEMA]. Mr. Rosenbaum stated that he was working closely with Jared Cottle on the Haikey Creek project.

Barrick Rosenbaum stated that the stormwater detention ponds would not be "wet ponds," but would be "dry ponds." Mr. Rosenbaum stated that this client has worked with sandy soils before and did not want the liability.

John Benjamin asked Jerry James if he had all his questions answered. Mr. James asked for clarification of the comment Barrick Rosenbaum made about fences across the "greenbelt" ["Park" Lot 34, Block 3, *Blue Ridge II*]. Mr. Rosenbaum stated that that lot was still owned by the developer, and, after the surveying was completed, they would have to have a meeting with the [concerned] landowners to "see what we do." Mr. Rosenbaum stated that there were a lot of fences found all through the lot. Mr. Rosenbaum stated that the client wanted to make a park for the residents of Willow Creek. Developer Brian Doyle stated, "You'll have access; no one is policing that area." Mr. James stated, "I have iris beds, and I was told I could have them as long as fire and police cars—official access could go through."

Developer Brian Doyle stated that ["Park" Lot 34, Block 3, *Blue Ridge II*] "looks terrible. We don't want houses backing up to" the detention pond as it is. Mr. Doyle stated, "We bought it to clean it up."

Barrick Rosenbaum stated that the [stormwater retention pond] in *Sun Burst* had no outlet. Mr. Rosenbaum stated that the original design under the original firm that worked on this project, which he worked for at the time, was to give it an outlet, and "We'll do the same here." Mr. Rosenbaum stated that the original design had a large lift station, but with City agreement, a trunk main sewer would be installed through *Southbridge* all the way up to 131st St. S., which will eliminate the need for another lift station.

Roger Klein asked if there would be a [screening] fence installed along the common property line. Barrick Rosenbaum stated that the developer would put in the fence along the main streets, but it would be up to the [homebuilders/homeowners] to install their own as they normally do.

Vice/Acting Chair Larry Whiteley raised the issue of development costs and number of lots as they relate to the 60' lot width matter. Mr. Whiteley asked how many more lots would there be if the lot width was reduced. Barrick Rosenbaum stated that Erik Enyart had previously estimated 15 more lots earlier in the meeting. Mr. Rosenbaum stated that the price of the homes would be right under \$200,000 and would be masonry, similar to *Southbridge*. Mr. Rosenbaum stated that it would have playgrounds, a poolhouse and pool. Mr. Whiteley asked if it would make a difference if [the 65' lot width requirement caused the developer to] lose 15 lots. Mr. Doyle responded, "It all adds up." Mr. Doyle stated that the homes would be a minimum of 1,500 square feet. Lance Whisman asked if he had not read they would be 1,800 to 3,000 square feet. Erik Enyart responded that this was a part of the Staff Report referring to [*Southridge at Lantern Hill*], to which he drew comparison due to the similarity on lot width matter and the City Council's action [on house quality requirements]. Mr. Doyle stated that most of the homes in *Southbridge* were 1,600 to 1,700 square feet.

Lance Whisman expressed concern over modifying the requirements by PUD and for the lot width reduction to 60'.

Patrick Boulden stated that, based on the discussion, it was not likely there would be a three (3) vote quorum. Brian Doyle indicated favor for having the development Continued if it looked like it would [otherwise] be turned down. Vice/Acting Chair Larry Whiteley stated that it was "more than likely to be turned down tonight" if not Continued. Mr. Whiteley stated, "We have a nice city," and the additions [it presently had] were "pretty balanced." Mr. Whiteley expressed favor for staying "with the plans laid out for us" and doing several things to help the City as well as the developer.

A Commissioner expressed interest in rejecting the PUD if it was only done to reduce the lot width requirement. Erik Enyart stated that the PUD included allowing a Use Unit 5 community pool, and the PUD was good to have in place regardless of the lot width issue. Mr. Enyart stated that, if the Commission desired to reject the 60' lot width issue, rather than Continuing [or denying] the PUD application, which would delay the project, the Commission should recommend Approval with an added Condition of Approval that the 65' lot width of the RS-3 district be retained.

Jerry James asked how wide the lots were in *Southbridge*, and Erik Enyart responded they were typically 65' in width.

Vice/Acting Chair Larry Whiteley clarified with Erik Enyart that the Commission's actions on the PUD would need to be carried through for the Preliminary Plat. Mr. Enyart stated that, if the Commission voted to recommend approval of the PUD without the lot width reduction, it would need to recommend approval of the Preliminary Plat subject to an added Condition of Approval to redesign to 65' lot widths.

There being no further discussion, Vice/Acting Chair Larry Whiteley asked to entertain a Motion. Lance Whisman made a MOTION to Recommend APPROVAL of PUD 78 with the Condition of

27

retaining the 65' lot width and subject to all the corrections, modifications, and Conditions of Approval as recommended by Staff. John Benjamin SECONDED the Motion. Roll was called:

ROLL CALL:

AYE: Benjamin, Whiteley, & Whisman
NAY: None.
ABSTAIN: None.
MOTION CARRIED: 3:0:0

Someone asked what purpose the Planning Commission's actions had if the City Council ultimately decided on these applications, and Erik Enyart confirmed that the action of the Planning Commission "does carry weight."

Roger Klein asked the Commissioners why they had Continued the previous items [BCPA-9, PUD 77, and BZ-365] when it had a 2:1 split vote, but had voted to [recommend approval of] this item. Erik Enyart responded that the Commission voted the way it did on the previous item because of a technical issue: to preserve the Public Hearing [Notice]. Mr. Enyart stated that, if it had not Continued those cases, they would all have to be readadvertised [and with added delay and expense].

Mike Lowman of 8900 E. 131st St. S. asked if [he and the others] would receive notice of the City Council meeting. Erik Enyart stated that there would be no new notices sent, but that the City Council would meet on this application May 13, 2013.

Erik Enyart addressed Vice/Acting Chair Larry Whiteley and was granted permission to ask the developer a question. Mr. Enyart addressed Brian Doyle and noted that he had not thought to ask him before suggesting to the Commission how to vote. Mr. Enyart asked Mr. Doyle, "Would you have wanted them to vote as they have [to recommend approval with a Condition of Approval to retain the 65' lot width requirement] or ask they Continue it to the next meeting?" Mr. Doyle indicated he was not in agreement with the recommendation on the 65' lot width requirement but was in agreement with how the vote was handled.

Lance Whisman clarified with Erik Enyart that the Commission's Motion on the Preliminary Plat [consistent with its action on the PUD] would be to recommend the Applicant "redesign to 65' lot widths."

PLATS

- 7. Preliminary Plat of "Willow Creek" – Rosenbaum Consulting, LLC (PUD 78).**
Discussion and consideration of a Preliminary Plat and certain Modifications/Waivers for "Willow Creek" for 104.78 acres in part of the NE/4 of Section 12, T17N, R13E.
Property Located: South and west of the intersection of 131st St. S. and Mingo Rd.

Vice/Acting Chair Larry Whiteley introduced the item and asked Erik Enyart for the Staff Report and recommendations. Mr. Enyart summarized the Staff Report as follows:

To: Bixby Planning Commission

From: Erik Enyart, AICP, City Planner
Date: Thursday, May 02, 2013
RE: Report and Recommendations (Revised 05/02/2013 to reflect the revised plans and information received 05/02/2013) for:
Preliminary Plat of Willow Creek (PUD 78)

LOCATION: – South and west of the intersection of 131st St. S. and Mingo Rd.
– Part of the NE/4 of Section 12, T17N, R13E

LOT SIZE: 104.78 acres, more or less

EXISTING ZONING: – RS-3 Residential Single Family District
– RM-2 Residential Multifamily District

SUPPLEMENTAL ZONING: – Corridor Appearance District (300' south from centerline of 131st St. S.)
– PUD 78 (pending consideration 05/2013)

EXISTING USE: Agricultural

REQUEST: Preliminary Plat approval for a 291-lot residential subdivision

SURROUNDING ZONING AND LAND USE:

North: CS & AG; The Faith Temple Assembly church, agricultural land, and a house on a 3-acre tract zoned CS, and agricultural land to the north of 131st St. S.

South: RS-3 & RE; Single family residential in Blue Ridge Estates, Blue Ridge II, Southbridge, and Southwood South Addition.

East: CS & AG; The Faith Temple Assembly church, agricultural land zoned CS, and, across Mingo Rd.: AAA Landscaping, Four Seasons Lawn Care, agricultural land, and a cell tower, all in unincorporated Tulsa County.

West: RS-3, CG, & CS; Single family residential in Blue Ridge II and Sun Burst and, along 131st St. S.: a house on a 3-acre tract zoned CS, the WW Sprinkler Repair business, and the Broken Arrow Hitch & Trailer, and miscellaneous other uses, all zoned CS and CG.

COMPREHENSIVE PLAN:

(1) Medium Intensity + Residential

(2) Development Sensitive/Low Intensity + Vacant, Agricultural, Rural Residences, and Open Land

(3) Medium Intensity + Commercial Area

PREVIOUS/RELATED CASES: (Not necessarily a complete list)

BZ-23 – Robert Leikam – Request for rezoning from AG to OL, CS, RM-2, & RS-2 for approximately 117 acres, including subject property – Modified approval as per Staff granted in 1974 (Ord. # 282).

BZ-31 – Robert Weir – Request for rezoning from AG to RS-2 for 8.0 acres of the subject property at about the 13400-block of S. Mingo Rd. – Approved together with BZ-23 November 19, 1974 (Ord. # 282).

BZ-236 – Faith Temple Assembly, Inc. – Request for rezoning from RM-1 to CS for area of subject property currently zoned RM-2 for future church parking lot – Recommended/Approved for RM-2 zoning in November 1997/January 1998 (Ord. # 765).

BZ-338 – Cardinal Industries, Inc. c/o Bob Lemons – Request for rezoning from RM-2, RM-1, CS, OL, RD, and RS-2 to RS-3 for approximately 104.74 acres (includes subject property) for a future “Willow Creek” residential subdivision – PC recommended Approval 05/19/2008 and City Council Approved 06/09/2008 (Ord. # 1000).

Preliminary Plat of Willow Creek – Cardinal Industries, Inc. c/o Bob Lemons – Request for Preliminary Plat and Modification/Waiver (maximum cul-de-sac length) approval for 104.74 acres (includes subject property) – PC recommended Conditional Approval on 05/19/2008 and City Council Conditionally Approved 05/27/2008.

BL-353 – Faith Temple Assembly, Inc. c/o Tony Genoff – Request for Lot-Split approval for 13 acres abutting to the north and east (but including approximately 2 acres of subject property currently zoned RM-2) to separate the church property from its surrounding acreage – PC Approved 05/19/2008.

BL-364 – HRAOK, Inc. for Prestige Trading Company – Request for Lot-Split approval for 104.74 acres (includes subject property) to allow for the conveyance of approximately 2.3 acres on the east side of the Old Fry Creek Ditch to adjoining property owner (Genoff) to the north (part of a land trade along with BL-365) – PC Approved 12/15/2008.

BL-365 – HRAOK, Inc. for Tony Genoff – Request for Lot-Split approval for 9 acres abutting to the north and east, to allow for the conveyance of the approximately 2 acres of subject property currently zoned RM-2 for attachment to the subject property (part of a land trade along with BL-364) – PC Conditionally Approved 12/15/2008.

Revised Preliminary Plat of Willow Creek – HRAOK, Inc. – Request for revised Preliminary Plat and Modification/Waiver (to exceed the 2:1 maximum lot depth to lot width ratio of SRs Section 12-3-4.F) approval for subject property – PC recommended Conditional Approval on 06/15/2009 and probably Conditionally Approved by City Council 06/22/2009.

BBOA-562 – Hank Spieker for Cardinal Industries, LLC – Request for Special Exception per Zoning Code Section 11-7B-2 Table 1 to allow a Use Unit 5 church and Use Unit 5 private elementary school in the RS-3 and RM-2 Residential districts for subject property – Withdrawn by Applicant 07/03/2012.

PUD 78 – Willow Creek – Rosenbaum Consulting, LLC – Request for PUD approval for subject property – Pending PC consideration 05/02/2013.

RELEVANT AREA CASE HISTORY: (not necessarily a complete list and does not include cases located in unincorporated Tulsa County)

BZ-342 – JR Donelson for Cardinal Industries – Request for rezoning from RS-3 to CS for southerly approximately 2.3 acres of the planned plat of “Willow Creek Plaza” – PC recommended Approval 04/20/2009 and City Council Conditionally Approved 05/11/2009 (Ord. # 2015).

Preliminary Plat of Willow Creek Plaza – Request for Preliminary Plat approval for approximately 9 acres abutting subject property to the east – PC recommended Conditional Approval on 04/20/2009 and City Council Conditionally Approved 04/27/2009.

BACKGROUND INFORMATION:

The subject property was approved for a Preliminary Plat (and Modification/Waiver of the 300' maximum cul-de-sac/dead end street standard, to allow cul-de-sacs in the 350' range based on local precedent) for a 254-lot development in 2008. The Planning Commission recommended Conditional Approval of the Preliminary Plat on 05/19/2008 and City Council Conditionally Approved it 05/27/2009.

As part of a series of Lot-Splits reallocating ownership patterns, the subject property acquired approximately two (2) acres on the west side of the “Twin Hills Creek” / “Old Fry Creek” in exchange for approximately 2.33 acres on the east side of the same. Per an older rezoning case,

(BZ-236 – Faith Temple Assembly, Inc., 1998), the approximately two (2) acres retains RM-2 zoning.

The subject property was redesigned for a 276-lot development with more stormwater drainage/detention Reserve areas in 2009. The Planning Commission recommended Conditional Approval of the Preliminary Plat on 06/15/2009 and City Council probably Conditionally Approved it 06/22/2009 (electronic copy of Minutes appears to have been overwritten by a later meeting date's Minutes), along with a Modification/Waiver to exceed the 2:1 maximum lot depth to lot width ratio of SRs Section 12-3-4.F.

The property ownership has since changed. The new owner has proposed a new Preliminary Plat for a 291-lot development, but has retained the overall framework (streets and blocks) as proposed and Conditionally Approved in 2009. Also pending Planning Commission consideration at this May 02, 2013 Special Meeting, PUD 78 would allow for the 65' minimum lot widths per RS-3 to be reduced to 60', which would allow for the increase in the number of lots as compared to the previous plat proposal.

The developer has expressed this situation within PUD 78 as follows, “Due to market conditions the Willow Creek is primarily based on a smaller lot size and excellent location to drive the residential market to this area of Bixby. With great access and a consistent market of residential home construction in this range PUD# [78] will greatly improve the Willow Creek success for the City of Bixby's continued growth.

This Planned Unit Development (PUD# [78]) is an overlay covering the RS-3 zoning district and will generally follow RS-3 dimensional and density standards with certain notable exceptions. The purpose of this PUD# [78] is to modify the dimensional and development standards allowing the site to be developed into 60' minimum lot widths.”

On Thursday, May 02, 2013, the Applicant submitted revised electronic copies of the PUD Text & Exhibits package and the Preliminary Plat. This report has been revised to reflect recommendations from the original Staff Report which have been satisfied with this submittal. Although the numbered recommendations at the end of this report have been fully updated, some of the following text may not reflect the latest version. A copy of the revised Preliminary Plat is attached to this report.

ANALYSIS:

Subject Property Conditions. The subject property is agriculturally-used and contains 104.78 acres, more or less. It is zoned RS-3, with the exception of approximately two (2) acres zoned RM-2. It has approximately 1,470 feet of frontage on 131st St. S. and approximately 1,505 feet of frontage on Mingo Rd. It is bounded on the east by Mingo Rd., on the south and west by residential subdivisions Southwood South Addition, Southbridge, Blue Ridge Estates / Blue Ridge II, and Sun Burst, on the west by the Broken Arrow Hitch & Trailer business on a 4-acre tract zoned CG and a house on a 3-acre tract zoned CS, on the north by 131st St. S., and on the northeast by "Twin Hills Creek" / "Old Fry Creek." Per the EPA My WATERS Mapper, "Twin Hills Creek" was that drainageway that, since the Fry Ditch project was constructed, is now known as Fry Creek # 2 from its northernmost extent to its confluence with Fry Creek # 1. The creek was also previously rerouted southwest of the intersection of 141st St. S. and Mingo Rd. to discharge directly to the Arkansas River.

The land is relatively flat and appears to slope slightly to the southeast along a trajectory paralleling "Twin Hills Creek" / "Old Fry Creek," which then drains more or less due south after it crosses to the east side of Mingo Rd.

Although the Haikey Creek Flood Improvement project may affect the floodplain situation, the subject property currently contains substantial areas of 100-year (1% Annual Chance) Regulatory Floodplain. Per the City Engineer, any development of the subject property must coordinate with the Haikey Creek engineering design plans.

Development of the property at this time, and prior to the completion of the Haikey Creek drainage improvement project will result in the requirement to (1) Submit and receive FEMA approval of a Conditional Letter Of Map Revision based on Fill (CLOMR-F), (2) Fill / elevate the property to above the current 100-year Base Flood Elevation (BFE), (3) Provide compensatory storage for the fill / elevation, (6) Submit and receive FEMA approval of a LOMR-F, and (5) provide on-site stormwater detention. Elevating the subject property out of the 100-year floodplain would avoid conflict with the restriction from platting lots within the 100-year floodplain per SRs § 12-3-2.O. The subject property was approved for a CLOMR-F (Case No. 10-06-2013C) per letter from FEMA dated September 09, 2010. The balance of the actions remains to be done.

Access. Primary access to the subdivision would be via one (1) entrance from 131st St. S. and another from Mingo Road, and the third via 133rd St. S. through Sun Burst. There are no other stub-out streets abutting the subject property to connect to, and no undeveloped residential acreages to provide a new stub-out street to.

The Subdivision Regulations do not contain a ratio schedule for the number of required points of access to a subdivision based on the number of lots within it. Recommendations as to adequacy of the three (3) means of ingress and egress in ratio to the number of lots proposed should come from the City Planner, Fire Marshal, and Police Chief, all of whom have expressed that the three (3) should be considered adequate when 254 lots were proposed. All three (3) verbally indicated that the three (3) were still adequate when that number was increased to 276 lots. 291 lots are now proposed, and Staff is soliciting input from these officials as to the adequacy at this number of lots.

A Residential Collector Street is planned, at 60' in right-of-way width (and presumed roadway width at 36', when infrastructure plans are submitted), as per Subdivision Regulations standards, connecting 131st St. S. to Mingo Rd., located between Blocks 1, 2, 3, and 7 on the west and Blocks 4, 5, 6, 8, and 9 on the east.

General. This subdivision of 104.78 acres, more or less, proposes 291 lots, nine (9) blocks (however, due to Reserve "C" completely separating parts of Block 3, Staff recommends the designation of a tenth block), and seven (7) Reserve areas. The typical lot appears to be 60' X 125' (7,500 square feet) to 60' X 130' (7,800 square feet).

The Fire Marshal's, City Engineer's, and City Attorney's review correspondence are attached to this Staff Report (if received). Their comments are incorporated herein by reference and should be made conditions of approval where not satisfied at the time of approval.

The Technical Advisory Committee (TAC) reviewed this PUD on April 03, 2013. The Minutes of the meeting are attached to this report.

In the interest of efficiency, regarding particulars for needed corrections and site development considerations, please review the recommended Conditions of Approval as listed at the end of this report.

Comprehensive Plan. The Comprehensive Plan designates the subject property as (1) Medium Intensity + Residential, (2) Development Sensitive/Low Intensity + Vacant, Agricultural, Rural Residences, and Open Land, and (3) Medium Intensity + Commercial Area.

31

The existing RS-3 and RM-2 districts both allow the single-family development as proposed. Per the Matrix, the existing RS-3 and RM-2 districts are In Accordance or May Be Found In Accordance with all the Comprehensive Plan designations.

Per the Matrix, PUDs (as a zoning district) are In Accordance or May Be Found In Accordance with all designations of the Comprehensive Plan Land Use Map, and thus PUD 78 would be In Accordance with the Comprehensive Plan as a zoning district.

Therefore, Staff believes that the proposed Preliminary Plat for a single-family residential development should be recognized as being consistent with the Comprehensive Plan.

Potential Subdivision Design Enhancements. In the Staff Reports for the original and revised Preliminary Plat applications, Staff identified several potential design enhancements, some of which have been incorporated as of the 2009 redesign (more reserve areas, and reserve areas connecting to other reserve areas, etc.). One of the recommended potential design enhancements was to use the 130' PSO electric powerline right-of-way easement as a greenway / walking trail amenity (for illustration, consider the walking trail in the Churchill Park subdivision in Jenks). This could connect to the corresponding open space Reserve along the north side of the Southbridge subdivision. This trajectory would allow it to connect to the planned trail along the south side of Southbridge and into the Tulsa Metropolitan Trails system connection at Washington Irving Park to the west. The other Reserve Areas used for drainage/detention may also allow for passive recreational uses.

Studies have shown that lots abutting greenways, linear parks, and parks in general, fetch higher prices in the marketplace and maintain their values better than others not abutting such amenities. Use as a walking trail amenity could enhance the attractiveness, and thus value, of the entire subdivision.*

Such design enhancements could be discussed and decided at an early date, and without significant developer investment in a singular plan, if a Sketch Plat were submitted first for the Planning Commission's approval of the conceptual layout.

These recommendations were not incorporated into the design, but there are now more Reserve areas, primarily designed for stormwater drainage/detention. The Planning Commission should discuss with the developer the likelihood of adding walking trails around the high banks of the drainage/detention areas.

Access. Primary access to the subdivision would be via one (1) entrance from 131st St. S. and another from Mingo Road, and the third via 133rd St. S. through Sun Burst. There are no other stub-out streets abutting the subject property to connect to, and no undeveloped residential acreages to provide a new stub-out street to.

The Subdivision Regulations do not contain a ratio schedule for the number of required points of access to a subdivision based on the number of lots within it. Recommendations as to adequacy of the three (3) means of ingress and egress in ratio to the number of lots proposed should come from the City Planner, Fire Marshal, and Police Chief, all of whom have expressed that the three (3) should be considered adequate when 254 lots were proposed. All three (3) verbally indicated that the three (3) were still adequate when that number was increased to 276 lots. 291 lots are now proposed, and Staff is soliciting input from these officials as to the adequacy at this number of lots.

A Residential Collector Street is planned, at 60' in right-of-way width (and presumed roadway width at 36', when infrastructure plans are submitted), as per Subdivision Regulations standards, connecting 131st St. S. to Mingo Rd., located between Blocks 1, 2, 3, and 7 on the west and Blocks 4, 5, 6, 8, and 9 on the east.

Subdivision Regulations Section 3.2.20 (Section 12-3-2.T of the codified City Code) has a maximum 300' street length standard, but provides that "longer cul-de-sac designs than stipulated in the engineering design manual may be approved upon the consent of the city staff, including city engineer, fire marshal, police chief, public works director and city planner."

For the previous Preliminary Plat, the Fire Marshal, City Planner, City Engineer, and Public Works Director previously agreed that all cul-de-sacs in the 500' range must be connected, but that the two (2) that were in the 350' length range may be allowed based on local precedent. The City Council approved the Modification/Waiver for the cul-de-sacs in the 350' length range as supported by Staff. With the Staff's and Planning Commission's favorable recommendation, when the Preliminary Plat was first approved in 2008, the City Council approved a Modification/Waiver from this standard to allow one (1)

* <http://www.tpl.org/research/parks/economic-health-benefits.html>

certain street to marginally exceed this distance. This Modification/Waiver applied to "Street Alignment C," at approximately 320' in length, and "Street Alignment J," at approximately 348' in length, based on the local precedent for streets in the 350' range in Blue Ridge II. These street alignments are now/should be known as 91st E. Ave. and 134th St. S., respectively. As of the 2009 redesign, all of the streets are in compliance with the approved Modification/Waiver, which is recognized as still in effect for this marginally-revised Preliminary Plat. 134th St. S. was shortened to 348' and it appears that 91st E. Ave. has been shortened to 300' or less.

Staff Recommendation. Staff recommends Approval Staff of the Preliminary Plat subject to the following corrections, modifications, and Conditions of Approval:

1. The Modification/Waiver from the 300' maximum length standard of Subdivision Regulations Section 3.2.20, which the City Council approved with Planning Commission's favorable recommendation when the Preliminary Plat was first approved in 2008. This Modification/Waiver applied to "Street Alignment C," at approximately 320' in length, and "Street Alignment J," at approximately 348' in length, based on the local precedent for streets in the 350' range in Blue Ridge II. These street alignments are now/should be known as 91st E. Ave. and 134th St. S., respectively. As of the 2009 redesign, all of the streets are in compliance with the approved Modification/Waiver, which is recognized as still in effect for this marginally-revised Preliminary Plat. 134th St. S. was shortened to 348' and ~~it appears that 91st E. Ave. has been shortened to less than 300' or less, but the actual distance cannot be determined.~~
2. Please designate the length of the cul-de-sac street centerlines from intersection with centerline(s) of connecting streets to the center of the cul-de-sac turnaround, so that street lengths can be determined. With the revised plat received 05/02/2013, a table was added which satisfies this item, but was placed over existing text making reading partially illegible. Please relocate table to remove text and linework conflict. The length reported for 134th Pl. S. is inaccurate and appears to be the product of that part of the street located west of the intersection with 96th E. Ave.
3. The Modification/Waiver from 2:1 maximum lot depth to lot width ratio of SRs Section 12-3-4.F, which the City Council approved with Planning Commission's favorable recommendation when the Preliminary Plat was approved in 2009, is recognized to still be in effect and shall apply to all such lots exceeding this ratio. More lots exceed this ratio now than previously due to the lot narrowing.
4. Subject to the satisfaction of any outstanding Fire Marshal, City Engineer, and City Attorney recommendations.
5. Per the City Engineer, any development of the subject property must coordinate with the Haikey Creek engineering design plans.
6. Development of the property at this time, and prior to the completion of the Haikey Creek drainage improvement project will result in the requirement to (1) Submit and receive FEMA approval of a Conditional Letter Of Map Revision based on Fill (CLOMR-F), (2) Fill / elevate the property to above the current 100-year Base Flood Elevation (BFE), (3) Provide compensatory storage for the fill / elevation, (6) Submit and receive FEMA approval of a LOMR-F, and (5) provide on-site stormwater detention. Elevating the subject property out of the 100-year floodplain would avoid conflict with the restriction from platting lots within the 100-year floodplain per SRs § 12-3-2.O. The subject property was approved for a CLOMR-F (Case No. 10-06-2013C) per letter from FEMA dated September 09, 2010. The balance of the actions remains to be done.
7. Lots 1 through 5, inclusive, Block 3, are completely separated from the balance of Block 3 by Reserve Area 'C.' Per the definition of "Block" in the Subdivision Regulations and the typical block numbering conventions, the two (2) areas need to be separate blocks.
8. The 2009 plat included a "Reserve 'G'" between the north-south collector street and the "Park" Lot 34, Block 3, Blue Ridge II, which contains a stormwater detention/retention facility. ~~This plat contains linework suggesting an extra-wide easement of some sort, but the same is not dimensioned or labeled. Please dimension and label. Will this area be used~~ Recognizing the long block length, were provision be made in this area for emergency or other access to the stormwater detention pond? ~~If so, its width is~~ Widths are normally required to be 30' per the Fire Marshal, or otherwise it must be approved as to design by the Fire Marshal.
9. ~~Lot, Block, and Reserve number statistics on the first page is missing number of Reserve Areas.~~

10. Update Lot, Block, and Reserve number statistics on the first page to add the new block number. With the revised plat received 05/02/2013, the statistics report had the lot number incorrectly changed to 275.
11. ~~The 130' wide AEP/PSO easement (Book 3600 Page 16) is not represented on this or the PUD 78 "Concept Plat" site plan.~~
12. Please confirm Lot 3, Block 6 and Lot 49, Block 4 have an average lot width not less than 60'. It appears that Lot 4, Block 4 does not meet the minimum 60' average lot width requirement of proposed PUD 78. Please correct. Please double-check lots to confirm compliance with this requirement.
13. ~~Lot 3, Block 6 missing dimensions along rear-most lines.~~
14. Please indicate the breakpoints between 131st Pl. S. and 95th E. Ave. and 132nd Pl. S. and 94th E. Ave.
15. ~~Please change the street names as per the "Street Names Plat" provided to the Applicant on April 03, 2013.~~
16. Please add proposed addresses to the lots.
17. ~~Plat missing standard address caveat/disclaimer: "Addresses shown on this plat were accurate at the time this plat was filed. Addresses are subject to change and should never be relied on in place of the legal description."~~
18. Per SRs Section 12-4-2.A.5, the Location Map ("Vicinity Map") must include:
 - ~~All platted additions represented with the Section~~
 - ~~Scale at 1" = 2,000'~~
19. Plat missing notes pertaining to monumentation (reference SRs Section 12-1-8).
20. The graphic scale does not appear to correspond to map features. The numeric scale was not checked as its native paper size is not known. With the revised plat received 05/02/2013, the scale was replaced with note "Not To Scale." The Subdivision Regulations require a scale – please restore and correct.
21. Angle/bearing data missing throughout plat. See Lot 17, Block 3, Lots 4/5, Block 6, and perhaps elsewhere.
22. ~~Linework along the west sides of Lots 17, 18, and 19, Block 1, suggestive of an easement, is missing label and dimension. It was last known as a "17.5' U/E & OD/E" in 2009.~~
23. ~~Easements lacking labels and dimensions throughout plat.~~
24. Easements represented on the 2009 plat along 131st St. S., "Report of Commissioners (Case No. 74808)" and "15' City of Bixby Easement (Book 5428, Page 2167)" missing from this plat.
25. All easements of record affecting the subject property must be represented on the plat (SRs Section 12-4-2.B.2, etc.).
26. Contour data should be muted to improve legibility. See 2009 version for example. With the revised plat received 05/02/2013, the contours were removed. The Subdivision Regulations require contour data. Please restore and mute to improve legibility.
27. Survey data missing for Reserves E and F. With the revised plat received 05/02/2013, some data was added, but not all (e.g. width of Reserve Areas). See details diagrams on the 2009 example.
28. Please represent the underlying RS-3 and RM-2 zoning district boundary lines as per SRs Section 12-4-2.B.3.
29. ~~Please add lot sizes to lots for purposes of reviewing for Zoning Code compliance. A schedule may be used in order not to clutter the lots with more text.~~
30. ~~Similar to the 2009 version, this plat contains an overall layout on the first page and then north and south parts on the following two (2) pages. However, this version does not have a Sheet Legend or labels indicating "Overall Layout," "North Part," or "South Part," and has no Matchlines.~~
31. Certain lots are not fully represented on either the north or south part sections (e.g. Lot 47, Block 4, Lots 1:4, Block 8). With the revised plat received 05/02/2013, the north and south portion maps have shifted the break line, and now more lots are not fully shown on either part sections. See the 2009 example for illustration of an effective way to represent such information.
32. ~~Curve Data Table has no name (reference 2009 version).~~

- ~~33. Linework suggesting easements (10' U/E per the 2009 version) not labeled. Please label as to width and designate "U/E" if that is what they are.~~
- ~~34. The 2009 plat had an FL/E (Fence and Landscape Easement) along 131st St. S. and Mingo Rd. Linework suggesting an easement is represented in the same place, but is not dimensioned or labeled. Please dimension and label.~~
- ~~35. For the FL/E (Fence and Landscape Easement), please add appropriate dedication and maintenance responsibility language in the DoD/RCs. This was DoD/RCs Section H.L in the 2009 plat.~~
36. Dimension missing between northwest corner of Lot 1, Block 4 and C67. Last reported to be 63.59'.
37. Dimension missing from south line of Reserve C. With the revised plat received 05/02/2013, a dimension was added to the easement, as appropriate, but not along the south line of Reserve C.
- ~~38. Dimension missing on common line between Lot 12, Block 3 and Reserve C.~~
39. Dimensions missing from several areas throughout the plat. See common line between Reserve Area A and Lots 36, 37, and 38 of Block 1, and possibly elsewhere throughout the plat. The 5' FL/E along Mingo Rd. has dimensions which are ambiguous as to their application to the FL/E dimension within the lot lines or as applied to the lot lines themselves. This would benefit from clarification.
40. 134th St. S. in Blue Ridge II mislabeled.
41. Please correct name of subdivision abutting to the west to Sun Burst.
42. Text congestion at Lots 12 and 13, Block 6, Lot 4 and 15, Block 3, and text and linework conflicts throughout the plat make reading difficult.
43. North-south dimension missing from west end of Reserve A.
44. Consider making the common lot line between Lots 33 and 34, Block 1, coterminous with the southerly endpoint of C22 in order to eliminate the 0.90' variance between the southerly endpoint of C22 and the common lot corner. It is not clear if the 0.90' variance is to the north or to the south of the common lot corner, due to its exceptionally small size and the scale of the plat.
45. Three (3) separate instrument U/Es indicated suggest public U/Es will be dedicated. Please submit at your convenience for City Council acceptance of the public easement dedication.
46. Three (3) separate instrument U/Es indicated: Cite Document # recording reference where instruments are recorded with the Tulsa County Clerk.
47. DoD/RCs Preamble: Missing legal description.
48. DoD/RCs Preamble: Missing critical wording such as "~~And has caused the above described land to be surveyed, staked, platted, granted, donated, conveyed, and dedicated, access rights reserved, and subdivided ...~~" as per the City Attorney's recommendations regarding fee simple ownership of rights-of-ways.
49. DoD/RCs Section I.A: Please qualify this section as follows: "~~...provided however, nothing herein shall be deemed to prohibit properly permitted drives, parking areas, curbing, landscaping, customary screening fences and walls that do not constitute an obstruction.~~"
50. DoD/RCs Section I.E: Does not appear to provide for passive recreational uses (such as walking trails) in Reserve Areas, if the Developer is willing to incorporate this design suggestion.
51. DoD/RCs Section I.E.3: Refers to HOA formation in DoD/RCs Section III, but should be Section IV.
52. DoD/RCs Section I.H: Please qualify this section as follows: "~~...damage to landscaping and paving, when permitted by the City of Bixby, occasioned....~~"
53. DoD/RCs Section I.I: Refers to HOA formation in DoD/RCs Section III, but should be Section IV.
54. DoD/RCs Section I.I: Does not appear to provide for passive recreational uses (such as walking trails) in Reserve Areas, if the Developer is willing to incorporate this design suggestion.
55. DoD/RCs Section I.I & I.J: Appears to be missing use, ownership, and related provisions for Reserve Areas A, B, C, and D. With the revised plat received 05/02/2013, a new section was added to provide for Reserve Areas A, B, C, and D, as recommended. However, it also includes Reserve Area "G," which existed with the 2009 plat version but is not indicated in this version. See Section I.I of 2009 plat for illustration of language which could be used here.
56. DoD/RCs Section I.I & I.J: Will these Reserve Areas also be designated Utility Easement?

35

57. DoD/RCs Section I.J.2: The description of the 5' and 5' is somewhat awkwardly written – is it intended to state that 10' will be maintained between residences, rather than the sum of the two 5' side yards? Advisory.
58. Deed of Dedication / Restrictive Covenants: Section I.J.2: Provision allowing side yards at 15' along streets conflicts with 20' Building Lines shown throughout the plat. Advisory. Language was modified in 2009 and now states "(except where easements are greater)," but this does not resolve the issue when the Building Lines are more restrictive. Probably intended to state "(except where Building Lines are more restrictive as shown on the plat)."
59. DoD/RCs Section II: Please complete blanks with appropriate information pertaining to the approval of PUD 78 (pending approval).
60. DoD/RCs Section II.D.1: ~~Provides a 60' Lot Frontage standard, when PUD 78 proposes a 60' minimum Lot Width standard. With the revised plat received 05/02/2013, lot width is restored as focus, but qualifying language describes "measured at the building line," whereas the Zoning Code (Section 11-2-1) recognizes lot width as "the average horizontal distance between the side lot lines." Please reconcile with text of PUD 78.~~
61. DoD/RCs Section II: Please update with the final wording of PUD 78 (pending approval).
62. ~~DoD/RCs Section III: Refers to the "Declarant," but the term does not appear to be identified within the DoD/RCs.~~
63. ~~DoD/RCs Section II Preamble: Refers to "Sections 1100-1107 of Title 42, Bixby Revised Ordinances (Bixby Zoning Code)." This appears to point to the City of Tulsa's Zoning Code. Please revise to simply "... the provisions of the Bixby Zoning Code pertaining to Planned Unit Developments (PUDs)," or something to that effect.~~
64. ~~DoD/RCs Section II.D: Contains a subsection .1 and no other subsections. Advisory.~~
65. DoD/RCs Section III.A: Does not appear to provide for the transfer of duties from the subdivision's Architectural Committee to the HOA. Advisory.
66. DoD/RCs Section III.A.1.a: Indicates minimum square footage requirement of PUD 78 may be waived by the subdivision's Architectural Committee. Please qualify appropriately.
67. DoD/RCs Section III.A.1.b: Indicates masonry requirement of PUD 78 may be waived by the subdivision's Architectural Committee. Please qualify appropriately.
68. DoD/RCs Section III.A.1.e: Requires concrete driveway construction. Would cobblestone or Belgian block be permitted? Advisory.
69. ~~DoD/RCs Section III.A.3: Provides a 20' front yard, 0' side yard, and 15' rear yard setbacks in conflict with RS-3 zoning and PUD 78 as proposed, and the 25' front yard Building Lines shown on the plat. Please revise.~~
70. ~~DoD/RCs Section III.A.4.e: Refers to enforcement provisions in DoD/RCs Section V instead of IV as presumed intended.~~
71. ~~DoD/RCs Section IV Enforcement, Duration, Amendment and Severability: Duplicate Section number. Section V is presumed intended.~~
72. DoD/RCs Section [VI].C: Refers to DoD/RCs Section II.B "Use," when Section III.B "Use" of the 2009 version was presumed intended. Section III of this plat appears to be substantially rewritten as compared to the 2009 version, so this former reference may no longer be valid.
73. ~~DoD/RCs Section [VI].C: Has an extra period with attendant spacing.~~
74. ~~DoD/RCs Section [VI].C: Please include PUD number in space indicated.~~
75. A copy of the Preliminary Plat including all recommended corrections shall be submitted for placement in the permanent file.
76. Due to the number of minor errors, Staff advises the Applicant to re-review the plat and Deed of Dedication and Restrictive Covenants and satisfy themselves as to its correctness.

Erik Enyart stated that Staff recommended Approval subject to the corrections, modifications, and Conditions of Approval as listed in the Staff Report.

There being no further discussion, Vice/Acting Chair Larry Whiteley asked to entertain a Motion. Lance Whisman made a MOTION to Recommend APPROVAL of the Preliminary Plat subject to

the corrections, modifications, and Conditions of Approval as recommended by Staff, with one change, to require the plat be adjusted from 60'-wide lots to 65'-wide lots.

Vice/Acting Chair Larry Whiteley asked for a Second to the Motion. John Benjamin stated that this would be consistent with what was approved per Agenda Item # 6, the PUD, and Lance Whisman indicated agreement.

John Benjamin SECONDED the Motion. Roll was called:

ROLL CALL:

AYE:	Benjamin, Whiteley, & Whisman
NAY:	None.
ABSTAIN:	None.
MOTION CARRIED:	3:0:0

OTHER BUSINESS

No action taken.

OLD BUSINESS:

Vice/Acting Chair Larry Whiteley confirmed with Erik Enyart that there was no new business to consider. No action taken.

NEW BUSINESS:

Vice/Acting Chair Larry Whiteley confirmed with Erik Enyart that there was no new business to consider. No action taken.

ADJOURNMENT:

There being no further business, Vice/Acting Chair Larry Whiteley declared the meeting Adjourned at 7:35 PM.

APPROVED BY:

Chair

Date

City Planner/Recording Secretary

37

Planning meeting 5/2/13

CITY OF BIXBY

From: thol46@aol.com This sender is in your contact list.
Sent: Thu 5/02/13 12:14 PM
To: lancewhisman@hotmail.com

MAY 02 2013

RECEIVED

By *[Signature]*

Lance,

I had something come up and I will not be at meeting tonight so I wanted to send a short email with some of my thoughts about tonight's meeting.....

On the first three items (combined)

It looks like Erick spent quite a bit of time researching to justify the possible change to the comprehensive plan for this application....

This is an **established residential neighborhood with existing water drainage problems and regardless of the requirement for new construction to not add additional water runoff to adjacent properties, this solid ground coverage will add to the already unfixable and bad problem.**

When we passed the PUD for the development to the North (for Mini Storage) we took into consideration this existing open recreational area as a buffer to the residential neighborhood. Now we are ask to remove the buffer and essentially build the storage units up to their back yards.

Even the Staff report questions the architectural look of the exterior walls which face both the South and East sides of the proposed facility..... which I would question as being sufficient, as it could be (and is) possible to view the proposed units from the WEST and partial NORTH as well.

This type of rezoning changes the intent of a well established comprehensive plan and when piece meeled it becomes strip zoning and this does not serve the best interest of either the Planned Land Uses of the City or the Livability of the citizens of the community. Especially in an already established neighborhood.

I am **not** in favor of either of these three (3) agenda items.

The next item regarding the PUD at 131 & Mingo:

The request to change the lot widths from 65' to 60' I have never truly been in favor of this request as I believe R3 in

itself exceeds medium density of homes. Now that we have made exceptions for other developments (because of "Hard

Times") we are now having those developments being used as a presidents for past Planning Commission Action. I have

verbally addressed Erick and the commission on more than one occasion that I do not believe any action that we have

taken for special consideration should be used as or referred to by Staff as having set a president. Now that continues

to come back to us on the Commission. With this in mind I am not in favor of this PUD changing the lot width as I do not

believe it meets the intent of the density requirement. (even though Staff has stated it does, in general).

The change from a wet detention concept to a dry detention concept will definitely change the esthetics of the

38

PUD.

By changing from a wet detention to a dry detention concept they are proposing to drain (channel) the water from this

PUD into and through the "Blue Ridge" detention facility. On the surface I REALLY DON'T LIKE THIS..... it would

seem that we are doing two (2) things.... 1. allowing water from one development to drain onto an adjacent property

(owned by a completely separate entity)..... and 2. The Blue Ridge detention is probably covered by their own set of

covenants... who becomes responsible for the water being drained from this PUD onto their property??? i.e., maintenance, overflow, flooding, etc.,

A PUD by design is supposed to be a **give and take for the City and the Developer**..... In the previous discussions

and hearing on the already approved PUD design this occurred..... It would appear with this PUD change, we are simply

being ask to be more lenient to allow the developer to make more money..... He is asking for the lot width decrease and

he is proposing to eliminate the water features (which would have been aesthetically appealing).... ALL to enhance his

profitability at the expense of quality of the development and appearance..... those items which families look for when

selecting where they want to live and feel good about home ownership and pride. What is the Community receiving in

return????????????? **Bixby deserves more than simply a low end development**.....

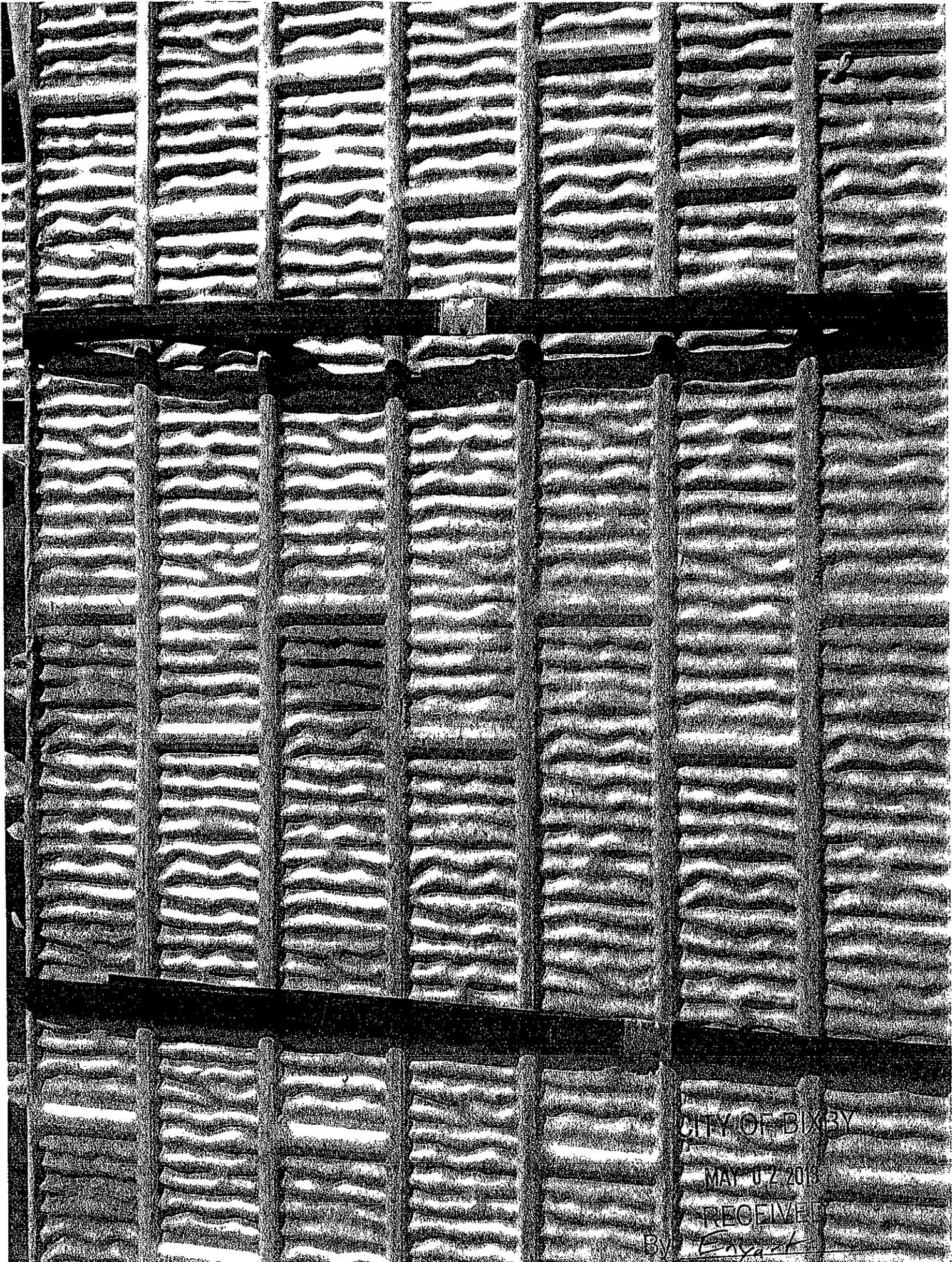
The language concerning the masonry on the lower portion of the front of the units is a starting point.... i.e., full masonry

front exterior or masonry around lower quarter of entire exterior, etc.,

Lance, please print this and share with the other Commission members prior to the meeting.

Thanks,

Tom Holland
Bixby Planning Commission Chair



CITY OF BIXBY

MAY 07 2018

RECEIVED

BY *Enyack*

40

cf PUD 77



CITY OF BIXBY
P.O. Box 70
116 W. Needles Ave.
Bixby, OK 74008
(918) 366-4430
(918) 366-6373 (fax)

STAFF REPORT

To: Bixby Planning Commission
From: Erik Enyart, AICP, City Planner
Date: Thursday, May 02, 2013
RE: Report and Recommendations (Revised 05/02/2013 to reflect the revised plans and information received 05/02/2013) for:
PUD 78 – “Willow Creek” – Rosenbaum Consulting, LLC

Placeholder for
staff report
not fully
reproduced
here

LOCATION: – South and west of the intersection of 131st St. S. and Mingo Rd.
– Part of the NE/4 of Section 12, T17N, R13E

LOT SIZE: 104.78 acres, more or less

EXISTING ZONING: – RS-3 Residential Single Family District
– RM-2 Residential Multifamily District

SUPPLEMENTAL ZONING: Corridor Appearance District (300' south from centerline of 131st St. S.)

EXISTING USE: Agricultural

REQUEST: Approval of PUD 78

SURROUNDING ZONING AND LAND USE:

North: CS & AG; The *Faith Temple Assembly* church, agricultural land, and a house on a 3-acre tract zoned CS, and agricultural land to the north of 131st St. S.

South: RS-3 & RE; Single family residential in *Blue Ridge Estates*, *Blue Ridge II*, *Southbridge*, and *Southwood South Addition*.

East: CS & AG; The *Faith Temple Assembly* church, agricultural land zoned CS, and across Mingo Rd.: *AAA Landscaping*, *Four Seasons Lawn Care*, agricultural land, and a cell tower, all in unincorporated Tulsa County.

Willow Creek

A residential development in the City of Bixby
Tulsa County, Oklahoma.

Planned Unit Development #78

Location:

Willow Creek located south of 131st street south and west of Mingo Road in Bixby, Oklahoma

Land Area:

Total land area 104.78 acres

Date Prepared:

March 15, 2013

Revised May 1, 2013

Owner:

Willow Creek Development, L.L.C.

12150 East 96th Street North Suite 200

Bixby, Oklahoma 74055

Prepared By:

Rosenbaum Consulting, LLC

2608 West Kenosha #304

Broken Arrow OK, 74012

918.798.0210

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MAY 02 2013

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By *Enya K*



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STAFF REPORT

To: Bixby Planning Commission

From: Erik Enyart, AICP, City Planner. *EE*

Date: Thursday, May 02, 2013

RE: Report and Recommendations (Revised 05/02/2013 to reflect the revised plans and information received 05/02/2013) for:
Preliminary Plat of Willow Creek (PUD 78)

Placeholder for Staff Report not City reproduced here

LOCATION:

- South and west of the intersection of 131st St. S. and Mingo Rd.
- Part of the NE/4 of Section 12, T17N, R13E

LOT SIZE: 104.78 acres, more or less

EXISTING ZONING:

- RS-3 Residential Single Family District
- RM-2 Residential Multifamily District

SUPPLEMENTAL ZONING:

- Corridor Appearance District (300' south from centerline of 131st St. S.
- PUD 78 (pending consideration 05/2013)

EXISTING USE: Agricultural

REQUEST: Preliminary Plat approval for a 291-lot residential subdivision

SURROUNDING ZONING AND LAND USE:

North: CS & AG; The *Faith Temple Assembly* church, agricultural land, and a house on a 3-acre tract zoned CS, and agricultural land to the north of 131st St. S.

South: RS-3 & RE; Single family residential in *Blue Ridge Estates*, *Blue Ridge II*, *Southbridge*, and *Southwood South Addition*.

PRELIMINARY PLAT

WILLOW CREEK

A PART OF THE NE/4, SECTION 12, T-17-N, R-13-E
TULSA COUNTY, STATE OF OKLAHOMA.

PLAT No.

LEGEND

- BL BUILDING LINE
- D/E DRAINAGE EASEMENT
- LE LANDSCAPE BASEMENT
- LNA LIMITS OF NO ACCESS
- MAE MUTUAL ACCESS EASEMENT
- UE UTILITY EASEMENT



*Placeholder
for plat not
fully reproduced here*

CITY OF BIXBY

MAY 02 2013

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By Enyark

44

WILLOW CREEK
DEED OF DEDICATION
AND
RESTRICTIVE COVENANTS

CITY OF BIXBY

MAY 02 2013

RECEIVED

By

Enyart

KNOW ALL MEN BY THESE PRESENTS:

Willow Creek Development, L.L.C., an Oklahoma limited liability company, hereinafter together referred to as the "Owner/Developer" is the owner of the following described land in the City of Bixby, Tulsa County, State of Oklahoma, to wit:

Insert legal here

and has caused the above described land to be surveyed, staked, platted, granted, donated, conveyed, dedicated, access rights reserved and subdivided into lots, blocks, reserve areas and streets, in conformity with the accompanying plat and survey (hereinafter the "Plat" and has entitled and designated the subdivision as "Willow Creek", a Subdivision in the City of Bixby, Tulsa County, Oklahoma (hereinafter "Willow Creek" or the "Subdivision").

SECTION I. PUBLIC STREETS, EASEMENTS AND UTILITIES

A. Public Streets and General Utility Easements

The Owner/Developer does hereby dedicate for public use the streets depicted on the accompanying plat and does further dedicate for public use the utility easements as depicted on the accompanying plat as "u/e" or "utility easement", for the several purposes of constructing, maintaining, operating, repairing, replacing, and/or removing any and all public utilities, including storm sewers, sanitary sewers, telephone and communication lines, electric power lines and transformers, gas lines, water lines and cable television lines, together with all fittings, including the poles, wires, conduits, pipes, valves, meters and equipment for each of such facilities and any other appurtenances thereto, with the rights of ingress and egress to and upon the utility easements for the uses and purposes aforesaid, provided however, the Owner/Developer hereby reserves the right to construct, maintain, operate, lay and re-lay water lines and sewer lines, together with the right of ingress and egress for such construction, maintenance, operation, laying and re-laying over, across and along all of the utility easements depicted on the plat, for the purpose of furnishing water and/or sewer services to the area included in the plat. The Owner/Developer herein imposes a restrictive covenant, which covenant shall be binding on each lot owner and shall be enforceable by the City of Bixby, Oklahoma, and by the supplier of any affected utility service, that within the utility easements depicted on the

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CITY OF BIXBY
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(918) 366-6373 (fax)

STAFF REPORT

To: Bixby Planning Commission
From: Erik Enyart, AICP, City Planner *EE*
Date: Wednesday, May 15, 2013
RE: Report and Recommendations for:
PUD 77 – “Byrnes Mini-Storages” – JR Donelson, Inc., and
BZ-365 – William W. Wilson for Helene V. Byrnes Foundation

(NOTE: BCPA-9 and BZ-365 concern two (2) tracts, while PUD 77 concerns three (3) tracts.)

LOCATION:

PUD 77: – 12345 S. Memorial Dr. and/or 12404 S. 85th E. Pl.
– Part of Lot 1, Block 1, *The Boardwalk on Memorial*, part of the NW/4 of Section 01, T17N, R13E, and All of Lot 11, Block 2, *Southern Memorial Acres No. 2*

BCPA-9/BZ-365:

– 12345 S. Memorial Dr. and/or 12404 S. 85th E. Pl.
– Part of Lot 1, Block 1, *The Boardwalk on Memorial* and part of the NW/4 of Section 01, T17N, R13E

LOT SIZE:

PUD 77: approximately 3.4 acres in three (3) tracts
BCPA-9/BZ-365: approximately 2.9 acres in two (2) tracts

EXISTING ZONING:

PUD 77: AG Agricultural District/PUD 29A & RS-2 Residential Single-Family District
BCPA-9/BZ-365: AG Agricultural District/PUD 29A

EXISTING USE:

PUD 77: A soccer practice field and a single-family dwelling with accessory building
BCPA-9/BZ-365: A soccer practice field and a residential accessory building

REQUESTED ZONING: OL Office Low Intensity District & PUD 77 (existing RS-2 zoning to remain in place)

SUPPLEMENTAL ZONING: Corridor Appearance District (part)

SURROUNDING ZONING AND LAND USE:

North: OL, AG, CS/OL/PUD 68, & RS-1; A single-family residence on a 7-acre tract zoned OL and AG and the PUD 68 "North Bixby Commerce Park" pending development on a 16-acre tract, a drainage channel, and residential homes in *Houser Addition*. To the northwest at 12113 S. Memorial Dr. is the *Spartan Self Storage* ministorage development on an unplatted 1-acre tract zoned CS, and commercial development in *121st Center*.

South: RS-1 & RS-2; Single-family residential zoned RS-1 in *Gre-Mac Acres* along 124th St. S. and RS-2 in *Southern Memorial Acres No. 2*.

East: RS-2; Single-family residential in *Southern Memorial Acres No. 2*.

West: CS/PUD 29-A; The *The Boardwalk on Memorial* shopping center and Memorial Dr.

COMPREHENSIVE PLAN: Low Intensity + Residential Area (BCPA-9 requests removal of Residential Area specific land use designation)

PREVIOUS/RELATED CASES: (Not a complete list; Minor Architectural Committee and Planning Commission signage approvals in the *Boardwalk* shopping center not included here):

PUD 29 – The Boardwalk on Memorial: Part of Lot 1, Block 1, *The Boardwalk on Memorial* (of which subject property was a part), Lots 1 and 2, Block 1, *Gre-Mac Acres*, requested for rezoning and PUD approval – PC Recommended Approval 05/20/2002 and City Council Approved PUD 29 and CS zoning for Lot 1 and OL zoning for Lot 2 06/10/2002 (Ordinance # 850, evidently dated 06/11/2001 in error).

PUD 29A – The Boardwalk on Memorial: Request for Major Amendment to PUD 29, known as PUD 29A, which expanded the original PUD and underlying CS zoning to an unplatted area to the north of Lots 1 and 2, Block 1, *Gre-Mac Acres*, and rezoned Development Area B to AG for "open space" – PC Recommended Approval 03/17/2003 and City Council Approved 04/28/2003 (Ordinance # 867).

Preliminary Plat of The Boardwalk on Memorial: Request for Preliminary Plat approval for part of subject property – Recommended for Approval by PC 04/21/2003 and Approved by City Council 04/28/2003.

Final Plat of The Boardwalk on Memorial: Request for Final Plat approval for part of subject property – Recommended for Approval by PC 11/21/2005 and Approved by City Council 11/28/2005.

"Minor Amendment PUD 29b to PUD 29, 29a": Request for Planning Commission approval of the first Minor Amendment to PUD 29A (could have been called "Minor Amendment # 1) to approve a drive through bank window on the south side of the building for *Grand Bank* – PC Approved 02/22/2005.

AC-07-08-01 – Request for Architectural Committee approval of a masonry archway over an internal access drive on the north side of the *The Boardwalk on Memorial* (of which subject property was a part) – AC Approved 08/20/2007.

“PUD 29A Minor Amendment # 1 [2]”: Second request for Minor Amendment to PUD 29A to (1) Remove restrictions from east-facing signs and (2) Increase maximum display surface area for wall signs from 2 square feet per lineal foot of building wall to 3 square feet per lineal foot of building wall as permitted by the Zoning Code – Planning Commission Conditionally Approved 11/19/2007. Should have been called “Minor Amendment # 2.”

AC-07-10-11 & AC-07-10-13: Request for Architectural Committee approval of two (2) wall signs for *The Boardwalk on Memorial* (of which subject property was a part) for *The Eye Center South Tulsa* – Tabled by AC 10/15/2007 pending resolution of outstanding PUD zoning issues and Approved by AC 12/17/2007 after Minor Amendment # 2 was approved.

BL-373 – William Wilson for Boardwalk on Memorial I, LP: Request for Lot-Split approval to separate the east approximately 472’ from the balance of the subject property – PC Approved 02/16/2010.

PUD 29A Minor Amendment # 3: Request for Minor Amendments to PUD 29A to remove Development Area B from the PUD – Planning Commission Continued the application from the January 19, 2010 meeting to the February 16, 2010 meeting. The submission of PUD 29A Major Amendment # 1 in lieu of this application was recognized as the Withdrawal of this application.

PUD 29A Major Amendment # 1: Request for Major Amendments to PUD 29A to relax Zoning Code bulk and area requirements for Development Area B to allow for Lot-Split per BL-373, which Development Area B was required to be legally attached to lots having the minimum required amount of public street frontage – PC Recommended Approval 02/16/2010 and City Council Approved 03/08/2010 (Ord. # 2033).

AC-11-06-03 – The Boardwalk on Memorial: Request for Planning Commission approval of an Electronic/LED ground sign for *The Boardwalk on Memorial* (of which subject property was a part), which became the second allowable ground sign on the property upon the attachment of the archway sign (cf. AC-07-08-01, AC-07-10-11, & AC-07-10-13) to the north side of the building as an extension of the building wall, which thus became a wall sign as originally approved by the City – PC Approved 06/20/2011.

RELEVANT AREA CASE HISTORY: (Not a complete list)

BCPA-3, PUD 68, & BZ-341 – North Bixby Commerce Park – Lou Reynolds for Alvis Houser – Request to amend the Comprehensive Plan to redesignate property (in part) “Medium Intensity,” rezone from AG to CS and OL, and approve PUD 68 for a ministorage, “trade center / office-warehouse,” and retail development on a 16-acre tract abutting subject property to the north – PC voted 2 in favor and 3 opposed on a Motion to approve the development on 04/20/2009. On 04/27/2009, on appeal, the City Council reversed the Planning Commission’s action. On 06/08/2009, the City Council denied the ordinance which would have approved the rezoning, PUD, and Comprehensive Plan amendment, on the City Attorney’s advice regarding certain language in the ordinance, and called for the developer to proceed “under existing ordinances.” On 06/22/2009, the City Council Approved, by Ordinance # 2030, all three (3) applications as submitted, and with no Conditions of Approval. The legal descriptions in the ordinance reflected the underlying CS/OL zoning pattern as recommended by Staff, rather than per the “Exhibit 1” to the PUD.

Preliminary Plat of North Bixby Commerce Park (PUD 68) – Request for approval of a Preliminary Plat and certain Modifications/Waivers for a ministorage, “trade center / office-warehouse,” and retail development on a 16-acre tract abutting subject property to the north – PC recommended Conditional Approval 03/15/2010 and City Council Conditionally Approved 03/22/2010.

Final Plat of North Bixby Commerce Park (PUD 68) – Request for approval of a Final Plat and certain Modifications/Waivers for a ministorage, “trade center / office-warehouse,” and retail development on a 16-acre tract abutting subject property to the north – PC recommended Conditional Approval 05/17/2010 and City Council Conditionally Approved 05/24/2010.

BSP 2010-01 – North Bixby Commerce Park – RK & Associates, PLC / McCool and Associates, P.C. (PUD 68) – Request for approval of a PUD Detailed Site Plan for a ministorage, “trade center / office-warehouse,” and retail development on a 16-acre tract abutting subject property to the north – PC Conditionally Approved 07/19/2010.

PUD 76 “Scenic Village Park” & BZ-364 – Tanner Consulting, LLC – Request for rezoning from AG to CG and PUD approval for a multiple-use development, including ministorage, on 92 acres located approximately 1/3 of a mile west of subject property – PC recommended Conditional Approval 02/27/2013 and City Council Approved 03/25/2013 (Ord. # 2116).

Preliminary Plat of “Scenic Village Park” – Tanner Consulting, LLC – Request for Preliminary Plat approval for a multiple-use development, including ministorage, on 92 acres located approximately 1/3 of a mile west of subject property – PC recommended Conditional Approval 03/18/2013 and City Council Conditionally Approved 03/25/2013 (Ord. # 2116).

Staff searched for but did not find any Zoning or site plan approval records related to the *Spartan Self Storage*, a 1-acre ministorage development at 12113 S. Memorial Dr. which appears to have 0’ setbacks along the north/side, east/rear, and south/side property lines. The Tulsa County Assessor’s records indicate the facility was constructed in 1998.

BACKGROUND INFORMATION:

History of the Applications. When beginning the review of PUD 77 on March 08, 2013, Staff observed that the Comprehensive Plan designates the BZ-365 subject property as Low Intensity + Residential Area, with which OL zoning and a non-residential PUD are not consistent. Staff advised the Applicant by email that these applications needed to be Continued to the April 15, 2013 Regular Meeting, to allow for the preparation, submission, and concurrent review of a request for Comprehensive Plan Amendment, as would be required by Zoning Code Section 11-5-2. By phone conversation on March 08, 2013, Applicant JR Donelson consented to the Continuance to the April Regular Meeting. On March 18, 2013, the Planning Commission Continued both cases to the April 15, 2013 Regular Meeting.

BCPA-9 was submitted and advertised for the April 15, 2013 Regular Meeting, and is covered by this Staff Report.

At the TAC meeting held March 04, 2013, Staff discussed with the developer and developer’s agent JR Donelson some of the issues presented by the original proposal to build ministorage

buildings on the north and south property lines. Upon further reflection, Staff advised the Applicant by email on March 08, 2013 that this situation will apparently create need to secure easements from the adjoining property owners:

1. Temporary construction easement (or license) to allow construction activities that marginally fall on the adjoining properties during the erection of the buildings and installation of masonry facades
2. Permanent easement for building wall maintenance (repair, painting, repointing/"tuck-pointing," cleaning, etc.)

Securing multiple easements would be a significant issue to undertake, and considering the number of residential property owners abutting the south side of the property, may be nearly impossible to completely secure.

In addition to the other issues noted at the TAC meeting and the above, there may be other consequences 0' setback building may present that Staff has not yet considered due to there being no local experience with such a situation where a commercial building would be built on a residential property line. Zero-lot-line developments are typically residential (townhouses, etc.) or downtown/storefront-style buildings, the latter which are not constructed locally anymore. In those cases, residential abuts residential, and commercial abuts commercial. Staff requested input from Tulsa area community planners, and received many comments, but none of them provided insight into the question of construction or maintenance easements for 0' setback situations, or alternative solutions or new issues this would present.

Given:

1. 170' lot width
2. 30' minimum spacing between buildings
3. 70' desired main building with (20' exterior access, 10' interior access, 10' internal walking corridor, 10' interior access, 20' exterior access)
4. 20' desired south line building (10' X 20' storage units)
5. 20' desired north line building (10' X 20' storage units),

It appears that any setback along the south line would not allow all three (3) buildings to be in their current configurations. The modular pre-fabricated storage buildings come in 10' X 10' increments. That would appear to require reducing one (1) tier of exterior access units from 20' to 10' in depth. Other than reducing the building with, the only other flexibility would come from reducing drive(s), which is subject to the review and approval of the Fire Marshal.

JR Donelson, Bill Wilson, Fire Code Enforcement Official Jim Sweeden, and City Planner Erik Enyart met on April 02, 2013, to discuss this situation and options. It was determined that the Zoning Code's 30' minimum separation between buildings was intended to allow turning movements for fire apparatuses within the site. Upon agreement in the meeting, the southerly east-west drive was enhanced with an additional gate at its west end, allowing for a singular drive with no required turning movements from east to west ends. This allowed the reduction in the drive width from 30' to 26', with the 4' to be applied along the south line as the building setback. Per the Fire Marshal, the full 26' drive width is required to be carried through to 85th

Pl. E. The northernmost buildings continue to be proposed on the northerly property line, with expectation that the property owner will be able to secure easement or other legal permission to allow temporary construction activities and future building wall maintenance as described above. As of the date of this report, documentation regarding easement or other legal permission has not been received.

Staff encourages the revision adding a 4' setback from the southerly property line of Development Area A ("DA A"), as a 0' commercial building setback from single-family residential properties was problematic for several reasons. Further, the 4' setback, as per statements by the Applicant in the April 02, 2013 meeting with Staff, would allow for the several existing mature trees along the fenceline to be preserved. Installing a required fence or redesigning the site in accordance with the Zoning Code requirements, which would normally result in an internal drive constructed here (which has no required setback) would result in the loss of these trees. To ensure this design element is incorporated in this PUD, Staff recommends adding a 4'-wide "Existing Tree Preservation and Landscaping Easement" along the entirety of the south line of DA A, as per other recommendations in this report. Due to the 4' building-to-property line proximity and the intent to use materials required by the Zoning Code, the building wall is proposed to serve as the screening fence along this south property line. Staff has reservations about the proposed use of "stamped concrete to resemble brick." Unless the Planning Commission and City Council can be convinced that the "stamped concrete" will be consistent in quality in terms of appearance and resistance to weathering, cracking, and fading, Staff recommends actual brick be used along the south line, in respect to the residential neighborhood. This also applies to the east end of the southernmost building, which appears to be approximately 5' from the west/rear yard line of the residential Lot 12, Block 2, *Southern Memorial Acres No. 2*, rather than having the 10' setback required.

While resuming the review of PUD 77 on April 05, 2013, Staff found that the PUD proposed a maximum floor area of 40,000 square feet, which would be an effective FAR of 0.33. Staff calculated the proposed square footage based on the site plan, at 57,500 square feet, which is an FAR of 0.47. The maximum allowable in the OL district is 0.30, but it may be increased to 0.40 by Special Exception (or PUD, in this case). In response, on April 09, 2013, the Applicant submitted a revised PUD removing certain portions of building areas as originally proposed. The revised plan now proposes approximately 47,600 square feet, an FAR of 0.39, which may be allowed by this PUD.

As requested by the Applicant, this PUD was Continued from the April 15, 2013 Regular Meeting to a May 02, 2013 Special Meeting agenda. This report has been updated to reflect changes made to the PUD, received on April 26, 2013. The name of the PUD was changed from "Byrnes Mini-Storage" to "Byrnes Mini-Storages." In the interest of time, Staff has dispensed with the customary detailed re-review of the report for resolution of internal inconsistencies, and focused most attention to the recommended corrections, modifications, and Conditions of Approval.

At the May 02, 2013 Special Meeting, after extensive discussion, a Motion to Recommend Denial of BCPA-9 failed by split vote (2:1:0). As suggested by Staff, BCPA-9, PUD 77, and BZ-365 were Continued to this May 20, 2013 Regular Meeting, in order to allow other Commissioners to attend and possibly achieve a quorum majority vote.

The Nature and Value of the Comprehensive Plan. Comprehensive Plans are the result of intensive study, broadly garnered and comprehensive information, professional analysis and coordination, public input, and general consensus of the City's staff, Planning Commission, and City Council. They bring together all planning functions (e.g., housing, land use, transportation, physical environment, energy, infrastructure and community facilities, demographics, etc.), analyze and compare them all on the community-wide scale, relate them to specific geographical areas within the community (i.e. the Land Use Map), and consider all this with a long-range time perspective (e.g., 15-20 years into the future).

The Comprehensive Plan is a thorough, complete, and well researched policy document used to inform the Planning Commission, City Council, and the Public at large how land can best be developed and used (among other things), and so how rezoning applications should be accepted or rejected. Comprehensive Plans, when followed, prevent arbitrary, unreasonable, or capricious exercise of the legislative power resulting in haphazard or piecemeal rezonings (read: rezoning decisions legally indefensible in a court of law).

Comprehensive Plans can be highly prescriptive, prescribing specific land uses and land use intensities to specific parcels of land, or can be highly generalized, merely mapping out large swaths of land which may be suitable for certain intensities of development, and including a broad range of zoning districts which may be authorized therein. Bixby's Comprehensive Plan falls somewhere in between, specifically designating certain areas with specific land uses, and others more generally (e.g. the "Corridor" designation.).

Zoning Code Section 11-5-2 prohibits rezonings which would conflict with the Comprehensive Plan, and requires that such rezonings "must be processed along with a request to amend the land use map and a PUD in order to be accepted and considered." The Applicant has requested PUD 77 in support of BCPA-9 and the rezoning application.

Procedure for Comprehensive Plan Amendments. Certain passages in the Comprehensive Plan text (page 30, 55, etc.) suggest the anticipation of amendments to the Plan. However, the Comprehensive Plan does not provide, nor do State Statutes, a definite procedure or method for the City or property owners to request to amend the Comprehensive Plan. The City of Broken Arrow regularly (quarterly, etc.) considers applications to amend their Comprehensive Plan, for cases where a rezoning application would not be consistent with the Plan, but the plan amendment and rezoning application may be appropriate.

After receiving the first two (2) requests in mid-2008 (BCPA-1 and BCPA-2), Staff consulted the City of Broken Arrow to determine how that community goes about facilitating applications for Comprehensive Plan amendments, and followed the same method, which was supported by the Applicant's attorney in those cases, which was to advertise the public hearing in the same manner used for a rezoning application: By sign posting on the property, newspaper publication, and mailing a notice to all property owners within a 300' radius of the subject property. This method was used in the successful applications BCPA-3 and BCPA-4 in 2009, BCPA-5 and BCPA-6 in 2011, and BCPA-7 and BCPA-8 in 2012, and all of these have been done in this amendment case as well.

52

ANALYSIS:

Subject Property Conditions. The subject property consists of three (3) parcels of land:

1. The Easterly approximately 472' of Lot 1, Block 1, *The Boardwalk on Memorial* (approximately 1.4 acres), separated from the balance of the platted lot with the shopping center and parking lot by Lot-Split BL-373 in 2010, Tulsa County Assessor's Parcel # 57623730115240,
2. One (1) acre unplatted tract, being the E. 256.23' of the N. 170' of the NW/4 of Section 01, T17N, R13E, Tulsa County Assessor's Parcel # 97301730154670, and
3. Lot 11, Block 2, *Southern Memorial Acres No. 2* (approximately 0.6 acres), Tulsa County Assessor's Parcel # 58100730101130.

Tract "1" contains a soccer practice field and is zoned AG with PUD 29A. Tract "2" contains a residential accessory building historically associated with Tract "3" and is zoned AG. Tract "3" contains a single-family dwelling and is zoned RS-2.

Tracts "1" and "2" are requested for Comprehensive Plan amendment and rezoning from AG to OL. All three (3) tracts are to be covered by PUD 77. PUD 77 would supersede PUD 29A for the concerned part thereof. Tracts "1" and "2" are in Development Area A, and Tract "3" is in Development Area B. Tract "3" / Development Area B will remain zoned RS-2 and will continue to maintain the house structure as a residential dwelling.

All of the subject property is relatively flat and drains to the east to an un-named tributary of Fry Creek # 1.

Comprehensive Plan. The Comprehensive Plan designates all of the subject property as (1) Low Intensity and (2) Residential Area. BCPA-9 requests removal of Residential Area specific land use designation, to allow Development Area A to be rezoned to OL and be developed with a ministorage business.

The "Matrix to Determine Bixby Zoning Relationship to the Bixby Comprehensive Plan" ("Matrix") on page 27 of the Comprehensive Plan provides that OL zoning *May Be Found In Accordance* with the Low Intensity designations of the Comprehensive Plan Land Use Map.

Page 7, item numbered 1 of the Comprehensive Plan states:

"The Bixby Comprehensive Plan map depicts desired land uses, intensities and use and development patterns to the year 2020. Intensities depicted for undeveloped lands are intended to develop as shown. Land uses depicted for undeveloped lands are recommendations which may vary in accordance with the Intensities depicted for those lands." (emphasis added)

This language is also found on page 30, item numbered 5.

This text introduces a test to the interpretation of the Comprehensive Plan Land Use Map, in addition to the Matrix: (1) If a parcel is within an area designated with a specific "Land Use"

(other than “vacant, agricultural, rural residences, and open land,” which cannot be interpreted as permanently-planned land uses), and (2) if said parcel is undeveloped, the “Land Use” designation on the Map should be interpreted to “recommend” how the parcel should be zoned and developed. Therefore, the “Land Use” designation of the Comprehensive Plan Land Use Map should also inform/provide direction on how rezoning applications should be considered by the Planning Commission and City Council.

If approved to remove the Residential Area specific land use designation, BCPA-9 would not confer a new one.

Per the Matrix, PUDs (as a zoning district) are *In Accordance* or *May Be Found In Accordance* with all designations of the Comprehensive Plan Land Use Map, and thus PUD 77 would be *In Accordance* with the Comprehensive Plan as a zoning district.

General. Because the review methodology is similar, and all three (3) applications are essentially rezoning-related and propose to prepare the subject property for the same ministorage development, this review will, for the most part, include all three (3) applications simultaneously, and not attempt to differentiate between the analyses pertaining to each of the different applications.

The submitted site plans for the development exhibit a suburban-style design. The plan indicates essentially three (3) rows of ministorage buildings, with internal drives connecting them. Primary access would be through an “Existing 25’ Access Easement” through the Boardwalk on Memorial shopping center parking lot. The entrance will be gated past the leasing office and parking area. Secondary, emergency-only ingress/egress would be through a driveway connecting the southeast corner of Development Area A through the south/west side of the residential lot to S. 85th E. Pl. Per revised plans received April 09, 2013, another emergency-only gated entrance will be installed at the west end of the southerly drive in Development Area A, to allow a “straight shot” drive to the emergency-only ingress/egress at the southeast corner of the PUD. This revision will allow the reduction in the 30’ minimum building spacing for that drive only per the Fire Marshal, since the 30’ spacing between buildings is primarily to ensure adequate spacing for fire apparatus turning movements and thus, removing the need for turning movements from that drive reduces the drive width requirement.

For stormwater drainage and detention purposes, a stormwater detention pond will be constructed at the northeast corner of DA A. This will, in turn, drain into the un-named upstream tributary of Fry Creek # 1.

In the interest of efficiency and avoiding redundancy, regarding PUD particulars for needed corrections and site development considerations, such as screening, buffering, and exterior materials, please review the recommended Conditions of Approval as listed at the end of this report.

The Fire Marshal’s, City Engineer’s, and City Attorney’s review correspondence are attached to this Staff Report (if received). Their comments are incorporated herein by reference and should be made conditions of approval where not satisfied at the time of approval.

54

The Technical Advisory Committee (TAC) discussed PUD 77 at its regular meeting held March 04, 2013. Minutes of that meeting are attached to this report.

Access. The proposed internal automobile traffic and pedestrian flow and circulation and parking can be inferred from the provided site plans.

Development Area A is "landlocked," having no frontage on a dedicated and built public street. Access will be provided by means of Mutual Access Easements from adjoining lots with public street frontage and between lots within the development.

The development is planned to have two (2) means of ingress / egress through *The Boardwalk on Memorial* shopping center, which will lead to two (2) entrances / gates at the west end of DA A. The routes as planned for the two (2) drives through the shopping center must be legally provided by dedication of Mutual Access Easement(s). The Applicant needs to provide in the appropriate section of the Text a timeline for the dedication or a citation of Document # where such easement(s) is/are recorded.

The two (2) Mutual Access Easements to connect and allow cross access between proposed Lots 1 and 2, Block 1, "Byrnes Mini-Storages," must be represented on the Exhibit A "Preliminary Plat" and other Exhibits as appropriate.

At the east end of the PUD, a 26'-wide emergency-only ingress/egress drive will be constructed through Development Area B, connecting DA A to 85th Pl. E. It is not clear, from the provided plans, whether and to what extent that 26'-wide drive will fall on Lot 12, Block 2, *Southern Memorial Acres No. 2*. Per the plans, part of the drive may fall on that residential lot by means of a 15'-wide Mutual Access Easement. The plans cite the recordation of the easement with Document # 2013018388, which is a "Roadway Easement" granted from Gail & John Horne to The Helene V. Byrnes Foundation, recorded 02/22/2013. The document grants easement over "The Northwesternly 15 feet" of Lot 12. Based on its representation on the provided exhibits, it is assumed to have meant the "Northeasterly 15 feet." Otherwise, the described area may be a pie-shaped piece extending southeasterly from the northwest corner of said Lot 12, which may not allow for the emergency-only 26'-wide drive as shown on the plans. The Applicant should clarify and/or amend the easement if/as needed.

Development Area A has frontage on the northerly dead-end of S. 85th E. Ave., a half-street platted in *Gre-Mac Acres* but not built. The PUD Text needs to specify that access to this platted right-of-way will not be allowed within this PUD.

Surrounding Zoning and Land Use Compatibility. Surrounding zoning patterns are primarily CS, OL, AG, RS-1, and RS-2.

To the north is a single-family residence on a 7-acre tract zoned OL and AG, the PUD 68 "North Bixby Commerce Park" pending development on a 16-acre tract with underlying zoning CS and OL, a drainage channel, and residential homes in *Houser Addition* zoned RS-1. "North Bixby Commerce Park" consisted of (1) a ministorage development on the southerly approximately 8 acres, a "trade center" / "office-warehouse" development on the middle

55

approximately 5 acres, and a retail commercial site on the balance of the acreage at its north end along 121st St. S. Thus, the City of Bixby has recently approved OL zoning and ministorage development for the tract abutting to the north, similar to the present applications. To the northwest at 12113 S. Memorial Dr. is the *Spartan Self Storage*, a 1-acre ministorage development which appears to have 0' setbacks along the north/side, east/rear, and south/side property lines. The Tulsa County Assessor's parcel records indicate the facility was constructed in 1998.

The *The Boardwalk on Memorial* shopping center to the west is zoned CS/PUD 29-A, and Memorial Dr. is further west zoned CS and CG. On March 25, 2013, the City Council Approved/Conditionally approved PUD 76, CG zoning per BZ-364, and a Preliminary Plat of "Scenic Village Park," a multiple-use development, including ministorage, on 92 acres located approximately 1/3 of a mile west of subject property.

South and east of the subject property is single-family residential zoned RS-1 in *Gre-Mac Acres* along 124th St. S. and RS-2 in *Southern Memorial Acres No. 2*. Care must be applied when allowing the non-residential zoning and ministorage business land use to abut residential zoning and land use.

The requested OL zoning would be a logical extension of the two (2) established OL districts to the north, one (1) of which is abutting. Further, the location of BZ-365 would place the OL district between CS districts abutting to the north and west and the RS districts abutting to the south and east, and so the OL could serve as a buffer zoning district between CS and RS. OL zoning is the lowest-intensity non-residential district available in the City of Bixby, and is commonly used as a buffer zoning district between higher-intensity uses and residential districts. Ministorage itself is commonly used as a buffer land use between higher intensity uses and residential districts.

Recognizing its landlocked position and long and narrow tract configuration, Staff believes that the location and configuration of Development Area A and the character surrounding area satisfactorily meet the expectations of Zoning Code Section 11-9-16.C.13 for ministorage developments.

Therefore, Staff is supportive of BCPA-9 and OL zoning as requested by BZ-365, as refined by PUD 77. Staff has certain recommendations as to the specifics of PUD 77 to enhance the compatibility of the development with the residential neighborhood to the south and east, listed in the Staff Recommendation section of this report.

Zoning Code Section 11-7I-8.C requires PUDs be found to comply with the following prerequisites:

1. Whether the PUD is consistent with the comprehensive plan;
2. Whether the PUD harmonizes with the existing and expected development of surrounding areas;

56

3. Whether the PUD is a unified treatment of the development possibilities of the project site; and

4. Whether the PUD is consistent with the stated purposes and standards of this article.

Regarding the fourth item, the “standards” refer to the requirements for PUDs generally and, per Section 11-7I-2, the “purposes” include:

A. Permit innovative land development while maintaining appropriate limitation on the character and intensity of use and assuring compatibility with adjoining and proximate properties;

B. Permit flexibility within the development to best utilize the unique physical features of the particular site;

C. Provide and preserve meaningful open space; and

D. Achieve a continuity of function and design within the development.

For the sake of development and land use compatibility, as described more fully above, Staff would be supportive of the three requests supporting the development proposal if it provides for land use buffering and compatibility needs. If these were satisfactorily provided for, Staff believes that the prerequisites for PUD approval per Zoning Code Section 11-7I-8.C will have been met.

Staff Recommendation. For all the reasons outlined above, Staff believes that the surrounding zoning and land uses and the physical facts of the area weigh in favor of the requested amendment and rezoning applications generally. Therefore, Staff recommends Approval of both requests, subject to the following corrections, modifications, and Conditions of Approval:

1. Subject to the satisfaction of all outstanding Fire Marshal, City Engineer, and City Attorney recommendations.
2. Please secure and submit easements (or other acceptable form of legal agreement) to allow incidental construction activities and future building wall maintenance activities on the two (2) parcels adjoining to the north, to allow the buildings to be constructed on the north property line.
3. Please submit clear and compelling information on what the building wall would look like on the south side, as facing the residential homes, in order to not have to install a screening fence along the south line, 4’ from the building. A note on site plan states “Back wall of building to be stamped concrete to resemble brick.” This needs to be operationalized by placing text into the Development Standards for DA A. Further, please submit an example or exhibit of the “stamped concrete” actually proposed, for the review and approval of the Planning Commission and City Council. Unless the Planning Commission and City Council can be convinced that the “stamped concrete” will be consistent in quality in terms of appearance and resistance to weathering, cracking, and fading, Staff recommends actual brick be used along the south line, in

respect to the residential neighborhood. This also applies to the east end of the southernmost building, which appears to be approximately 5' from the west/rear yard line of the residential Lot 12, Block 2, *Southern Memorial Acres No. 2*.

In the PUD received April 26, 2013, certain standards have been proposed but which are not fully consistent with Staff's recommendations. Reconciliation is recommended.

4. In addition to the southerly property line as discussed elsewhere, Zoning Code Section 11-9-16.C.3, the masonry building wall and screening fence requirements would appear to apply to:
 - a. The north building wall of the northernmost buildings (to the extent adjoining OL zoning, and potentially visible from RS-1 zoning in *Houser Addition*),
 - b. The north property line (to the extent adjoining OL zoning, and potentially visible from RS-1 zoning in *Houser Addition*),
 - c. The east property line (adjoining RS-2 zoning),
 - d. The east-facing ends of three (3) easternmost buildings (adjoining RS-2 zoning).
 - e. The west-facing ends of three (3) westernmost buildings (visible from RS-2 zoning).The PUD Text needs to list and describe building wall and screening fence materials to be applied to each of the above, and the same need to be labeled on the appropriate Exhibit(s).

In the PUD received April 26, 2013, certain standards have been proposed but which are not fully consistent with Staff's recommendations. Reconciliation is recommended.

5. The modular pre-fabricated storage buildings come in 10' X 10' increments. Please confirm that these dimensions incorporate the thickness of exteriorly-applied siding materials (masonry or "stamped concrete" tilt-up panels, etc.), or adjust site plans as necessary. For the sake of the residential properties to the south and the other reasons expressed elsewhere in this report, Staff is not supportive of reducing the setback from the south line less than 4' as currently proposed.
6. The PUD needs to specify that the existing U/Es will be vacated, and the Applicant will request a Modification/Waiver of the 17.5' Perimeter U/E requirement when platting, and specify to propose, in lieu thereof, a U/E between the northernmost buildings to allow the waterline loop, and future utilities as may be necessary.
7. "Roadway Easement" granted from Gail & John Horne to The Helene V. Byrnes Foundation, Document # 2013018388, recorded 02/22/2013, grants easement over "The Northwesterly 15 feet" of Lot 12. Based on its representation on the provided exhibits, it is assumed to have meant the "Northeasterly 15 feet." Otherwise, the described area may be a pie-shaped piece extending southeasterly from the northwest corner of said Lot 12, which may not allow for the emergency-only 26'-wide drive as shown on the plans. Please clarify and/or correct easement if/as needed.
8. Page 2, DA B Minimum Building Setbacks: Zoning Code citation needs to use a period instead of a colon to remove ambiguity.
9. Page 3, Section C.1.a: First sentence wording suggests a screening fence will be installed along the north line. Please clarify.
10. Page 3, Section C.1.a: Staff recommends adding a 4'-wide "Existing Tree Preservation and Landscaping Easement" along the entirety of the south line of DA A, as per other recommendations in this report. Please add this to the narrative here, stating that all existing mature trees of a certain minimum caliper (and define same) within the 4'

58

easement will be preserved, or replaced through time at a 2:1 ratio, and new landscaping will be planted, spaced X' (20' maximum) on center, for areas currently containing no trees, in consideration of the requested removal of the requirement for a screening fence along the south property line of DA A. Describe what new landscaping will be installed, which must be found satisfactory to the Planning Commission and City Council. Specify that the new landscaping will be replaced through time at a 1:1 ratio. Describe how new landscaping will be irrigated and how the minimum "drip line" requirements of the landscaping chapter of the Zoning Code will be met, at least in spirit and intent.

In the PUD received April 26, 2013, certain standards have been proposed but which are not fully consistent with Staff's recommendations. Reconciliation is recommended.

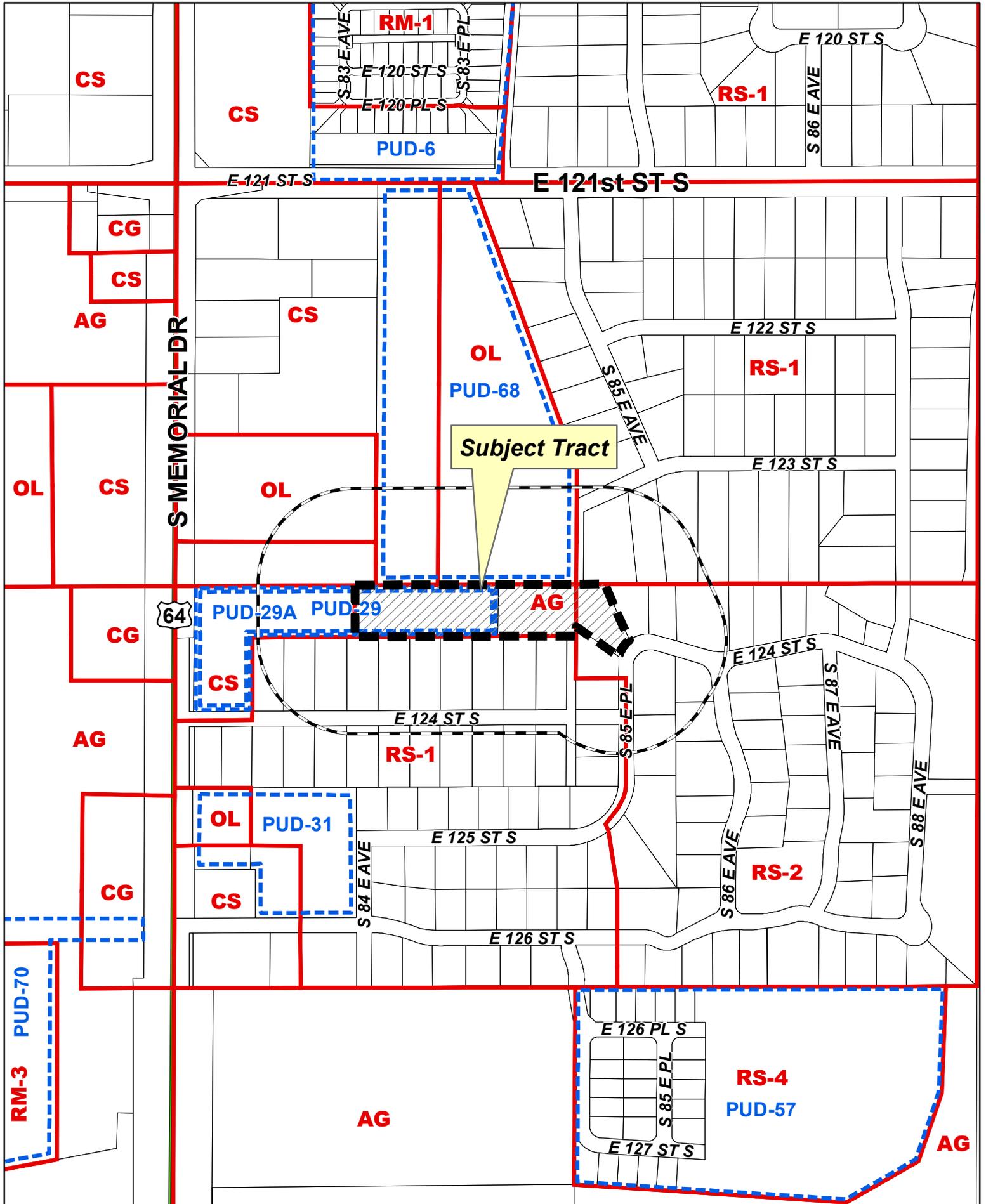
11. Page 3, Section C.1: Please quantify how much landscaping will be proposed for which property lines (landscaped strip widths, landscaped areas, and tree counts), recognizing the following minimum setbacks/minimum required landscaped areas and landscaping tree requirements as per Zoning Code Sections 11-7I-5.E and 11-7C-4 Table 3 and this PUD:
 - a. The west approximately 68' of the north line of DA A abutting AG zoning has a 10' setback therefrom (680 square feet = 1 landscaping tree; 15% of this area must be landscaped).
 - b. The East Line of DA A, abutting RS-2 zoning for a distance of 170', has a 10' setback therefrom (1,700 square feet = 2 landscaping trees; 15% of this area must be landscaped).
 - c. The South Line of DA A, abutting RS-1 zoning for a distance of approximately 723.74', has a 10' setback therefrom (7,237.4 square feet = 8 landscaping trees; 15% of this area must be landscaped).
 - d. The 170'-long West Line of DA A has a 15' setback therefrom (2,550 square feet = 3 landscaping trees; 15% of this area must be landscaped).

Any proposed reductions from the above must be spelled out and approved as a part of this PUD and the same must be compensated for by alternative landscape plans, in recognition of Zoning Code Section 11-7I-5.E. Recognizing that this PUD, as proposed, grants flexibility from the setbacks per a., b., and c. and from the screening fence requirement for ministorage uses along the north and south lines of DA A, the proposed standards should demonstrate that the combination of existing tree preservation and new tree plantings will be more than the minimum standards as would otherwise be required.

In the PUD received April 26, 2013, certain standards have been proposed but which are not fully consistent with Staff's recommendations. Reconciliation is recommended.

12. Page 3, Section C.2.a: Please specify that the one (1) "ground monument sign" "shall" not exceed 15' in height (used term "will" connotes intent at this point in time, and does not clearly have obligatory effect in this context).
13. Page 4, Section C.7 Access, Circulation and Parking: Describe plans for access such as identified in this analysis:
 - a. The gated emergency-only ingress/egress through Lot 11, Block 2, *Southern Memorial Acres No. 2* to S. 85th Pl. E., to include
 - b. Whether and to what extent that 26'-wide drive will fall on Lot 12, Block 2, *Southern Memorial Acres No. 2*, and

- c. If the "Roadway Easement" on Lot 12, Block 2, *Southern Memorial Acres No. 2* was adequately described therein or requires amendment.
14. Exhibits A, B, F, & G: Please represent and label existing U/Es (with notation that same are subject to being vacated) and proposed new U/E (see related review item).
 15. Exhibit A "Preliminary Plat": Approval of Exhibit A as a part of this PUD, though titled "Preliminary Plat," would not constitute the approval of an application for Preliminary Plat of "Byrnes Mini-Storages," which will require submission of an application and a full review for Preliminary Plat approval. Staff has not reviewed Exhibit A fully as if it were a Preliminary Plat.
 16. Exhibit B: Please dimension existing and proposed setbacks as follows:
 - a. Three (3) westernmost buildings from the west property line.
 - b. Northernmost two (2) buildings from the east line of proposed Lot 1, Block 1, "Byrnes Mini-Storages."
 - c. Southernmost building from the east line of proposed Lot 2, Block 1, "Byrnes Mini-Storages."
 - d. House in Development Area B / proposed Lot 3, Block 1, "Byrnes Mini-Storages" from (at a minimum) front, northeast/side, and 135'-wide west/rear property lines.
 17. Exhibit B: Please label Development Areas as stated in Introduction section on page 1.
 18. Exhibit B: Please label proposed fence height and materials as per other recommendations in this report. Fence notation completely missing at southwest corner of DA A.
 19. Exhibit C: Please restore PUD name or add PUD #.
 20. Exhibit G: Please confirm all existing trees of a certain minimum caliper (must be defined) are represented within X' (4' minimum) north and south of the south line of DA A and represent any currently missing. Aerial and satellite imagery indicate several other trees than are represented on the exhibit, but their sizes are not known.
 21. For the recommended Conditions of Approval necessarily requiring changes to the text or exhibits, recognizing the difficulty of attaching Conditions of Approval to PUD ordinances due to the legal requirements for posting, reading, and administering ordinance adoption, please incorporate the changes into appropriate sections of the PUD, or with reasonable amendments as needed. Please incorporate also the other conditions listed here which cannot be fully completed by the time of City Council ordinance approval, due to being requirements for ongoing or future actions, etc. Per the City Attorney, if conditions are not incorporated into the PUD text and exhibits prior to City Council consideration of an approval ordinance, the ordinance adoption item will be Continued to the next City Council meeting agenda.
 22. A corrected PUD text and exhibits package shall be submitted incorporating all of the corrections, modifications, and conditions of approval of this PUD: Two (2) hard copies and one (1) electronic copy (PDF preferred).

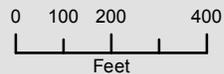


300' Radius



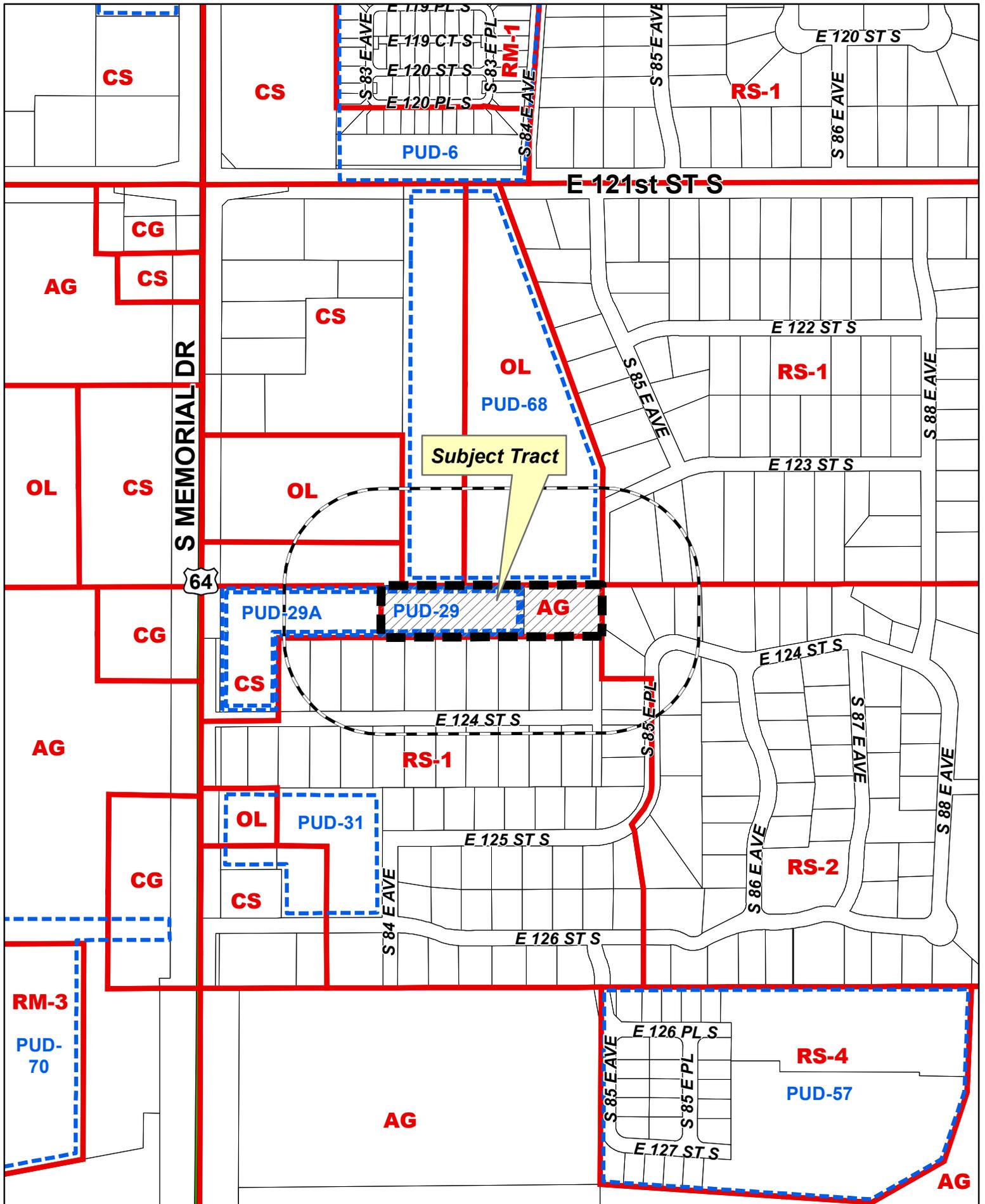
Subject Tract

PUD-77

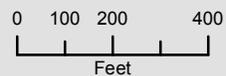


01 17-13



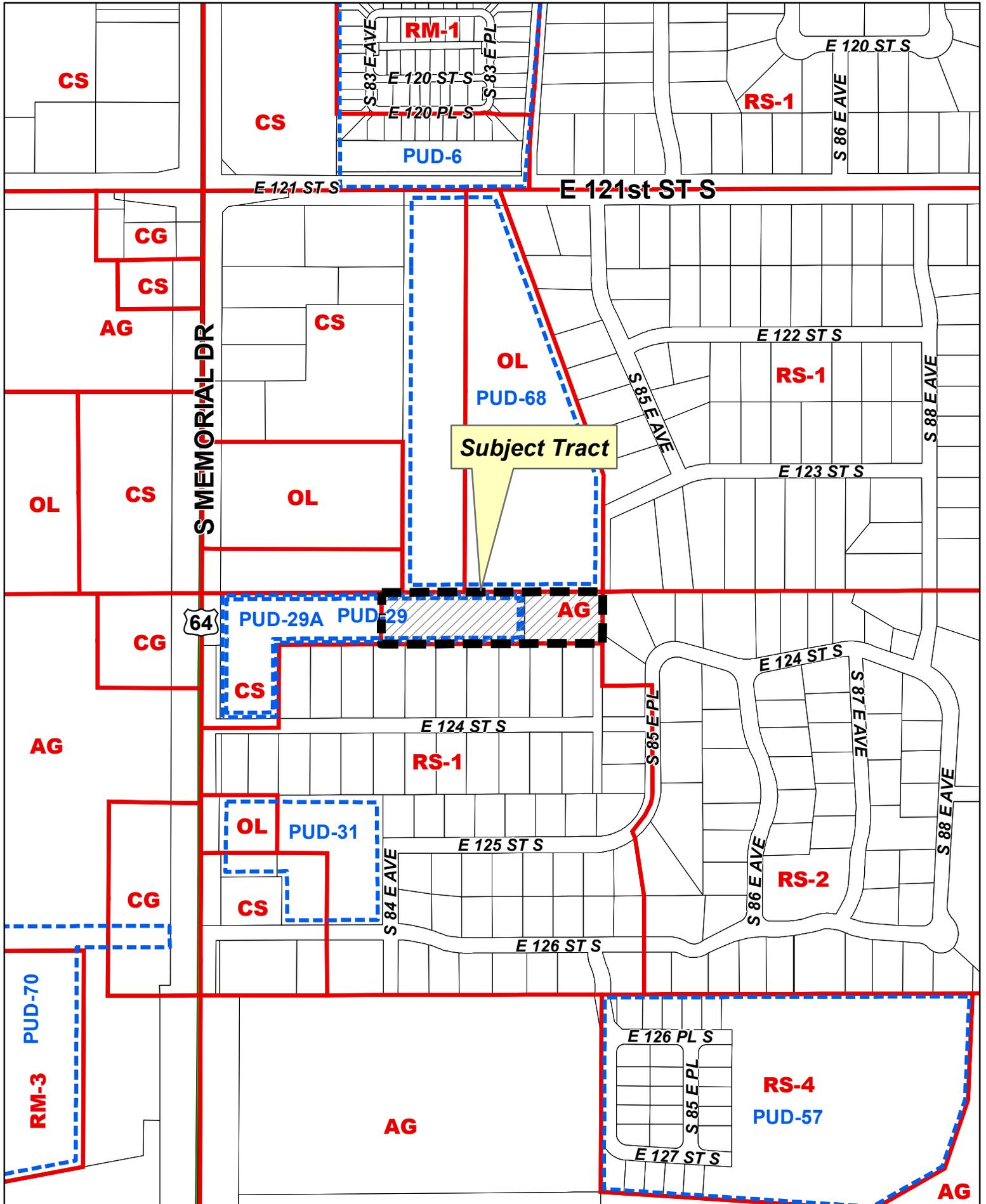


BCPA-9



01 17-13



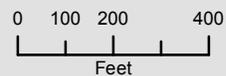


300' Radius



Subject Tract

BZ-365



01 17-13



Erik Enyart

From: Joey Wiedel [firemarshal@bixby.com]
Sent: Monday, April 08, 2013 9:54 AM
To: jrdon@easytelmail.com
Cc: Erik Enyart
Subject: RE: from JR Donelson / Bill Wilson project

JR. Donelson,

Please note that we will need more hydrants than is presented on the drawing. Also the driveway that is coming off of 85th E. Ave needs to be at least 26' wide.

Joey Wiedel/ Fire Marshal
City of Bixby Fire Dept.
116 W. Needles
Bixby, Ok 74008
PH: (918)366-0436
F: (918)366-4416

From: Erik Enyart [mailto:eenyart@bixby.com]
Sent: Thursday, April 4, 2013 3:50 PM
To: Jim Sweeden; 'Joey Wiedel (firemarshal@bixby.com)'
Subject: FW: from JR Donelson / Bill Wilson project

Jim / Joey:

I just noticed that JR did not copy you on this. He is looking for your input prior to completing the PUD revision. Please advise as appropriate and thanks,

Erik

From: JR Donelson [mailto:jrdon@easytelmail.com]
Sent: Thursday, April 04, 2013 7:24 AM
To: Erik Enyart
Subject: from JR Donelson / Bill Wilson project

Erik,
Please review and have Jim review. I am revising the PUD now. Let me know if I need to modify this or add language.

JR Donelson

No virus found in this message.
Checked by AVG - www.avg.com
Version: 2013.0.3267 / Virus Database: 3162/6221 - Release Date: 04/02/13

64

Memo

To: Erik Enyart, AICP, City Planner

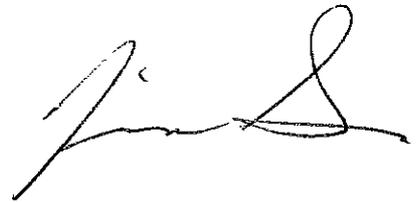
From: JOEY WIEDEL

Date: 2/21/2013

Re: PUD 77 "Byrnes Mini Storage"

PUD 77 concept site plans are not approved. Need larger set of plans that is legible. Plans need to be no smaller than 11½ by 17½.

See code attachment.



building official is authorized to grant, in writing, one or more extensions of time, for periods not more than 180 days each. The extension shall be requested in writing and justifiable cause demonstrated.

105.6 Suspension or revocation. The *building official* is authorized to suspend or revoke a *permit* issued under the provisions of this code wherever the *permit* is issued in error or on the basis of incorrect, inaccurate or incomplete information, or in violation of any ordinance or regulation or any of the provisions of this code.

105.7 Placement of permit. The building *permit* or copy shall be kept on the site of the work until the completion of the project.

SECTION 106 FLOOR AND ROOF DESIGN LOADS

106.1 Live loads posted. Where the live loads for which each floor or portion thereof of a commercial or industrial building is or has been designed to exceed 50 psf (2.40 kN/m²), such design live loads shall be conspicuously posted by the owner in that part of each *story* in which they apply, using durable signs. It shall be unlawful to remove or deface such notices

106.2 Issuance of certificate of occupancy. A certificate of occupancy required by Section 111 shall not be issued until the floor load signs, required by Section 106.1, have been installed.

106.3 Restrictions on loading. It shall be unlawful to place, or cause or permit to be placed, on any floor or roof of a building, structure or portion thereof, a load greater than is permitted by this code.

SECTION 107 SUBMITTAL DOCUMENTS

107.1 General. Submittal documents consisting of *construction documents*, statement of *special inspections*, geotechnical report and other data shall be submitted in two or more sets with each *permit* application. The *construction documents* shall be prepared by a *registered design professional* where required by the statutes of the jurisdiction in which the project is to be constructed. Where special conditions exist, the *building official* is authorized to require additional *construction documents* to be prepared by a *registered design professional*.

Exception: The *building official* is authorized to waive the submission of *construction documents* and other data not required to be prepared by a *registered design professional* if it is found that the nature of the work applied for is such that review of *construction documents* is not necessary to obtain compliance with this code.

107.2 Construction documents. *Construction documents* shall be in accordance with Sections 107.2.1 through 107.2.5.

107.2.1 Information on construction documents. *Construction documents* shall be dimensioned and drawn upon suitable material. Electronic media documents are permitted to be submitted when *approved* by the *building official*. *Construction documents* shall be of sufficient clarity to indicate the location, nature and extent of the work proposed

and show in detail that it will conform to the provisions of this code and relevant laws, ordinances, rules and regulations, as determined by the *building official*.

107.2.2 Fire protection system shop drawings. Shop drawings for the *fire protection system(s)* shall be submitted to indicate conformance to this code and the *construction documents* and shall be *approved* prior to the start of system installation. Shop drawings shall contain all information as required by the referenced installation standards in Chapter 9.

107.2.3 Means of egress. The *construction documents* shall show in sufficient detail the location, construction, size and character of all portions of the *means of egress* in compliance with the provisions of this code. In other than occupancies in Groups R-2, R-3, and I-1, the *construction documents* shall designate the number of occupants to be accommodated on every floor, and in all rooms and spaces.

107.2.4 Exterior wall envelope. *Construction documents* for all buildings shall describe the *exterior wall envelope* in sufficient detail to determine compliance with this code. The *construction documents* shall provide details of the *exterior wall envelope* as required, including flashing, intersections with dissimilar materials, corners, end details, control joints, intersections at roof, eaves or parapets, means of drainage, water-resistive membrane and details around openings.

The *construction documents* shall include manufacturer's installation instructions that provide supporting documentation that the proposed penetration and opening details described in the *construction documents* maintain the weather resistance of the *exterior wall envelope*. The supporting documentation shall fully describe the *exterior wall system* which was tested, where applicable, as well as the test procedure used.

107.2.5 Site plan. The *construction documents* submitted with the application for *permit* shall be accompanied by a site plan showing to scale the size and location of new construction and existing structures on the site, distances from *lot lines*, the established street grades and the proposed finished grades and, as applicable, flood hazard areas, floodways, and *design flood* elevations; and it shall be drawn in accordance with an accurate boundary line survey. In the case of demolition, the site plan shall show construction to be demolished and the location and size of existing structures and construction that are to remain on the site or plot. The *building official* is authorized to waive or modify the requirement for a site plan when the application for *permit* is for *alteration* or repair or when otherwise warranted.

107.2.5.1 Design flood elevations. Where *design flood* elevations are not specified, they shall be established in accordance with Section 1612.3.1.

107.3 Examination of documents. The *building official* shall examine or cause to be examined the accompanying submittal documents and shall ascertain by such examinations whether the construction indicated and described is in accordance with the requirements of this code and other pertinent laws or ordinances.

66

Memo

To: Erik Enyart
From: Jared Cottle *JWC*
CC: Bea Aamodt
File
Date: 02/28/13
Re: Bymes Mini-Storage
PUD 77

General Comments:

1. Any previous restrictions on the property from the Boardwalk on Memorial and the construction of the soccer fields should be considered and incorporated into the proposed PUD.
2. Detention is required for all runoff that does not discharge directly to the Fry Creek Channel. However, because the area drains into the Fry Creek Channel, fee-in-lieu charges of \$0.20/sf of impervious area may still apply.
3. The storm water drainage system must accommodate runoff from adjacent properties and in no way inhibit the existing drainage patterns or cause any discharge onto the properties to the south.
4. Water and sewer mains are accessible from the site.
5. The location of fire hydrants as determined by the Fire Marshall may require extension of water mains onto the site. Water main extension will need to be looped.
6. Lot access to streets and internal circulation must be addressed to the satisfaction of both the Zoning Code and the Fire Marshall.

JR Donelson, Inc.

12820 So. Memorial Dr., Office 100

Bixby, Oklahoma 74008

918-394-3030

Email: jrdon@easytelmail.com

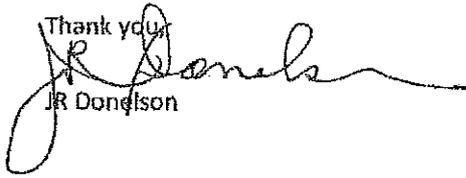
March 13, 2013

Erik Enyart
City Planner
City of Bixby
Bixby, Oklahoma

Re: Request to modify the Bixby Comprehensive Plan

William Wilson, representing the Helene V. Byrnes Foundation, requests the Bixby Comprehensive Plan be modified to allow the "OL", Office Low Intensity District zoning classification be allowed on their property. It is presently defined as a residential area by the Bixby Comprehensive Plan. The legal description of the property is attached.

Thank you,


JR Donelson

PROPERTY DESCRIPTION

A tract of land situated in a part of the NW/4 , Section 1, T-17-N, R-13-E, of the Indian Base and Meridian, Tulsa County, State of Oklahoma, being more particularly described by metes and bounds, by Charles K. Howard, LS 297, as follows, to-wit:

Beginning at the northeast corner of "The Boardwalk on Memorial", PUD 29; thence with an assumed bearing of S 89°59'21"E being the north line of "The Boardwalk on Memorial" a distance of 251.74 feet to the northwest corner of Lot 11, Block 2, Corrected plat of Southern Memorial Acres No. 2; thence S00°24'08"W and along the West line of said Lot 11, Block 2 a distance of 170.00 feet; thence N 89°59'21"W a distance of 723.62 feet; thence N 00°00'39"E a distance of 170.00 feet to the north line of "The Boardwalk on Memorial"; thence S 89°59'21"E and along the north line of "The Boardwalk on Memorial" a distance of 473.04 feet to the point of beginning and containing 2.82 acres more or less.

Byrnes Mini-Storages

Bixby, Oklahoma

April 8, 2013

Prepared For:

Helene V. Byrnes Foundation
12345 So. Memorial Dr., #108
Bixby, Oklahoma 74008

CITY OF BIXBY

APR 26 2013

RECEIVED

By Enxut

Prepared By:

J.R. Donelson, Inc.
12820 So. Memorial Dr., Office 100
Bixby, Oklahoma 74008

Byrnes Mini-Storages, Planned Unit Development No. 77

70

Byrnes Mini-Storages
Bixby, Oklahoma

April 8, 2013

Prepared For:

Helene V. Byrnes Foundation
12345 So. Memorial Dr., #108
Bixby, Oklahoma 74008

Prepared By:

J.R. Donelson, Inc.
12820 So. Memorial Dr., Office 100
Bixby, Oklahoma 74008

Byrnes Mini-Storages, Planned Unit Development No. 77

Byrnes Mini-Storages

Planned Unit Development Number 77

Introduction.

Byrnes Mini-Storages is planned for a Mini-Storage and Office development. The overall site totals 3.4616 acres. The site is located on the east side of South Memorial Drive and includes the east parcel of "The Boardwalk on Memorial" and Lot 11, Block 2, Southern Memorial Acres No.2. See Exhibit A, which is a Preliminary Plat of the Site.

As depicted on Exhibit B to this Planned Unit Development (PUD), the proposed PUD consists of two development areas. Development Area A will be used as Mini-Storage and Development Area B will remain residential. Development Area B will serve to provide a secondary, emergency only access drive for Development Area A. The legal description for this PUD is shown in Exhibit B1.

Zoning.

The Site, Development Area A currently consists of two parcels. The eastern parcel will be known as Lot 2, Block 1 and is presently zoned "AG", (Agriculture District). The western parcel will be known as Lot 1, Block 1 and is presently zoned "AG" and is a part of "The Boardwalk on Memorial", PUD 29A. An underlying zoning change is requested to "OL", (Office Low Intensity District). Development Area B will be known as Lot 3, Block 1 and is presently zoned "RS-2" (Residential District) and will remain "RS-2". Attached is Exhibit C, which is a map from INCOG that identifies the existing zoning of the site and surrounding area. All uses by right of "OL", (Office Low Intensity District) zoning will be allowed in Development Area A as well as Use Unit 16, mini-storage business use. All uses by right of "RS-2" will be allowed in Development Area B. The underlying zoning change application is case no. BZ-365.

The Comprehensive land-use Plan.

The Site is located within the jurisdiction of the Bixby Comprehensive Plan 2001-2020. The Helene V. Byrnes Foundation is requesting the Bixby Comprehensive Plan be modified to allow the "OL", Office Low Intensity District zoning classification be allowed on this property. It is presently defined as a residential area by the Comprehensive Plan.

Detailed Site Plan.

Prior to building permit issuance a Detailed Site Plan, adequate to demonstrate compliance with applicable standards and including details on proposed parking and landscape plans, shall be submitted for Planning Commission approval as required by the Zoning Code Section 11-7I-8.B.5 and this PUD.

Site Soil Conditions

The Soil Survey of Tulsa County, Oklahoma list the soil for this site to be "Choska very fine loam". The site is nearly level and has moderately permeable soil.

B. DEVELOPMENT AREA B

LAND AREA:

Gross: (includes ½ abutting ROW)	0.6356 acres	27,690square feet
Net:	0.6018 acres	26,215square feet

PERMITTED USES (to be allowed by right):

Those uses permitted are all the Use Units allowed by right within the “RS-2” zoning district of the City of Bixby Zoning Code; and all accessory uses permitted in the underlying zoning district and in the Planned Unit Development Chapter of the City of Bixby Zoning Code.

MINIMUM FRONTAGE	65.83 lin.ft.
MAXIMUM PROPOSED UNITS	1 units
MAXIMUM BUILDING HEIGHT:	35 feet
MINIMUM BUILDING SETBACKS	
Pursuant to Section 11-7B-4 Table 3, of the City of Bixby Zoning Code:	
LANDSCAPE/GREEN AREA	minimum 3,932 sf 15% gross land area

C. DEVELOPMENT STANDARDS FOR ALL DEVELOPMENT AREAS

1. LANDSCAPED AREA AND SCREENING

- a. Preliminary landscaping and screening area represented on Exhibit G. Development Area A - The screening of the North and South property line will be accomplished by utilizing the exterior wall of the building and a screening fence. The building material for the exterior wall of the building will be either brick or a concrete panel stamped to resemble brick. There will be a 4’-0” landscape area south of the south building adjacent to the south property line. Constructing the south building 4’-0” north of the south property line will allow 12 trees situated along the south property line to remain. A 6’-0” screening privacy fence will be installed along the west and east property lines. Any wall visible from an adjacent residential zoned property will be constructed from masonry or a concrete panel stamped to resemble brick. Development Area B – The existing trees and landscaping will remain on the site. No screening fences area required.
- b. A 4’-0” easement described as, “Existing Tree Preservation and Landscape Easement”, will be shown on the south 4’-0” of Development Area A.
- c. Three trees are required along the west property line, one will be proposed. Two trees are required along the east property line, four will be proposed. One tree is required along the north property line, two will be proposed. Eight trees are required along the south property line, twelve will be preserved by setting the building 4’-0” north of the south property line. None will be planted.
- d. The west property line area will have a minimum of 5% of landscape area. The east property line area will have a minimum of 15% landscape area. The south property line area will have a minimum of landscape of 4’-0” x 723.62’, which equals 2,894.48 sf. The north property line will have a minimum of 2500sf of landscaping.

2. SIGNS

- a. Signage shall comply with the PUD Chapter (Chapter 7-I). One (1) ground monument sign will be permitted in Development Area A and will not exceed 15'-0" in height.
- b. Flashing signs, changeable copy signs, running light or twinkle signs, animated signs, revolving or rotating signs with movement shall be prohibited in this PUD for Development Areas A and B, except as may be permitted by the Bixby Planning Commission as part of the approved detail sign plan.

3. LIGHTING

- a. Lighting used to illuminate the development area shall be so arranged as to shield and direct the light away from adjacent properties. Building-mounted lights will not exceed 12 feet in height.

4. TRASH, MECHANICAL AND EQUIPMENT AREAS

- a. There shall be no storage of recyclable materials, trash or similar material. All trash, ground supported mechanical and equipment areas, shall be screened from adjacent properties.

5. SITE GRADING

- a. According to the adopted and effective FEMA floodplain maps, the site has some amount of Flood Zone "AE" 100 year floodplain along the north line of Development Area A. An Earth Change / Floodplain Development permit will be requested and will determine if and how much area is in the "AE" zone. The Earth Change/ Floodplain Development permit will be approved by the City of Bixby to allow site grading as proposed for this development. An Elevation Certificate by an Oklahoma Register Professional Land Surveyor will be required prior to the issuance of a Building Permit / Floodplain Development Permit for the construction of the foundation of each building within Development Area A, which Elevation Certificate must demonstrate the 100-year Base Flood Elevation for the building site and the existing finished grade. A second Elevation Certificate will be required upon the completion of the foundation of each building in Development Area A prior to the issuance of a Building Permit / Flood Plain Development Permit for the balance of the building and must demonstrate the First Finish Floor of each structure's foundation is at least one (1) foot above the 100 year Base Flood Elevation. Alternately, the Elevation Certificate requirement may be avoided if the lot is fully removed from the adopted and effective FEMA floodplain maps at the time a building permit is sought.

The site will be graded so that storm water runoff flows to surface area drains located in the drive lanes, between the mini-storage buildings. The storm water will flow to a proposed dry storm water detention facility in the northeast portion of Lot 2. An existing French drain located approximately 2.5 feet north of the south property line presently collects storm water runoff along the south line of Development Area A and directs it to the Fry Ditch. The French drain will remain in place. Storm water runoff along the east boundary of Development Area A will be collected and directed to the proposed detention facility in the northeast portion of Lot 2. A Professional Engineer registered in the State of Oklahoma shall certify to the appropriate City official that all required storm water drainage requirements serving the Site have been installed in accordance with the approved plans prior to issuance of an Occupancy Permit on that lot. During construction on the property, the owner will provide adequate and reasonable erosion control methods, and after construction, will provide and maintain vegetative, landscaped ground cover so that soil does not erode on or from the property.

6. TOPOGRAPHY AND UTILITIES

- a. Topography. Topography of the Site is depicted on Exhibit F.
- b. Utilities. Water and sanitary sewer service will be provided by the City of Bixby. An existing water line is located on the east side of South Memorial Drive. A water line will be installed connecting the water line along South Memorial Drive to the existing water line along So. 85th Place. An existing sanitary sewer line is located running parallel to the south property line. A sanitary sewer line will be installed along the west property line and extended to the north property line. Storm water runoff will be collected in area inlets and piped to the on site detention facility.

7. ACCESS, CIRCULATION AND PARKING

- a. Access, traffic circulation and parking are depicted on Exhibit B. All drives and parking areas within the PUD shall be privately owned and maintained.
- b. There will be two (2) access gates along the west property line of Development Area A. One gate access the Byrnes Mini-Storages for customers. One gate will be for emergency vehicles and will be accessed using a knox-switch.
- c. Two (2) mutual access easements across "The Boardwalk on Memorial", will allow access to "Byrnes Mini-Storages". The mutual access easements will be filed at the Tulsa County Court House prior to the issuance of an occupancy permit for buildings in "Byrnes Mini-Storages".
- d. The access to the site, but un-built, So. 85th E. Ave. will not be allowed in the PUD.
- e. A 15 foot Roadway Easement, Doc. No. 2013018388, has been filed on Lot 12, Block 2, Southern Memorial Acres No. 2, allowing emergency access to South 85th E. Place.
- f. Two (2) mutual access easements will allow cross access between Lots 1 and 2, Development Area A.

8. RESTRICTIVE COVENANTS; ENFORCEMENT

- a. Restrictive covenants will be adopted and recorded for the PUD as platted. The hours of daily operation will be from 6:00 am to 10:00 pm. There will be no space used as a residential dwelling. A security system will be installed for the project to monitor client movement within the facility and serve as a deterrent for non clients.

9. SCHEDULE OF DEVELOPMENT

Development will commence upon the approval of the PUD, preliminary plat and the constructions drawings by the appropriate government agencies. The proposed development schedule is as follows :

- a. Earth Change Permit 5/15/2013
- b. Preliminary Plat 5/22/2013
- c. Approval of construction plans: 6/1/2013
- d. Final Plat / Detailed Site Plan 6/20/2013
- e. Installation of site erosion control: 6/24/2013
- f. Begin site grading: 6/25/2013
- g. Begin building construction: 8/1/2013

Exhibits

Exhibit A.	Preliminary Plat.
Exhibit B.	Conceptual Site Plan.
Exhibit B-1.	PUD Site Legal Description.
Exhibit C.	Existing Area Zoning.
Exhibit D.	FEMA Firm Map.
Exhibit E.	Aerial of the Site.
Exhibit F.	Topography of Site.
Exhibit G.	Landscape Plan.

PRELIMINARY PLAT BYRNES MINI-STORAGES

A TRACT OF LAND SITUATED IN THE NW/4 OF SECTION 1, T-17-N, R-13-E OF THE INDIAN BASE AND MERIDIAN, BEING A RE-PLAT OF A PORTION OF "THE BOARDWALK ON MEMORIAL" AND "LOT 11, BLOCK 2, SOUTHERN MEMORIAL ACRES NO.2", TO THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA.

PUD NO. 77

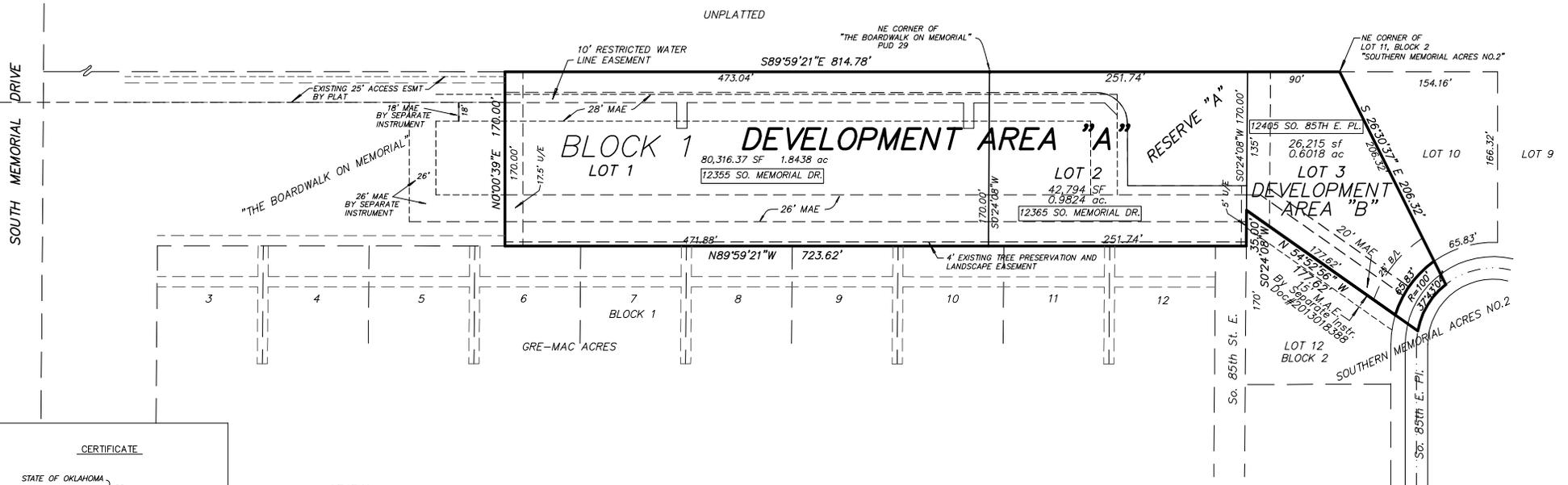


**FINAL PLAT
CERTIFICATE OF APPROVAL**
I hereby certify that this plat was approved by the City Council of the City of Bixby on _____
By: _____ Mayor - Vice Mayor
This approval is void if the above signature is not endorsed by the City Manager or City Clerk.
By: _____ City Manager - City Clerk

PLAT No.

ENGINEER/SURVEYOR:
JR DONELSON, INC.
12820 SO. MEMORIAL DR. #109
OFFICE 100
BIXBY, OKLAHOMA 74008
PHONE: 918-394-3030
C.A. NO. 5611 EXP. 6-30-13

OWNER:
HELENE V. BYRNES FOUNDATION
12345 SO. MEMORIAL DR. #109
BIXBY, OKLAHOMA 74008
CONTACT: BILL WILSON
PHONE: 918-263-1000
EMAIL: WILSON@OLP.NET

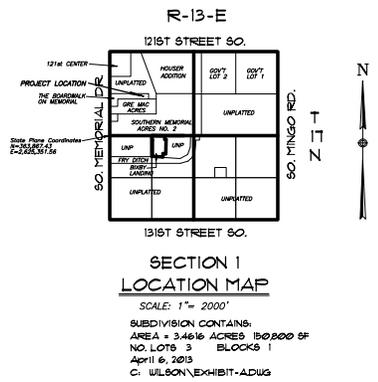


CERTIFICATE
STATE OF OKLAHOMA }
COUNTY OF TULSA } SS
I, Pat Key, Tulsa County Clerk, in and for the County and State of Oklahoma above named, do hereby certify that the foregoing is a true and correct copy of a like instrument now on file in my office.
Dated the _____ day of _____
Pat Key, Tulsa County Clerk
Deputy

LEGEND

U/E	UTILITY EASEMENT
BL	BUILDING LINE
ROW	ROAD RIGHT-OF-WAY
DOCNO.	DOCUMENT NUMBER

PROPERTY DESCRIPTION
A tract of land situated in a part of the NW/4, Section 1, T-17-N, R-13-E, of the Indian Base and Meridian, Tulsa County, State of Oklahoma, being more particularly described by metes and bounds, by Charles K. Howard, LS 297, as follows, to-wit:
Beginning at the northeast corner of "The Boardwalk on Memorial", PUD 29; thence with an assumed bearing of S 89°59'21"E being the north line of "The Boardwalk on Memorial" a distance of 251.74 feet to the northwest corner of Lot 11, Block 2, Corrected plat of Southern Memorial Acres No. 2; thence continuing S 89°59'21"E an along the north line of said Lot 11, Block 2 a distance of 90.00 feet to the northeast corner of said Lot 11, Block 2; thence S 26°30'37"E and along the east line of said Lot 11, Block 2 a distance of 206.32 feet; thence along a curve to the left with a radius of 100.00 feet and a delta angle of 374°3'04" for 65.83 feet, with a chord bearing of S35°48'20"W and a chord distance of 64.65 feet; thence N 54°52'56"W a distance of 177.62 feet; thence S 00°24'08"W a distance of 35.00 feet; thence N 89°59'21"W a distance of 471.88 feet; thence N 00°00'39"E a distance of 170.00 feet to the north line of "The Boardwalk on Memorial"; thence S 89°59'21"E and along the north line of "The Boardwalk on Memorial" a distance of 473.04 feet to the point of beginning and containing 3.4616 acres more or less.



*Addresses shown on this plat were accurate at the time this plat was filed. *Addresses are subject to change and should never be relied on in place of legal descriptions.
This plat meets the Oklahoma minimum standards for the practice of Land Surveying as adapted by the Oklahoma State Board of Registration for Professional Engineers and Surveyors.
BENCHMARK:
Flowline of Sanitary Sewer Manhole, located 16 feet South and 15 feet East of the Northwest Corner of Lot 11, Block 2, Southern Memorial Acres No. 2
Elevation: 598.42, NGVD29
BASIS FOR BEARINGS:
The basis for bearings is the North line "The Boardwalk on Memorial" with an assumed bearing of S 89°59'21"E.

EXHIBIT A
PRELIMINARY
PLAT

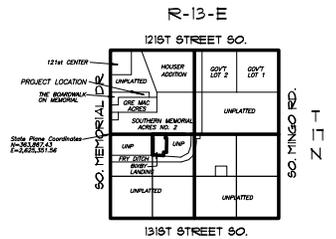
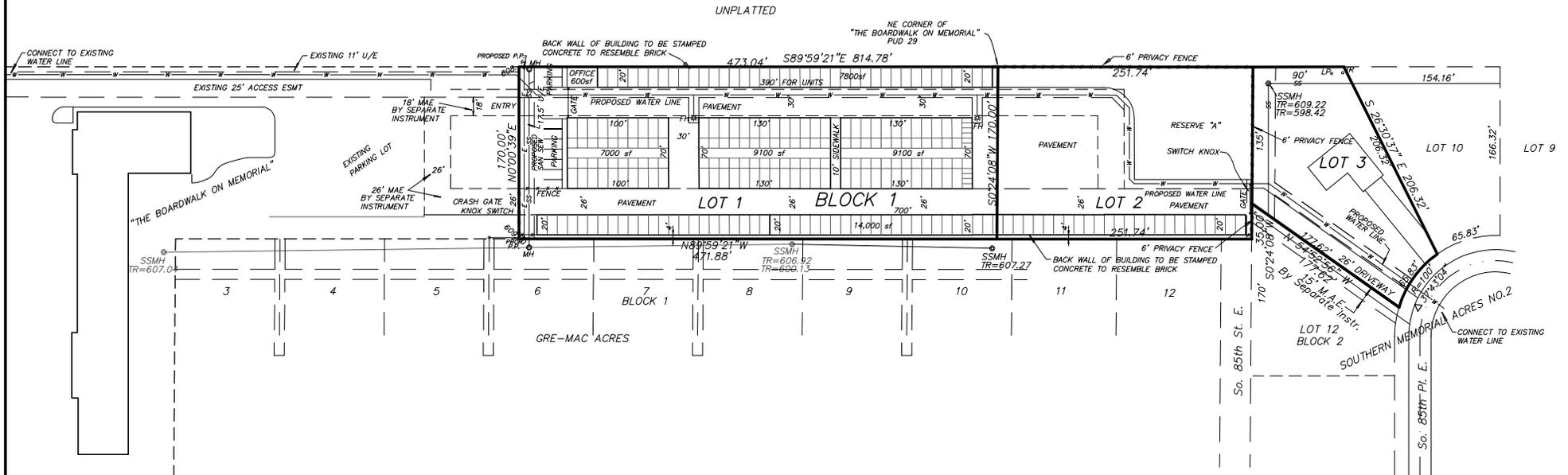
BYRNES MINI STORAGES
Preparation date: April 6, 2013
SHEET 1 OF 2

ENGINEER/SURVEYOR:
 JR DONELSON, INC.
 12829 SO. MEMORIAL DR.
 OFFICE 100
 BIXBY, OKLAHOMA 74008
 PHONE: 918-394-3030
 C.A. NO. 5611 EXP. 6-30-13

OWNER:
 HELENE V. BYRNES FOUNDATION
 13419 SO. MEMORIAL DR. #608
 BIXBY, OKLAHOMA 74008
 CONTACT: BILL WILSON
 PHONE: 918-269-1000
 EMAIL: WILSON@OLP.NET

BYRNES MINI-STORAGES

CONCEPTUAL SITE PLAN



SECTION 1 LOCATION MAP

SCALE: 1" = 2000'

SUBDIVISION CONTAINS:
 AREA = 36.82 ACRES 160,400 sf
 NO. LOTS 3 BLOCKS 1
 April 6, 2013
 C: WILSON/EXHIBIT-B.DWG

EXHIBIT B
 CONCEPTUAL
 SITE PLAN

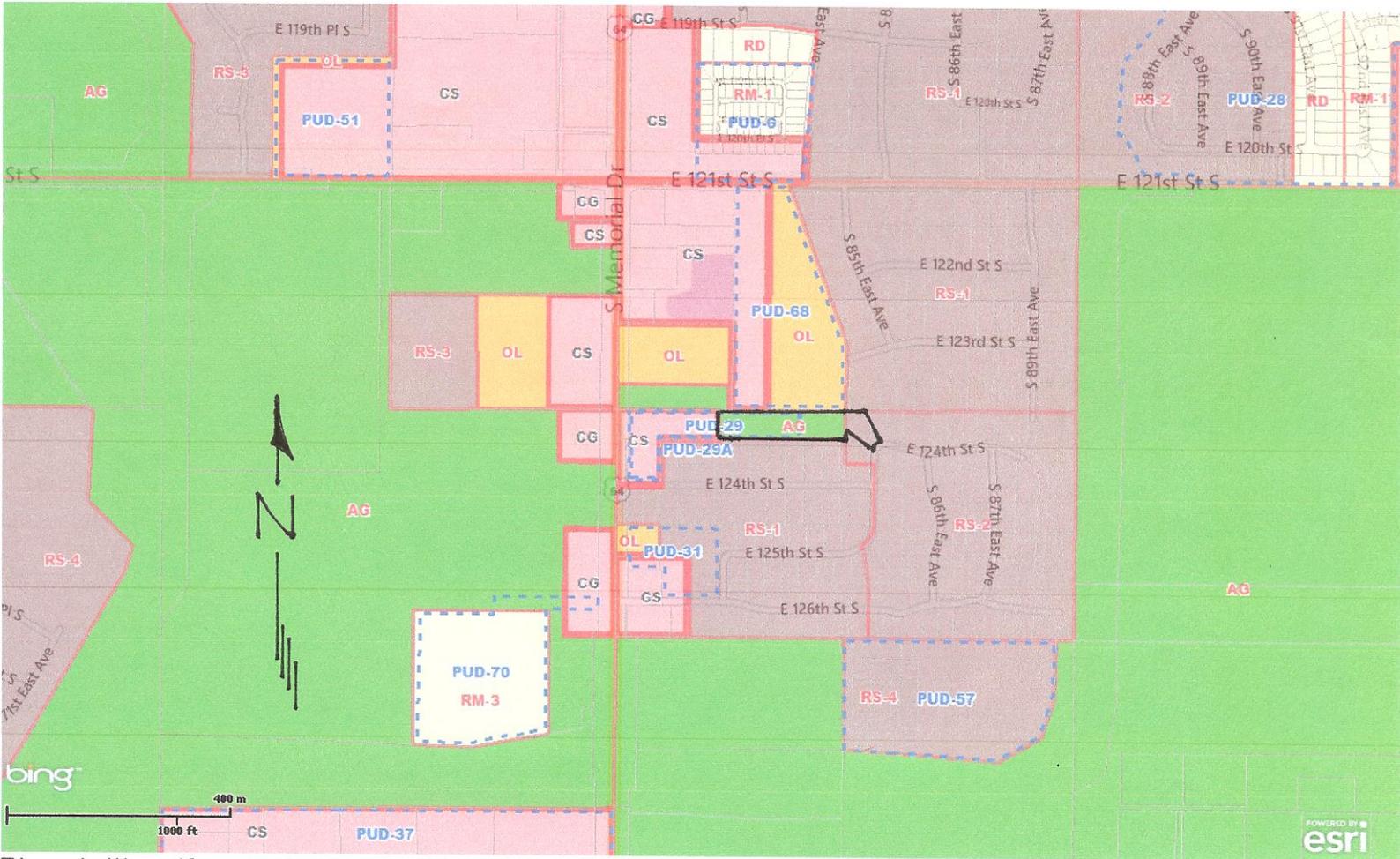
EXHIBIT B-1

PROPERTY DESCRIPTION

A tract of land situated in a part of the NW/4 , Section 1, T-17-N, R-13-E, of the Indian Base and Meridian, Tulsa County, State of Oklahoma, being more particularly described by metes and bounds, by Charles K. Howard, LS 297, as follows, to-wit:

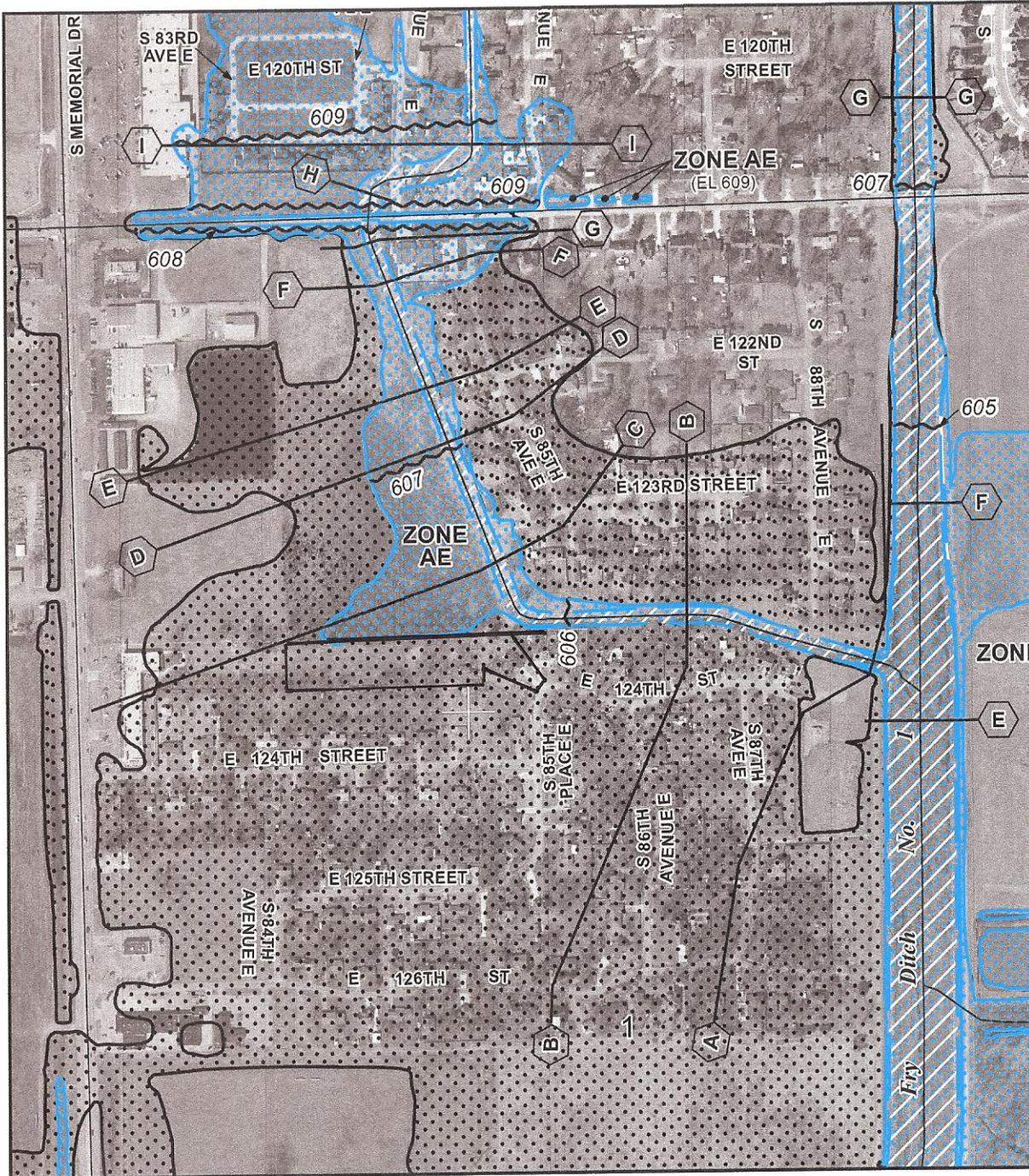
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PUD SITE LEGAL DESCRIPTION



This map should be used for general reference purpose only. Areas in question should be verified at the INCOG office or at the respective municipality. Thu Feb 14 2013 03:29:06 PM.

EXISTING AREA ZONING
EXHIBIT C



MAP SCALE 1" = 500'

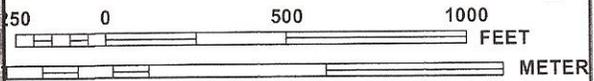


EXHIBIT D
FIRM MAP



PANEL 0432L

FIRM
FLOOD INSURANCE RATE MAP
TULSA COUNTY,
OKLAHOMA
AND INCORPORATED AREAS

PANEL 432 OF 530
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
BIKBY, CITY OF	400207	0432	L
TULSA, CITY OF	405381	0432	L
TULSA COUNTY	400462	0432	L

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.



MAP NUMBER
40143C0432L

MAP REVISED
OCTOBER 16, 2012

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov



EXHIBIT E
AERIAL OF SITE

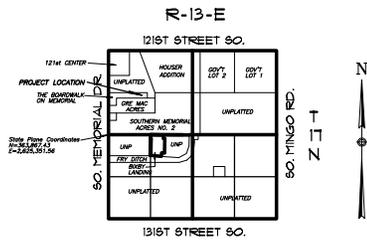
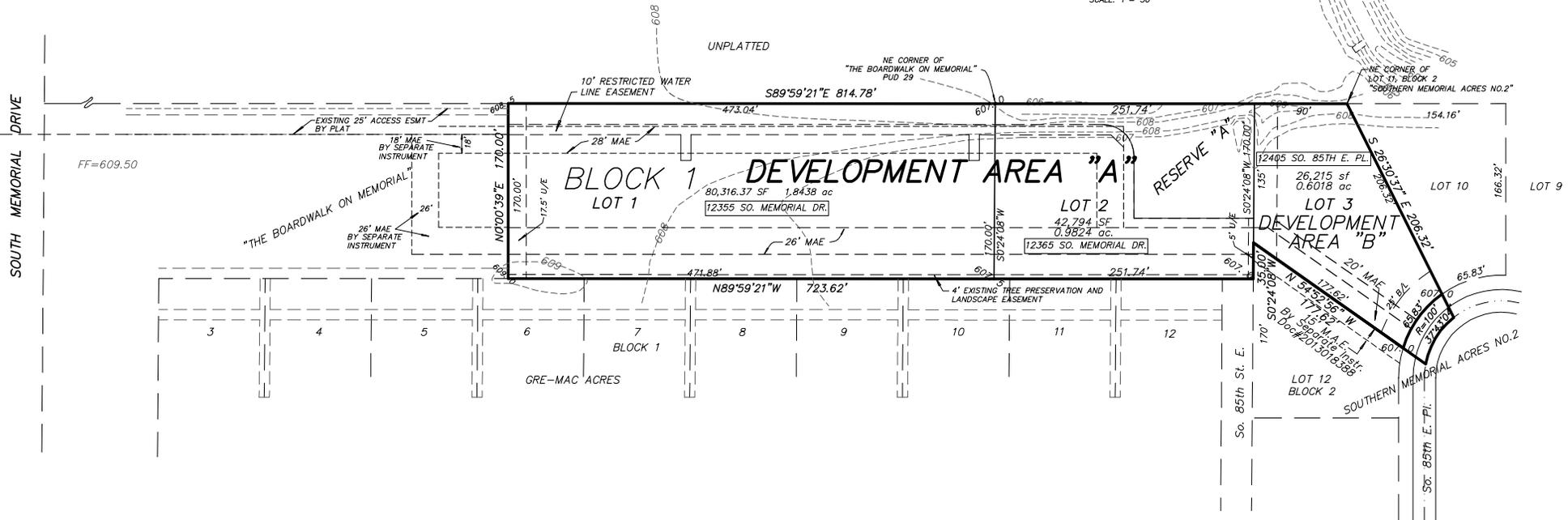
ENGINEER/SURVEYOR:
 JR. DONELSON, INC.
 12912 SO. MEMORIAL DR.
 OFFICE 100
 BIXBY, OKLAHOMA 74008
 PHONE: 918-394-3030
 C.A. NO. 5611 EXP. 6-30-13

OWNER:
 HELENE V. BYRNES FOUNDATION
 12345 SO. MEMORIAL DR. #108
 BIXBY, OKLAHOMA 74008
 CONTACT: BILL WILSON
 PHONE: 918-269-1000
 EMAIL: WILSON@OLP.NET

BYRNES MINI-STORAGES

A TRACT OF LAND SITUATED IN THE NW/4 OF SECTION 1,
 T-17-N, R-13-E OF THE INDIAN BASE AND MERIDIAN,
 BEING A RE-PLAT OF A PORTION OF "THE BOARDWALK ON
 MEMORIAL" AND "LOT 11, BLOCK 2, SOUTHERN MEMORIAL
 ACRES NO. 2", TO THE CITY OF BIXBY, TULSA COUNTY,
 STATE OF OKLAHOMA.

PUD NO. 77



**SECTION 1
 LOCATION MAP**
 SCALE: 1" = 2000'
 SUBDIVISION CONTAINS:
 AREA = 3.4616 ACRES 150,800 SF
 NO. LOTS 3 BLOCKS 1
 April 6, 2013
 C: WILSON/EXHIBIT-ADJUG

EXHIBIT F
 TOPOGRAPHY

BYRNES MINI-STORAGES

ENGINEER/SURVEYOR:
 JR DONELSON, INC.
 12820 SO. MEMORIAL DR.
 OFFICE 100
 BIXBY, OKLAHOMA 74008
 PHONE: 918-394-3030
 C.A. NO. 5611 EXP. 6-30-13

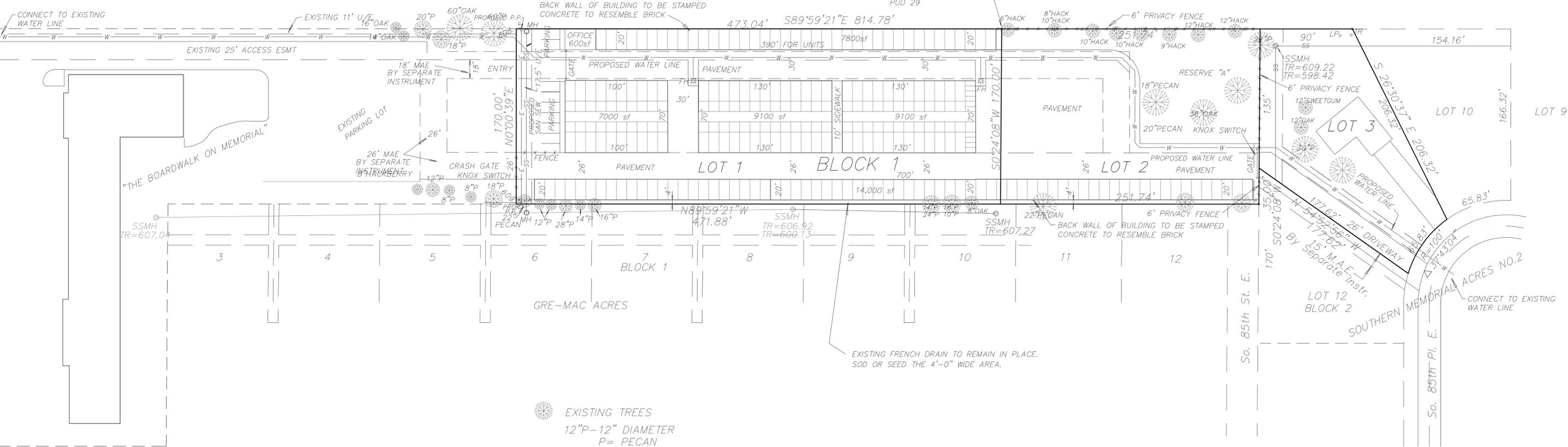
OWNER:
 HELENE V. BYRNES FOUNDATION
 12345 SO. MEMORIAL DR., #108
 BIXBY, OKLAHOMA 74008
 CONTACT: BILL WILSON
 PHONE: 918-269-1000
 EMAIL: WWILSON@OLP.NET



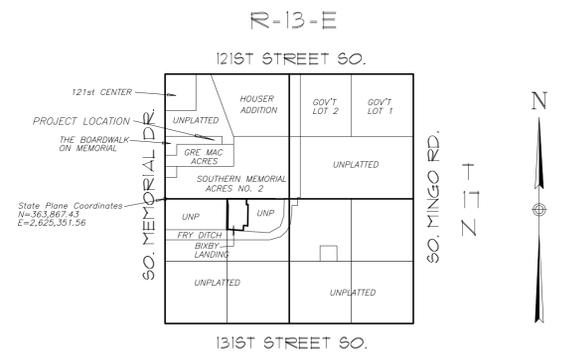
0 25 50 75 100
 SCALE: 1" = 50'

UNPLATTED

NE CORNER OF
 "THE BOARDWALK ON MEMORIAL"
 PUD 29



EXISTING TREES
 12"P-12" DIAMETER
 P= PECAN
 10"HACK-
 HACK-HACKBERRY



SECTION 1
 LOCATION MAP
 SCALE: 1" = 2000'
 SUBDIVISION CONTAINS:
 AREA = 3.682 ACRES 160,400 sf
 NO. LOTS 3 BLOCKS 1
 April 6, 2013
 C: WILSON\EXHIBIT-B.DWG

EXHIBIT G
 LANDSCAPE PLAN



ROADWAY EASEMENT

The Roadway Easement described herein (the "Easement") is hereby granted this 19th day of FEBRUARY, 2013, by GAIL D. HORNE and JOHN W. HORNE, wife and husband, ("Grantors") to THE HELENE V. BYRNES FOUNDATION, an Oklahoma not-for-profit corporation, ("Grantees") and its assignees as herein provided.

Grantee owns the property described below, to-wit:

Lot Eleven (11), Block Two (2), SOUTHERN MEMORIAL ACRES NO. TWO, an Addition in Tulsa County, State of Oklahoma, according to the Recorded Plat thereof

AND

UNO ~~The East 256.23 feet of the North 170 feet of the North Half (N/2) of the Southwest Quarter (SW/4) of the Northwest Quarter (NW/4) of Section One (1), Township Seventeen (17) North, Range Thirteen (13) East of the Indian Base and Meridian, Tulsa County, State of Oklahoma, according to the U.S. Government Survey thereof~~ COPY

(collectively the "Grantee's Property")

This Easement is granted to Grantee and its successors and assignees of the Grantee's Property (the "Grantees' Assigns") to assure access to Grantee's Property.

Grantors, as the legal and equitable title owner of the real estate subject to the Easement described herein hereby grant and convey unto Grantee and the Grantee's assigns a private, permanent, non-exclusive access easement over and across the property described below, to-wit:

The Northwestern 15 feet of Lot Twelve (12), Block Two (2), abutting the Southwesterly line of Lot Eleven (11), Block Two (2), of CORRECTED SOUTHERN MEMORIAL ACRES NO. TWO, an Addition in Tulsa County, State of Oklahoma, according to the recorded plat No. 2802

(the "Easement Property")

for a private roadway for the purposes of providing vehicular and other access for the exclusive use of the owners of the Grantee's Property, its successors and assigns, refuse collection service, the United States Post Office, law enforcement agencies, personnel of the City of Bixby, Tulsa County, Oklahoma, the State of Oklahoma and United States of America, the operators of all emergency vehicles, and the guests, tenants, invitees and licensees of the owners, from time-to-time, of the

85

Grantee's Property. No owner, tenant, guest, invitee, or other person using said Easement shall in any manner obstruct said Easement or interfere with the use of said Easement for vehicular or other access. Said Easement shall be used only for a private roadway. No above ground structures shall be permitted on the Easement.

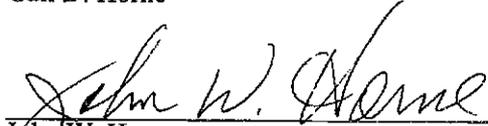
This Easement, and the rights granted hereunder to Grantee and the owners of the Grantee's Property and its successors and assigns, may be released or limited at any time by Grantee or Grantee's Assigns.

IN WITNESS WHEREOF, the Grantors have executed this Roadway Easement the date

^{first above written}
UNOFFICIAL COPY



Gail D. Horne



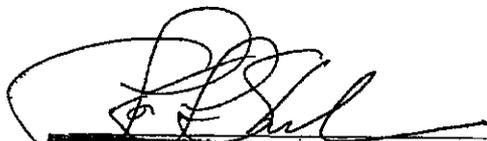
John W. Horne

STATE OF OKLAHOMA)
) ss.
COUNTY OF TULSA)

Before me, a Notary Public in and for said county and State, on this 19th day of FEBRUARY, 2013, personally appeared Gail D. Horne and John W. Horne, wife and husband, to me known to be the identical persons who executed the within and foregoing instrument and acknowledged to me that they executed the same as their free and voluntary act and deed for the uses and purposes therein set forth.

IN WITNESS WHEREOF, I hereunto set my official signature and affixed my notarial seal the day and year last above written.

Commission: 02000114
Date 2-09-14.





JHF.HORNE BYRNES.ROADWAY EASEMENT

86

Erik Enyart

From: Jared Cottle
Sent: Tuesday, April 16, 2013 4:26 PM
To: Erik Enyart
Cc: Bea Aamodt; Patrick Boulden
Subject: RE: Yesterday's Planning Commission meeting

Erik,

The Earth Change Permit approval for the Wilson property included constructing a crown along the east/west axis of the soccer field at the same elevation as the original dike between the Butler/Wilson property on the north. The dike's purpose was to prevent runoff from the Butler site from entering or crossing the Wilson property, a function that is now to be performed by the field crown.

The Wilson Earth Change Permit also included providing drainage swale along the south boundary of the Wilson property to receive and convey neighborhood runoff to the east end of the Wilson property.

A specific drainage plan has yet to be submitted, but any future development will continue to be required to receive and convey off-site runoff (from either the neighborhood or the Butler property) and convey the water to the Fry Channel without allowing bypass from the north or creating a dam on the south.

Jared Cottle, City Engineer

City of Bixby

Ph: 918/366-4430

Fax: 918/366-4416

From: Erik Enyart
Sent: Tuesday, April 16, 2013 9:21 AM
To: Jared Cottle
Cc: Bea Aamodt; Patrick Boulden
Subject: FW: Yesterday's Planning Commission meeting

Jared:

At the meeting, regarding Bill Wilson's ministorage development (it wasn't discussed during the item but the Chair allowed those in attendance to speak on it after they Continued all three applications to 05/02/2013), several people from the neighborhood expressed concerns about the drainage on this property and the Jim Butler 16 acres to the north. I assured them that the City Engineer would make sure the development drained properly into the drainage channel to the northeast and away from the neighborhood, and the rate of drainage would not exceed the pre-developed conditions. They made certain claims about dirt being brought into the site (I think that was the Jim Butler property they were referring to), and then removed, and that there was a "dike" along the property line between the Wilson and Butler properties that was removed, and that Wilson did not grade his site properly. One of our Planning Commissioners also raised the concern that, even if the site is developed to drain entirely into the development, through inward-sloping roofs and stormsewers, then straight to the channel, with 0 runoff, that the project could still cause drainage issues by blocking water from the residential properties along 124th St. S., if they normally drained across the undeveloped Wilson lot. I told those in attendance and the Planning Commission that I had not discussed drainage of the property with you specifically, and would ask for a 'synopsis' of the drainage in preparation for the meeting 05/02/2013. I also told those in attendance that, if they had any particular concerns, they could contact me after the meeting or any time this week, and I would forward them to you.

Please advise as you have time and thanks in advance,

Erik

From: Erik Enyart

Sent: Tuesday, April 16, 2013 8:50 AM

To: '<djenevoldsen@olp.net>'; Jared Cottle; 'mayor@bixby.com'; Bea Aamodt; 'Donna Crawford'; Patrick Boulden

Subject: Yesterday's Planning Commission meeting

Hi All:

Here's the outcome of yesterday's meeting:

PUBLIC HEARINGS

4. **BCPA-9 – JR Donelson for Helene V. Byrnes Foundation.** Public Hearing to receive Public review and comment, and Planning Commission recommendations regarding the adoption of a proposed amendment to the Comprehensive Plan of the City of Bixby, Oklahoma, specifically to remove the "Residential Area" specific land use designation.
Property Located: 12345 S. Memorial Dr. and/or 12404 S. 85th E. Pl.
5. (Continued from March 18, 2013)
PUD 77 – "Byrnes Mini-Storage" – JR Donelson, Inc. Public Hearing, discussion, and consideration of a rezoning request for approval of a Planned Unit Development (PUD) for approximately 3.4 acres consisting of part of Lot 1, Block 1, *The Boardwalk on Memorial*, part of the NW/4 of Section 01, T17N, R13E, and All of Lot 11, Block 2, *Southern Memorial Acres No. 2*.
Property Located: 12345 S. Memorial Dr. and/or 12404 S. 85th E. Pl.
6. (Continued from March 18, 2013)
BZ-365 – William W. Wilson for Helene V. Byrnes Foundation. Public Hearing, discussion, and consideration of a rezoning request from AG Agricultural District to OL Office Low Intensity District for approximately 2.9 acres consisting of part of Lot 1, Block 1, *The Boardwalk on Memorial* and part of the NW/4 of Section 01, T17N, R13E.
Property Located: 12345 S. Memorial Dr. and/or 12404 S. 85th E. Pl.

As requested by the Applicant, these 3 related items Continued to the 05/02/2013 PC Special Meeting agenda. Prior to the meeting, JR Donelson had expressed to me that he wanted the extra time to work out the long list of recommended correction and design issues. There were several people from the neighborhood that expressed concerns over drainage. I agreed to follow up with Jared to ask about drainage design issues as pertain to this property.

PLATS

OTHER BUSINESS

7. **PUD 45 – Spicewood Neighborhood Center – Minor Amendment # 1.** Discussion and possible action to approve a Minor Amendment to PUD 45 to allow the maximum ground sign height to be increased from 20' to 25'.
Property located: Part of the NE/4 NE/4 Section 25, T18N, R13E; Southwest corner of the intersection of 101st St. S. and Mingo Rd. **Approved as recommended by Staff.**



8. **PUD 57 – Bixby Station – Minor Amendment # 1.** Discussion and possible action to approve a Minor Amendment to PUD 57 to increase to 90 the maximum number of lots permitted and to make changes to certain bulk and area standards.

Property located: Part of the SW/4 of Section 01, T17N, R13E; Southeast of the intersection of 126th St. S. and 85th E. Ave. **Approved as recommended by Staff.**

FYI and thanks,

Erik Enyart, AICP, City Planner
City of Bixby, PO Box 70
Bixby, OK 74008
Ph. (918) 366-0427
Fax (918) 366-4416
eenyart@bixby.com
www.bixby.com

No virus found in this message.

Checked by AVG - www.avg.com

Version: 2013.0.3272 / Virus Database: 3162/6246 - Release Date: 04/15/13

89

MINUTES
TECHNICAL ADVISORY COMMITTEE
DAWES BUILDING CITY OFFICES
113 W. DAWES AVE.
BIXBY, OK 74008
March 06, 2013 – 10:00 AM

MEMBERS PRESENT

Jim Peterson, *BTC Broadband*
Evelyn Shelton, *AEP-PSO*

STAFF PRESENT

Erik Enyart, AICP, City Planner, City of Bixby
Jim Sweeden, Fire Code Enforcement Official, City of Bixby

OTHERS PRESENT

Ricky Jones, *Tanner Consulting, LLC*
Justin Morgan, *Tanner Consulting, LLC*
JR Donelson, *JR Donelson, Inc.*
Bill Wilson, Helene V. Byrnes Foundation
Betsy McConahy

1. Erik Enyart called the meeting to order at 10:00 AM.

JR Donelson proposed to take the agenda items out of order, as he had two (2) items on the agenda and Tanner Consulting, LLC only had one (1). Erik Enyart asked those present if they had any objections. Those present indicated they had no objections, Erik Enyart introduced agenda item # 4 at this time.

4. **Preliminary Plat – Scenic Village Park – Tanner Consulting, LLC (PUD 76)**. Discussion and review of a Preliminary Plat and certain Modifications/Waivers for “Scenic Village Park” for 92 acres in part of the E/2 of Section 02, T17N, R13E.
Property Located: South and west of the intersection of 121st St. S. and Memorial Dr.

Erik Enyart introduced the item and summarized the project and its location. Mr. Enyart noted that the TAC probably recalled the PUD on this project from the previous month. Mr. Enyart stated that the Planning Commission, the previous Wednesday, recommended Conditional Approval of the PUD, and it would go to the City Council Monday for final approval. Mr. Enyart stated that this was the next step in the development process, the Preliminary Plat.

Erik Enyart asked if there were any questions or comments at this time.

Ricky Jones noted that Tanner Consulting, LLC provided the first submittal engineering plans the previous week.

90

Erik Enyart asked the Applicant if they had received the Fire Marshal's memo, and Ricky Jones indicated he had.

Erik Enyart asked if there were any questions or comments from the utility companies.

Jim Peterson noted that there would be a big drainage project along 121st St. S., and noted that he would have a conflict with existing lines for a distance of about 50' to 60'. Mr. Peterson indicated he would work with the contractor if the contractor would call him. Mr. Peterson stated that, if there was enough slack, it may be moved, but otherwise would need to be relocated. Mr. Peterson stated that it could be relocated to the north side of 121st St. S., and would then be completely out of the way, but that would be expensive.

Erik Enyart asked if there were any further questions or comments.

Evelyn Shelton discussed with Tanner Consulting, LLC certain electrical line locations along the new street, and preferences for burying lines. Ms. Shelton noted there was an overhead electrical line along 121st St. S. Ms. Shelton asked if there would be easement between the Encore on Memorial apartment property and the southeast corner of the subject property. Justin Morgan stated that the owner did not get easement there. Erik Enyart asked if the owner did not have it in the contract with the seller that the seller would dedicate the right-of-way to allow 126th St. S. to be extended, and Ricky Jones confirmed this was correct. Ms. Shelton asked how wide the right-of-way would be, and Mr. Morgan and Mr. Enyart stated it would be 80' in width. Ms. Shelton indicated agreement, and stated that the electrical line could be placed across from the south to the north sides of the street to connect the subject property.

Erik Enyart asked Ricky Jones if the site plan for the assisted living facility was close to being ready for publication. Mr. Jones and Justin Morgan indicated it should be. Mr. Enyart stated that [the facility's developer] Joel Erickson had asked the City for assistance, and it would be preferable to have a current site plan to use for this purpose. Mr. Jones asked what kind of assistance Mr. Enyart was referring to, and Mr. Enyart responded, "Per our Mayor, we're putting something together for their benefit."

Jim Peterson asked if the assisted living facility was not being developed in two (2) phases. Justin Morgan and Ricky Jones responded that there would be two (2) or three (3) phases, and that the back acreage would be a future phase. Erik Enyart and Mr. Morgan clarified that the south/back acreage would be for detached, independent living housing.

Evelyn Shelton asked about service to the residential area to the south. Erik Enyart asked Ricky Jones if that [Development Area C] would not be replatted into individual lots, and Mr. Jones indicated agreement.

Erik Enyart stated that, as for the PUD, Roy Johnsen had already provided him nearly everything needed to satisfy the recommendations, but the site plan was still outstanding. Mr. Enyart stated that the PUD would go to the City Council Monday, and he knew the City Clerk would be "after me today to get the information packet." Mr. Enyart clarified with Ricky Jones that he would like the

final PUD submittal by the end of the day so he could get it to the City Clerk. Mr. Jones stated that he would see that this was done.

Erik Enyart asked if there were any further questions or comments. There were none.

Ricky Jones and Justin Morgan left at this time.

2. **PUD 77 – “Byrnes Mini-Storage” – JR Donelson, Inc.** Discussion and review of a rezoning request for approval of a Planned Unit Development (PUD) for approximately 3.4 acres consisting of part of Lot 1, Block 1, *The Boardwalk on Memorial*, part of the NW/4 of Section 01, T17N, R13E, and All of Lot 11, Block 2, *Southern Memorial Acres No. 2*.
Property Located: 12345 S. Memorial Dr. and/or 12404 S. 85th E. Pl.

Erik Enyart introduced the item and summarized the location and the development. Mr. Enyart stated that the property was located behind The Boardwalk on Memorial shopping center at 12345 S. Memorial Dr., and included a house in *Southern Memorial Acres No. 2*. Mr. Enyart stated that the vacant tracts were proposed for a ministorage development, and the house would remain a house but provide a second means of ingress and egress for emergency purposes.

Erik Enyart recognized Betsy McConahy from the neighborhood near the item. Mr. Enyart stated that Ms. McConahy had stopped by the previous day to ask about this project, and he had told her about this meeting, and so she was attending to see this part of the process. JR Donelson asked Ms. McConahy if she was from the neighborhood, and Ms. McConahy clarified that she was not from *Gre-Mac [Acres]* but lived in that area.

Erik Enyart asked if the Fire Marshal had any questions or comments.

Jim Sweeden asked if the primary means of access would be through the drive under the arch [along the north property line], and Bill Wilson confirmed and stated that he was still attempting to get additional easement from the property to the north. Mr. Wilson stated that he had already secured easement from [Lot 12, Block 2, *Southern Memorial Acres No. 2*]. Erik Enyart asked if the emergency access drive would not be located on [Lot 11, Block 2, *Southern Memorial Acres No. 2*], owned by the [Helene V. Burns] Foundation. Mr. Wilson and JR Donelson responded that it would. Mr. Wilson stated that he had secured additional easement in case it was needed. Mr. Enyart asked how wide the easement was, and Mr. Wilson stated that it was 15' in width. Mr. Enyart asked JR Donelson if it would not show up in a later site plan iteration, and Mr. Donelson indicated agreement.

JR Donelson stated that the emergency access drive would have a Knox Box [Rapid Entry System]. Jim Sweeden stated that the owner could elect to use a chain and lock, in the event they wanted to use it themselves, or could use a Knox Box with a number code, but that was more expensive.

Jim Sweeden took a call and left the meeting momentarily.

Jim Peterson asked if the only service needed would be at the office at the northwest corner of the development, and Bill Wilson indicated agreement but stated that the security [gate] at the east end

would need [electrical and perhaps also telecommunications] service. Evelyn Shelton indicated AEP-PSO could serve the office building through the shopping center and the security gate from the neighborhood at the east end.

Jim Sweeden returned.

Erik Enyart asked about the layout of the buildings. Mr. Enyart noted that he saw what appeared to be a 10'-wide corridor between 10' X 10' cells, which he suspected to be a walking corridor serving 10' X 10' storage units. JR Donelson confirmed and stated that it would be "temperature-controlled." Bill Wilson stated that the storage buildings on the outside would be 10' X 20'. Mr. Wilson stated that the buildings were [modular] standard units and came in 10' increment sizes.

Jim Sweeden stated that the buildings, if built on the property line, would have to have a four (4) hour fire wall rating. JR Donelson asked why Mr. Sweeden was requiring this. Erik Enyart clarified with Jim Sweeden that this was a Fire Code requirement. Mr. Enyart stated that it was not the City making up this rule.

Erik Enyart addressed JR Donelson and Bill Wilson and stated that putting the building on the property line presented other issues as well. Mr. Enyart stated that the Zoning Code has minimum setback requirements and landscaping requirements, and there was a Utility Easement that the building would be constructed over. Mr. Donelson asked where there was a Utility Easement, and Mr. Enyart responded that there was a U/E in the residual part of *The Boardwalk on Memorial* plat. Mr. Enyart clarified with Mr. Donelson that the owner would have to request this be vacated. Mr. Donelson stated that there were no utilities in the U/E, and the utility companies had just said they did not need to go through the development and would serve from either end. Mr. Enyart confirmed with Jim Sweeden that the City Engineer's memo noted that the waterline must be looped through the entire development. Mr. Enyart stated that, if no other utility needed easement, the City would for the water service. Mr. Donelson indicated the waterline would be placed along the north side of the property. Mr. Enyart clarified with Mr. Donelson that he meant he was proposing to dedicate a new U/E in the 30' drive between the northern two (2) buildings.

JR Donelson stated that the owner wanted the building wall to serve as the fence. Bill Wilson stated that the neighbors would probably prefer to see a masonry building wall as opposed to a fence and a metal building. Erik Enyart clarified that the Zoning Code required masonry on the building wall anyway, so to describe it as a "metal building," while technically accurate, would not be in order, since the metal building would be sided with masonry. Mr. Enyart stated that he expected the neighbors would not be happy with the ministorage buildings built on their property line, with all the trees removed. Bill Wilson stated that all the trees would stay in place. Mr. Enyart stated that he was not referring to the trees that may be on the neighbors' properties but the ones along the fenceline. Mr. Wilson stated that, with the ice storm that came through some years back, all the trees were dying and were not worth anything. Mr. Wilson stated that, when he constructed the soccer fields, he put in French drains to move the water away from the residential properties. JR Donelson stated that the roofs would be directed to drain into the development. Mr. Enyart noted that he understood the property was narrow, only 170' in width, and that the City required 30' of separation between buildings, with the area left over for buildings. Mr. Enyart noted that he also understood the buildings were modular and came in specific sizes and configurations. Mr. Enyart

93

asked, hypothetically, how Mr. Wilson would respond if, by whatever means they would seize on the idea, the City Council told Mr. Wilson to give the homeowners some “breathing room,” to have the buildings moved off the property line by some distance, and whatever condition they may be in, preserve the trees along the fenceline and add additional landscaping. Mr. Enyart asked if Mr. Wilson would have a “fallback plan” in this instance. JR Donelson restated Mr. Enyart’s question to Mr. Wilson by asking what his position would be if the Planning Commission told him he had to have a 10’ setback and plant trees or bushes. Mr. Wilson stated that he could not set the buildings back 10’. Jim Sweeden asked where the 10’ requirement came from, and Mr. Enyart stated that Mr. Donelson had supplied the 10’ figure. Mr. Donelson, Mr. Wilson, and Mr. Enyart discussed this matter briefly. Mr. Enyart stated that he expected the neighbors may not be happy to have a commercial building constructed on their property line and all the trees removed. Mr. Enyart reiterated that he understood the narrow, 170’ width and the other parameters could cause Mr. Wilson to lose his third row of buildings, and that he understood that this was not a desirable outcome. Mr. Enyart asked if there was any flexibility [in the size of the buildings or drives] to allow for a setback along the south line, if a setback was ultimately required. Mr. Wilson asked why the City would require this. Mr. Enyart responded that he understood Mr. Wilson was trying to work within the 170’ and other existing parameters, but it was Mr. Wilson that was proposing a plan in conflict with City requirements, which put the City in the position of having to say it was against Code.

Erik Enyart stated that Bill Wilson would know his neighbors better than he would, but he wanted to say these things so that he and Mr. Donelson could consider the matter and be prepared with a fallback position if need be. Mr. Wilson stated that he didn’t know his neighbors all that well, but when he was going to put up a fence a few years back, they could not agree on what they wanted, so he did not build one and just put up netting to try to keep the soccer balls out.

Jim Sweeden stated that, due to the size of the buildings, they needed a sprinkler system. JR Donelson asked if a three (3) hour-rated fire wall could be used between building sections, and Mr. Sweeden confirmed. Mr. Sweeden and Mr. Donelson noted that “they don’t make 3-hour doors.” Mr. Enyart asked if that would mean the doors would have to be custom-built. Mr. Sweeden and Mr. Donelson stated that, in this case, they simply use 2-hour-rated fire doors. Mr. Sweeden noted that this is what was done in Crosscreek.

Bill Wilson asked if a third solution would not be to simply put the 3-hour fire wall between the two (2) building sections and have people come in from both ends of the building. Mr. Sweeden and Mr. Donelson indicated agreement.

Jim Sweeden noted that two (2) fire hydrants would be needed, and indicated the preferred locations for same.

Erik Enyart asked Bill Wilson, hypothetically, how he would respond if, at the same time as this would be developed, the land to the north was being developed—would he be willing to work with that property owner to share a drive along the common lot line. Mr. Wilson named the owners of the two (2) properties to the north and Mr. Enyart acknowledged and stated that he knew both were for sale. Mr. Wilson asked for clarification. Mr. Enyart asked Mr. Wilson if it would not give him

additional flexibility if there was a mutual access drive along the north side of his property. Mr. Wilson indicated he did not know.

Erik Enyart asked if there were any further questions or comments. There were none.

3. **Final Plat – Bixby Landing Second – JR Donelson, Inc. (PUD 57)**. Discussion and review of a Final Plat for “Bixby Landing Second,” Part of the SW/4 of Section 01, T17N, R13E.
Property Located: Southeast of the intersection of 126th St. S. and 85th E. Ave.
-

Erik Enyart introduced the item and summarized the location and the development. Mr. Enyart noted that the PUD was approved in 2007, but the developer only platted the first phase, at 24 lots. Mr. Enyart noted that this would be the second phase, and would complete the development at 84 lots total. Mr. Enyart stated that, at the time of the first phase, the developer was approved for Preliminary Plat, which does not expire. Mr. Enyart stated that, therefore, the owner was asking for Final Plat approval at this time. Mr. Enyart confirmed with JR Donelson that the first phase was almost completely built out, and had only a couple lots left. Mr. Donelson stated that the developer wanted to apply for Building Permits in June. Mr. Enyart asked Mr. Donelson if all the engineering had been approved, and Mr. Donelson stated that it was approved with the Preliminary Plat, and they were just proceeding with those plans. Mr. Enyart asked Mr. Donelson if all the ODEQ permits had been approved and Mr. Donelson stated that they had.

Erik Enyart asked if the Fire Marshal had any questions or comments. Jim Sweeden confirmed JR Donelson had received his memo, including fire hydrant locations.

Erik Enyart asked if the utility companies had any questions or comments. Jim Peterson confirmed utility locations with JR Donelson.

Erik Enyart asked if there were any further questions or comments from anyone. Evelyn Shelton asked JR Donelson if he or the developer had the previously-approved electrical layout. Mr. Donelson stated that he was not sure. Ms. Shelton stated that she could not find the old layout, but had drawn a new one tentatively.

Jim Sweeden out at 10:57 AM.

Jim Peterson and Evelyn Shelton discussed utility locations briefly.

JR Donelson stated that Scott [Gideon of ONG] had sent him his layout of the development, and it was the same as before.

Erik Enyart stated that he was surprised ONG did not show up, especially for the [Scenic Village Park] development. Mr. Enyart noted that ONG and Cox Communications seemed to have stopped sending representatives to the TAC meetings.

Erik Enyart recognized Betsy McConahy and asked if she had any questions or comments. Ms. McConahy complained that the construction trucks were using the [emergency access drive] to drive down [126th St. S.] through her neighborhood. Mr. Enyart clarified with JR Donelson that

Ms. McConahy was referring to the existing street 126th St. S. Ms. McConahy stated that the roadway was in poor condition already and the trucks were causing damage. Mr. Enyart indicated that Ms. McConahy had visited with him the day before to ask about the two (2) developments near her neighborhood, and he had told her to report these issues to, and about the TAC agenda, where she could view the development plans online. Mr. Enyart indicated that he had informed Ms. McConahy that the meeting was open to the Public and she could attend this technical meeting to hear more about the development process. Ms. McConahy noted that a street shown on the plat was not in existence. Mr. Enyart advised Ms. McConahy that he knew the roadway was not there, but that area used to be part of the subdivision until the Fry Creek system was developed about 13 years prior. Ms. McConahy stated that the lots shown on the plat were not there either, and she didn't think the streets or lots were ever there, as she had lived there a long time. Mr. Enyart responded that the plat of the old subdivision would not change, and this new plat merely represented the old lots and streets as they were originally platted.

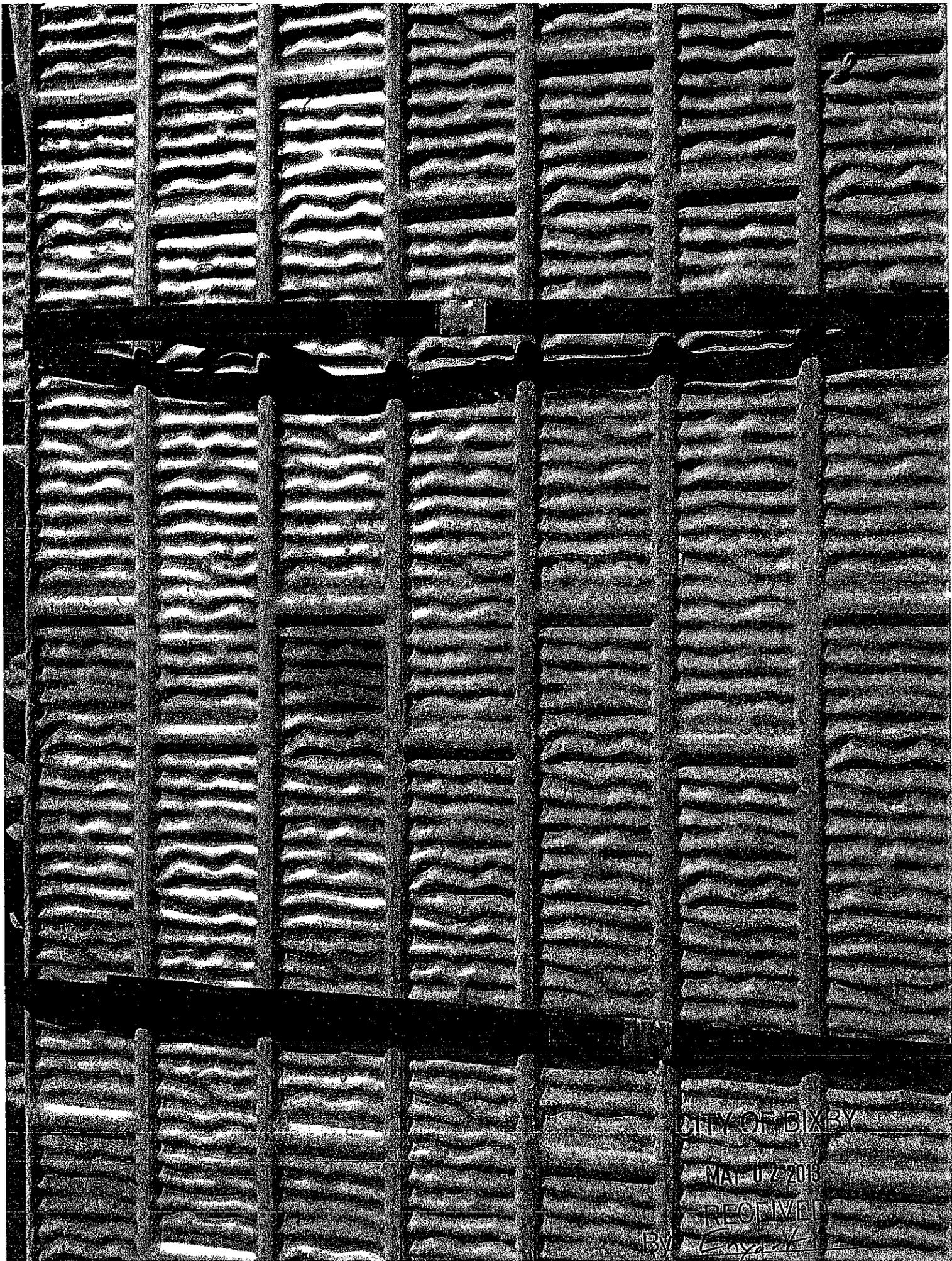
JR Donelson noted that the emergency access drive was being reconstructed from 18' to 26' in width per the Fire Marshal. Mr. Enyart clarified the location of the widened street with Mr. Donelson using the full-size copy of the plat. Mr. Enyart confirmed with Mr. Donelson that the [approximately 30'] of frontage of the Reserve Area would allow ample room for the 26'-wide paving.

Erik Enyart asked if there were any further questions or comments. There were none.

5. Old Business
6. New Business
7. Meeting was adjourned at 11:10 AM.

BIXBY TAC MEETING
SIGN IN SHEET
Wednesday, March 06, 2013

NAME	COMPANY	PHONE
1. JR Donelson		394-3030
2. Bill Wilson		369-9091 - 209-1000
3. Justin Morgan	Tanner Consulting	918 745 9929
4. Ricky Jones	" "	"
5. Betsy McConahy		918-6338186
6. Erik Enyart	City of Bixby	918 366 4430
7. Jim Sweeden	Fire Marshal office	918-366-0436
8. Jim Peterson	BTC Broadband	918-366-0253
9. Evelyn Shelton	PSO	918-250-6249
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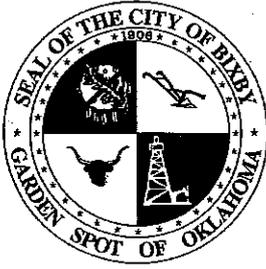


CITY OF BIXBY

MAY 17 2018

RECEIVED

By *[Signature]*



CITY OF BIXBY
P.O. Box 70
116 W. Needles Ave.
Bixby, OK 74008
(918) 366-4430
(918) 366-6373 (fax)

STAFF REPORT

To: Bixby Planning Commission
From: Erik Enyart, AICP, City Planner *EE*
Date: Wednesday, May 15, 2013
RE: Report and Recommendations for:
Sketch Plat of "Seven Lakes III"

LOCATION: – South and east of the intersection of 121st St. S. and Sheridan Rd.
– North of *Seven Lakes I* and *Seven Lakes II*
– Part of the W/2 of Section 02, T17N, R13E.

LOT SIZE: 40.64 acres, more or less

EXISTING ZONING: RS-4 Residential Single Family District

EXISTING USE: Vacant

REQUEST: Sketch Plat approval for 131-lot residential subdivision

SURROUNDING ZONING AND LAND USE:

North: AG; A 20-acre unplatted tract containing a house and otherwise vacant/wooded land owned by John Tiger et al., an unplatted 12-acre vacant tract owned by Tulsa County, and an unplatted vacant and wooded 20-acre tract owned by the City of Bixby.

South: RS-4; Single family residential in *Seven Lakes I* and *Seven Lakes II*.

East: AG & CG/PUD 76; The Fry Creek Ditch # 2 right-of-way with a 92-acre tract of agricultural land to the east of that zoned CG with PUD 76.

West: (across Sheridan Rd.) AG; Unplatted agricultural and vacant land owned by the Bixby School District in the City of Tulsa.

COMPREHENSIVE PLAN: Low Intensity + Vacant, Agricultural, Rural Residences, and Open Land.

PREVIOUS/RELATED CASES:

BZ-309 – Wynona Brooks, Trustee of Mildred A. Kienlen A Revocable Living Trust – Request for rezoning from AG to RS-4 for area including *Seven Lakes I*, subject property, and 23 acres abutting to the north – PC recommended Approval 01/18/2005 and City Council Approved 02/14/2005 (Ord. # 901).

Preliminary Plat of Seven Lakes II – Request for Preliminary Plat approval for “Seven Lakes II” for *Seven Lakes II*, which at that time included 36.24 acres of the subject property – PC recommended Conditional Approval 05/19/2008 and City Council Conditionally Approved 05/27/2008.

RELEVANT AREA CASE HISTORY: (not a complete list)

Preliminary Plat of Seven Lakes I – Request for Preliminary Plat approval for *Seven Lakes I* abutting subject property to the south – PC recommended Approval 06/20/2005 and City Council Approved 06/27/2005.

Final Plat of Seven Lakes I – Request for Final Plat approval for *Seven Lakes I* abutting subject property to the south – PC recommended Approval 10/16/2006 and City Council Approved 10/23/2006 (Plat # 6113 recorded 04/26/2007).

Preliminary Plat of Seven Lakes II – Request for Preliminary Plat approval for *Seven Lakes II* to the south of subject property (area reduced in size and to 59 lots as compared to original submittal) – PC recommended Conditional Approval 09/21/2011 and City Council Conditionally Approved 09/26/2011 (Approval expired 09/26/2012 per the Subdivision Regulations).

Preliminary Plat of Seven Lakes II (Resubmitted) – Request for Preliminary Plat approval for *Seven Lakes II* to the south of subject property (area reduced in size and to 59 lots as compared to original submittal) – PC recommended Conditional Approval 11/19/2012 and City Council Conditionally Approved 11/26/2012.

Final Plat of Seven Lakes II – Request for Final Plat approval for *Seven Lakes II* abutting subject property to the south (area reduced in size and to 59 lots as compared to original submittal) – PC recommended Conditional Approval 11/19/2012 and City Council Conditionally Approved 11/26/2012 (Plat # 6457 recorded 01/16/2013).

BACKGROUND INFORMATION:

Sketch Plats are to be encouraged, in order to get the City’s, TAC’s, and Planning Commission’s early and constructive input, and to gain approval of the conceptual subdivision layout, without significant developer investments in a singular plan, which can be expensive to modify once it has reached the Preliminary Plat and Preliminary Engineering Plans stage.

Ordinance # 2026, adopted October 12, 2009, introduced a Sketch Plat application process, by which this Sketch Plat is being reviewed. In addition to reviewing for basic Zoning Code and Subdivision Regulations compliance and subdivision design, this report focuses more on correcting provided information, and not listing items missing from the Sketch Plat in order for it to meet a standard for a Preliminary or Final Plat. The Applicant should review the

Subdivision Regulations for informational requirements for those plat applications when they are being prepared.

ANALYSIS:

Property Conditions. The subject property of 40.64 acres is vacant and zoned RS-4. The development will be designed to collect stormwater and drain it to the east to Fry Creek Ditch # 2. Within this plat area, the streets and two (2) of the “lakes” in “Seven Lakes” were already “rough cut” during or after the development of the first phase.

Comprehensive Plan. The Comprehensive Plan designates the subject property as (1) Low Intensity and (2) Vacant, Agricultural, Rural Residences, and Open Land.

The single family housing development anticipated by this plat would be consistent with the Comprehensive Plan.

General. This subdivision of 40.64 acres, more or less, proposes 131 lots, seven (7) blocks, and three (3) Reserves (only 2 reported in the Land Summary statistics). The plat divides the subdivision into two (2) phases. Phase I will include the new street connection to Sheridan Rd., providing a secondary means of ingress/egress for the entire Seven Lakes development. This second street intersection will replace the temporary access road built with *Seven Lakes I* just to the north of 126th St. S.

The Seven Lakes development, and this plat, represents a conventional but attractive design, with uniquely crisscrossed curvilinear streets and no true cul-de-sacs, interspersed with Reserves for water amenities. The subdivision is similar to *Seven Lakes I* and *Seven Lakes II*, both abutting to the south, with relatively similar-sized and configured lots. Typical lots range from 65' X 120' (7,800 square feet, 0.18 acres) to 75' X 120' (9,000 square feet, 0.21 acres). All lots appear to meet RS-4 zoning standards.

The Technical Advisory Committee (TAC) reviewed this Preliminary Plat on May 01, 2013. The Minutes of the meeting are attached to this report.

The Fire Marshal's, City Engineer's, and City Attorney's memos are attached to this Staff Report (if received). Their comments are incorporated herein by reference and should be made conditions of approval where not satisfied at the time of approval.

Access and Internal Circulation. Primary access to the subdivision would be via one (1) street connecting to Sheridan Rd.

Staff Recommendation. Staff recommends Approval of the Sketch Plat with the following corrections, modifications, and Conditions of Approval:

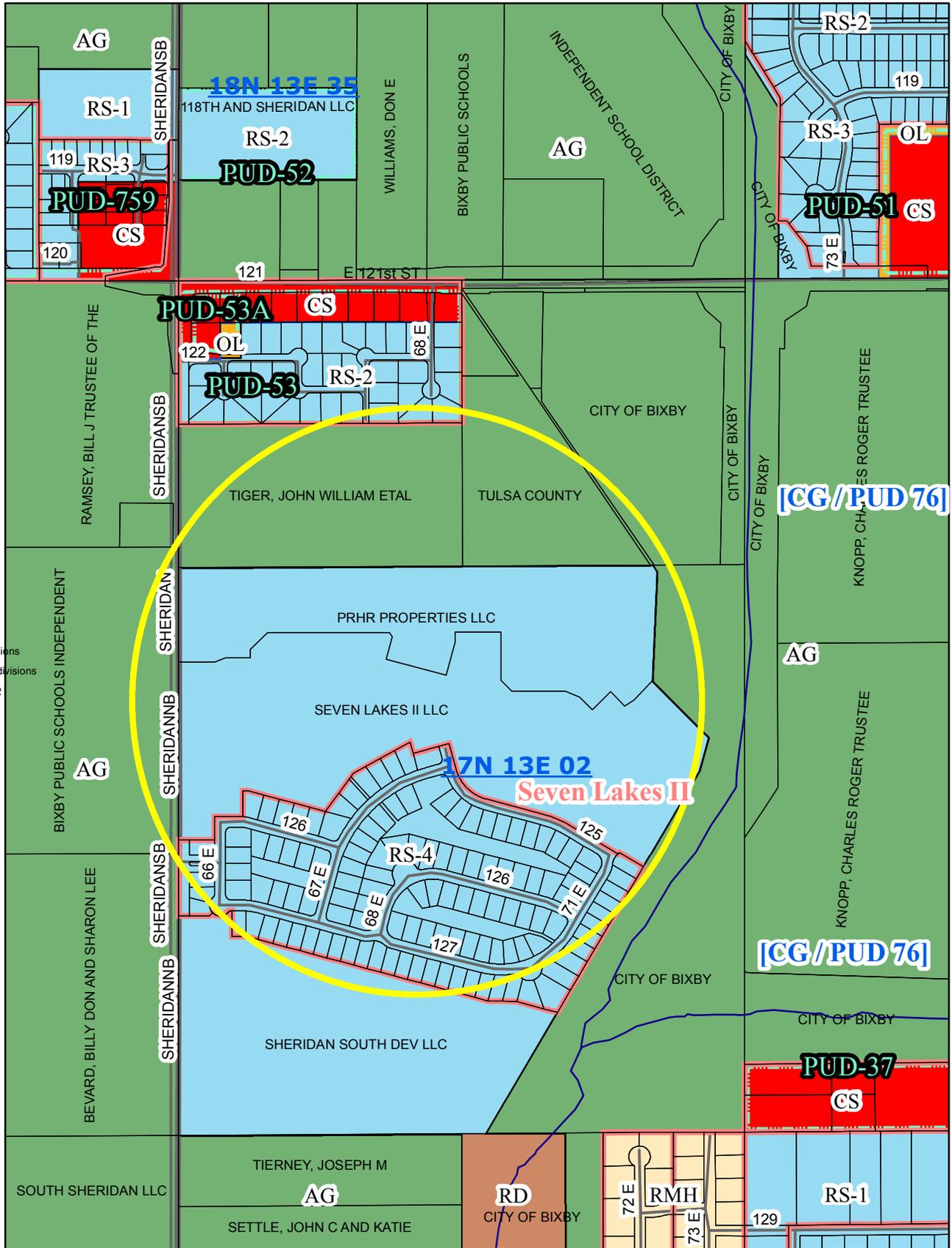
1. With the Preliminary Plat, the Applicant will need to request a Modification/Waiver from Subdivision Regulations Section 12-3-4.F, as Lot 15, Block 2, and Lot 7, Block 1 (and potentially others) appear to exceed the 2:1 maximum depth to width ratio as per SRs Section 12-3-4.F. The Modification/Waiver may be justified by citing its necessity

- as a product of an attractive subdivision design defined by the crisscrossing, curvilinear street network with no true cul-de-sacs, interspersed with Reserves for water amenities.
2. With the Preliminary Plat, the Applicant will need to request a Modification/Waiver from Subdivision Regulations Section 12-3-3.A, if any utility easements would not achieve the minimum width standards at 17.5' for perimeters. Such request may be justified by demonstrating where an 11' U/E will be back to back with another 11' in abutting subdivision, resulting in a 22'-wide U/E corridor between the subdivisions. Other justifications may be offered and deemed adequate.
 3. Based on GIS aerial and parcel data, it appears that the northeastern-most lots, Lots 34 and 35, Block 5, include the access road, and possibly even the concrete trickle-channel otherwise owned by Tulsa County and the City of Bixby (possibly known as a 'wetland remediation' or 'wetland compensatory mitigation' area). Please confirm property ownership patterns and/or any public easements that may affect this area.
 4. It appears that the Reserve Areas are assigned unique letters A through H in the three (3) subdivisions. This may be for purposes of having a singular HOA responsible for maintenance of the Reserve Areas. *Seven Lakes I* has Reserve Areas D, E, F, G, and H. *Seven Lakes II* has Reserve Areas A, B, and C. "Seven Lakes III" would have Reserve Areas "C," "F," and two (2) unnamed 20'-wide "handle" access Reserve Areas which connect to Reserve Area B in *Seven Lakes II*. In this phase III, "C" would be a duplicate name as that found in *Seven Lakes I*. Also in phase III, Reserve Area "F" is one of the "lakes" which would connect to the "handle" Reserve "F" in *Seven Lakes I*. This would make sense if the Reserve Areas are to be uniquely named and "F" was to be recognized as a singular Reserve Area platted in two (2) parts. If that is the case, the unnamed 20'-wide "handle" access Reserve Areas connecting to Reserve Area B in *Seven Lakes II* could also be named Reserve Area "B." The duplication of Reserve Area C, however, may need to be addressed.
 5. Please label the width of the 'handle' access to "Reserve C."
 6. Block 5: Similar to Reserve C in *Seven Lakes II*, consider adding a pedestrian access Reserve Area to connect the neighborhoods to the Fry Creek # 2, which may ultimately have a trail on this west side. Please update Block numbers if added.
 7. Please indicate the Sectionline, label Sheridan Rd. and indicate its roadway width and centerline, and dimension the right-of-way dedication.
 8. Please change the Sheridan Rd. intersection street name to "East 125th Street South."
 9. Please change the "E. 125th Pl." street name to 68th E. Ave. corresponding with *Seven Lakes II*.
 10. Per the SRs provisions pertaining to Sketch Plat approvals, please add the legal description and point of beginning, if available.
 11. Per the SRs provisions pertaining to Sketch Plat approvals, please add "lot areas (in square feet or fractional acres) on each lot or in a chart or schedule for Zoning Code compliance review."
 12. The Location Map should label *Seven Lakes II* (reference SRs Section 12-4-2.A.5).
 13. The Land Summary statistics report two (2) Reserve Areas, but there are two (2) named and two (2) unnamed Reserve Areas in the plat. If the unnamed are identified as Reserve Area "B," as suggested herein, that would Reserve Area # 3.
 14. For the sake of clarity, the Land Summary statistics on the plat face should list the total for the plat (rather than by Phase) or otherwise list both phases on both pages.

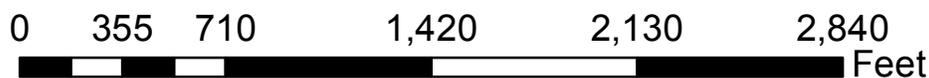
15. Lots 1 and 2, Block 6, and Lot 18, Block 6 are completely separated from the balance of Block 6 by an unnamed 20' Reserve Area. Per the definition of "Block" in the Subdivision Regulations and the typical block numbering conventions, the areas need to be separate blocks.
16. Please update Land Summary statistics to add the new block numbers recommended herein.
17. As noted and requested by the TAC, where they are missing, please add 20' front yard U/Es for front-yard utility service as done throughout the balance of the Seven Lakes development (electric and natural gas, at a minimum).
18. Rather than 25'-wide front-yard U/Es as sometimes shown, consider a 20' U/E to provide a 5' buffer area, or the amount necessary to protect the integrity of the foundation and supporting wall, in the event of excavation of the U/E up to its interior edge.
19. Streets should be labeled as to width.
20. Consider the size and configuration of Lot 16, Block 4 for possible enhancement.
21. A copy of the Sketch Plat including all recommended corrections shall be submitted for placement in the permanent file.

103

Sketch Plat of Seven Lakes III



- bixby_streams
- Tulsa Parcels 01/13
- WagParcels 01/13
- TulsaCountySubdivisions
- WagonerCountySubdivisions
- WagRoads_Aug2012
- E911Streets
- PUD
- <all other values>
- ZONE_TYPE**
- Agricultural
- Commercial
- Flood
- Industrial
- Office
- Residential SF
- Residential Multi
- Residential Manuf.
- <all other values>
- ZONE_TYPE**
- Agricultural
- Commercial
- Flood
- Industrial
- Office
- Residential SF
- Residential Multi
- Residential Manuf.
- bixby_s-t-r
- county



Memo

To: Erik Enyart, City Planner
From: Jared Cottle, PE *JWC*
CC: Bea Aarnodt, PE
File
Date: 05/03/13
Re: Seven Lakes III
Sketch Plat

General Comments:

1. Utility, Grading, and Drainage Plans have been reviewed and comments have been provided to the Engineer. Future Plat submittals should be updated accordingly.

Memo

To: Mr. Billy R. Robinson, P.E.
HRAOK, Inc.
1913 W. Tacoma – Suite A
Broken Arrow, OK 74012

From: Jared Cottle, P.E. *JWC*

CC: Bea Aamodt, P.E.
Erik Enyart, City Planner
File

Date: 04/25/13

Re: Seven Lakes III
Grading and Drainage Plans
Water and Sanitary Sewer Plans

General Comments:

1. A comment response letter addressing each item listed below must be provided with next submittal.
2. A Design Memorandum addressing, at minimum, the following project elements is required:
 - a. Grading & Drainage – including comparison to original design and current design as well as detailed calculations for storm sewer network and any modifications to the original design.
 - b. Sanitary Sewer – including any changes to the original layout and the system potential to accommodate future construction phases as well connection(s) from adjacent 10 acre parcel to the north of Seven Lakes.
 - c. Water – including any changes to the original layout.
3. Updated ODEQ Applications, Engineering Report forms and fees should be provided with the next submittal.

Paving, Grading, & Drainage:

4. The basis for the drainage design should be discussed in the Design Memorandum as well as any differences in lot density between the original and the revised submittal.
5. A comparison and discussion of the pond modifications must be included in the Design Memorandum.
6. The downstream WSE for Fry Creek HGL calculations should be the 10-yr WSE. Both the 10 and 100-yr WSE should be shown on the storm water profile sheets.
7. The basis for the pavement design (Geotechnical Report) and conformance to the Design Manual should be provided in the Design Memorandum.

Water Comments:

8. Fire hydrant locations must be approved by the Fire Marshall.

9. Three valve clusters should be provided at all main line tees (e.g. Line A intersection with Line B, Line B intersection with Line C, etc.).
10. All valves should be located outside of paved areas and must be installed with a concrete collar.
11. All sanitary sewer and storm water clearances should be included in the Profiles.

Sanitary Sewer Comments:

12. Lampholes are not permitted for installation (a, b, c. etc.). All terminal structures must be manholes.
13. All sewer line runs must terminate within 20' of the curb at the upstream end for access – e.g. Str. "c".
14. The sewer lines located serving the partial cul-de-sacs (Line F, Line G, and Line I) should be located around the perimeter of the radius to ensure that no service taps are located under street paving.
15. All water main and storm sewer clearances should be included in the Profiles.

Memo

To: ERIK ENYART, AICP, CITY PLANNER

From: JIM SWEEDEN

Date: 4/16/2013

Re: SKETCH PLAT OF SEVEN LAKES

HYDRANT LOCATIONS SHALL START AT THE ENTRANCE (125TH ST. SO.) AND STAY WITHIN THE 600FT. REGULATION.

NOTE: I BELIEVE THE NEW 2ND. ENTRANCE IS MISS MARK, SHOULD BE 125TH. ST. SO. ??

HYDRANTS SHOULD BE LOCATED ON PROPERTY LINES. PLEASE SUBMIT PLANS OF HYDRANT LOCATIONS FOR APPROVAL.



MINUTES
TECHNICAL ADVISORY COMMITTEE
DAWES BUILDING CITY OFFICES
113 W. DAWES AVE.
BIXBY, OK 74008
May 01, 2013 – 10:00 AM

MEMBERS PRESENT

Evelyn Shelton, *AEP-PSO*
Scott Gideon, *ONG*

STAFF PRESENT

Erik Enyart, AICP, City Planner, City of Bixby
Jim Sweeden, Fire Code Enforcement Official, City of Bixby

OTHERS PRESENT

Ricky Jones, AICP, *Tanner Consulting, LLC*
David Greer, PE, *Bannister Engineering, LLC*
Darin Akerman, AICP, *Sisemore Weisz & Associates Inc.*

1. Erik Enyart called the meeting to order at 10:05 AM.

Erik Enyart stated that he would introduce the first item on the agenda which had representation.

3. **Final Plat – Scenic Village Park – Tanner Consulting, LLC (PUD 76).** Discussion and review of a Final Plat and certain Modifications/Waivers for “Scenic Village Park” for 22 acres in part of the E/2 of Section 02, T17N, R13E.
Property Located: South and west of the intersection of 121st St. S. and Memorial Dr.

Erik Enyart introduced the item and summarized the project and its location. Mr. Enyart noted that the TAC had previously seen the PUD and Preliminary Plat, and this appeared to be the first phase of the development along the north side of the 92 acres at 121st St. S. Mr. Enyart asked the Applicant if he cared to comment on the project.

Ricky Jones of Tanner Consulting, LLC, stated, “When the PUD took the turn it did at the City Council,” when multifamily was eliminated from the PUD, it had a couple multifamily developers looking at that Development Area, which were going to provide the cash to build [the collector road between 126th St. S. and the south end of this Preliminary Plat]. Mr. Jones stated that his client still had a contract with the assisted living facility developer, and would be building the streets [shown in this Final Plat]. Mr. Jones indicated that his client still intended to install the stormsewer pipe along the 121st St. S. frontage.

Mr. Enyart asked Jim Sweeden if he had any questions or comments. Mr. Sweeden asked if this Final Plat had not changed the lot and block numbers from that on the Preliminary Plat, and Ricky

Jones confirmed this had occurred. Mr. Sweeden stated that all lots needed to have two (2) accesses. Erik Enyart noted that the PUD would require a Detailed Site Plan for each lot, which would indicate where the drives would be located. Mr. Sweeden asked if the site plan for the assisted living facility was available and Mr. Jones stated that the site plan was not yet in form for submittal. Mr. Enyart advised Mr. Jones that he and Mr. Sweeden had previously discussed this matter and observed the two (2) streets, 73rd and 74th E. Aves., which would allow for two (2) separate means of ingress and egress for the assisted living facility lot, and speculated that the drives could be positioned such as to allow the secondary one along 74th E. Ave. Mr. Jones indicated agreement. Mr. Enyart stated that, for Development Area E, he and Mr. Sweeden had observed the Access Opening along 121st St. S., and speculated that this would allow for one (1) driveway connection there and another on 74th E. Ave. Mr. Jones indicated agreement.

Jim Sweeden stated that he had not yet received a plan for fire hydrants. Erik Enyart asked if that was not turned in with the [Preliminary Plat] application, and Mr. Sweeden responded in the negative. Ricky Jones stated that he would get this to Mr. Sweeden.

Erik Enyart stated that he would open up the discussion to the utility providers and asked Evelyn Shelton if she had any questions or comments at this time. Ms. Shelton discussed with Ricky Jones certain electrical line locations within the development and 121st St. S. and preferences for burying lines. Ms. Shelton suggested an overhead electrical line could be installed along the east side of [Development Area E]. Erik Enyart asked if the Restrictive Covenants provide for allowable locations for overhead lines. Ms. Shelton referred to the plat and stated that it appeared to allow for them only along 121st St. S. Mr. Jones stated that he would need to add language to the Deed of Dedication and Restrictive Covenants to allow for overhead lines along the perimeter Utility Easements.

Erik Enyart advised Ricky Jones that he did not yet have a Staff Report prepared, but that it was his goal to have it done and sent to Mr. Jones by mid-next week, but it may take a little longer.

Erik Enyart asked if there were any further questions or comments. There were none.

Scott Gideon arrived around this time. Ricky Jones asked Mr. Gideon if he had not just come from an "underground meeting" at Tanner Consulting's office, and Mr. Gideon stated that [another representative of ONG] was attending that meeting.

Erik Enyart stated that he would introduce the next item on the agenda which had representation.

4. **BSP 2013-02 – Panda Express – Bannister Engineering, LLC (PUD 67).** Discussion and review of a PUD Detailed Site Plan and building plans for "Panda Express," a Use Unit 12 restaurant development for part of the NW/4 SW/4 of Section 25, T18N, R13E.
Property located: 10535 S. Memorial Dr.

Erik Enyart introduced the item and summarized the project and its location. Mr. Enyart noted that this was in PUD 67, which was originally planned for a carwash development, and was later redesigned for another carwash development with a different owner, but was not ultimately developed. Mr. Enyart asked David Greer if he cared to summarize the project further.

David Greer of Bannister Engineering, LLC, 1696 Country Club Drive, Mansfield, Texas 76063, stated that he was representing the *Panda Express*. Mr. Greer indicated that the subdivision plat was not yet ready but would be submitted soon by another firm. Erik Enyart asked what firm was preparing the plat, and Mr. Greer stated that he did not know but it was "someone local." Mr. Enyart noted that this would be a little out of order, as the Detailed Site Plan was submitted before the plat application. Mr. Greer stated that is was even more out of order as the building plans were submitted before the site plan. Jim Sweeden noted that he had already received the building plans and noticed this was the case. Mr. Greer stated that *Panda [Express]* was working directly with the engineering firm and the owner [on the plat].

Ricky Jones left around this time. Erik Enyart thanked Mr. Jones for his attendance and participation.

Erik Enyart asked David Greer if the site plan showed the proposed [Utility] Easements, and Mr. Greer stated that he did not know. Mr. Enyart and Mr. Greer reviewed the site plan drawings but did not see perimeter U/Es.

Erik Enyart asked Jim Sweeden if he had any questions or comments. Mr. Sweeden stated that [he and the Fire Marshal] had asked about the fire hydrant in the southwest corner [of the lot]. Mr. Greer indicated the location of the fire hydrant on the site plan drawing.

Erik Enyart asked if the utility providers had any questions or comments. Evelyn Shelton of AEP-PSO stated that [AEP-PSO] had a three-phase overhead electric line along the north line of the subject property, within the property line. Mr. Enyart asked if, since there are already utilities within the subject property along its north line, if there was not a pre-existing [Utility] Easement. Ms. Shelton stated that there could be.

Erik Enyart asked Scott Gideon of ONG where the natural gas service was located. Mr. Gideon asked David Greer if [his client] was interested in natural gas. Mr. Greer stated that he did not know but expected this to be the case. Mr. Gideon requested a conduit be used for the gasline extension.

Evelyn Shelton, Scott Gideon, and Erik Enyart discussed the roadway along the north side of the subject property. Mr. Enyart noted that this was a private commercial street that was owned by the [Regal Plaza] shopping center owner.

Erik Enyart confirmed with David Greer that he had received the Fire Marshal's memo Mr. Enyart had sent him. Mr. Enyart stated that it did not appear that he had received the City Engineer's memo yet, but when this was received he would send it to him. Mr. Greer stated that the plan would have stormwater detention area in the southeast corner of the parking lot, and indicated a shaded area representing this area on the site plans. Mr. Greer stated that [the design] was difficult because there was no stormsewer.

David Greer described the north-south drive through the front of the property and confirmed with Erik Enyart that the connections to the drive to the north and the drive within the parking lot to the

south would require easements with those adjoining property owners. Mr. Greer indicated that he would make sure these were secured.

Erik Enyart advised David Greer that he did not yet have a Staff Report prepared, but that it was his goal to have it done and sent to Mr. Greer by mid-next week, but it may take a little longer.

Erik Enyart asked David Greer if [his client] had a desired schedule for Building Permit issuance, start of construction, and completion of construction. Mr. Greer stated that he did not know this, but that [construction] normally took three (3) to four (4) months [before the site was] “up and running.” Mr. Enyart stated that it appeared the earliest the Building Permit could be issued was the end of June. Mr. Greer confirmed with Mr. Enyart that this was due to the plat requirement. Mr. Enyart stated that the next application submission deadline would place the [Preliminary and Final] Plat[s] on the June 17, 2013 Planning Commission agenda, which would be considered by the City Council the following Monday, June 24, 2013, allowing the plat to be recorded and the Building Permit to be issued on June 25, 2013.

Erik Enyart asked if there were any further questions or comments. There were none.

David Greer left at this time. Erik Enyart thanked Mr. Greer for his attendance and participation.

Erik Enyart stated that, since no other items were represented, he would introduce the next numerically ordered item on the agenda.

2. **Sketch Plat – Seven Lakes III – HRAOK, Inc.** Discussion and review of a Sketch Plat for “Seven Lakes III” for approximately 40 acres in part of the W/2 of Section 02, T17N, R13E.
Property Located: South and east of the intersection of 121st St. S. and Sheridan Rd.

Erik Enyart introduced the item and summarized the location and the development with Scott Gideon and Evelyn Shelton. Mr. Gideon asked if it was being developed by Chuck Ramsay, and Mr. Enyart and Ms. Shelton stated that the land containing the second phase and this development was sold by Chuck Ramsay. Mr. Enyart noted that there was a group of owners that developed Seven Lakes II, and that group was the same ownership group proposing this third phase. Mr. Gideon and Ms. Shelton stated that the first phase had 20’ front yard easements, but this one did not have them. Mr. Enyart confirmed with Mr. Gideon and Ms. Shelton that both of their utility lines were located in the fronts of the lots. Mr. Enyart stated that he would be sure to include this as a review item.

Erik Enyart asked Jim Sweeden if he had any questions or comments. Mr. Sweeden noted that the main entrance street on Sheridan Rd. appeared to have the wrong street name, which duplicated that located in [Seven Lakes I]. Mr. Sweeden stated that the fire hydrants needed to be spaced no more than 600’ apart, and that he needed a plan showing them. Mr. Enyart confirmed with Mr. Sweeden that all these comments were included in Mr. Sweeden’s memo.

Erik Enyart asked if there were any further questions or comments. There were none.

Darin Akerman arrived at this time.

5. **BSP 2013-03 – Grand Bank – Sisemore, Weisz & Associates, Inc. (PUD 65)**. Discussion and review of a PUD Detailed Site Plan and building plans for “Grand Bank,” a Use Unit 11 bank and retail development for Lot 5, Block 1, *101 Memorial Square*.
Property located: 8200 E. 101st St. S.
-

Erik Enyart introduced the item and summarized the location and the development. Mr. Enyart stated that this would be a standalone bank branch for *Grand Bank*, except that it would have an adjacent retail space. Mr. Enyart stated that this was Lot 5, Block 1, *101 Memorial Square*, and this would complete the 101 Memorial Square development. Mr. Enyart asked Darin Akerman if he cared to describe the project further.

Darin Akerman of Sisemore, Weisz & Associates, Inc., described the project and noted its relationship to the Sprouts Farmers Market, the site for which his firm designed, and which just had a grand opening the previous Wednesday. Erik Enyart stated that he had heard that this was the second largest grand opening Sprouts has ever had, and only missed being the largest by approximately \$600.

Erik Enyart asked the utility providers if they had any questions or comments. Scott Gideon asked if this development would use [natural] gas. Mr. Akerman indicated he expected this to be the case. Mr. Gideon stated that [ONG] had a gasline down 83rd E. Ave. Mr. Akerman stated that there was one down 101st St. S. also which may be able to be tapped into, and Mr. Gideon indicated agreement.

Erik Enyart asked Evelyn Shelton if this was “PSO territory,” and Ms. Shelton confirmed that it was. Ms. Shelton stated that the [landscape plans] indicated holly trees close to the transformer, and asked that they have enough clearance for maintenance. Darin Akerman asked what clearance was necessary, and Ms. Shelton responded that it needed “three (3) feet on the side and 10’ in front of the door.”

Erik Enyart asked Evelyn Shelton if this was an “underground area” [for electrical service], and Ms. Shelton responded in the affirmative.

Erik Enyart confirmed with Darin Akerman that he had received from him the Fire Marshal’s memo. Mr. Enyart advised Mr. Akerman that it did not appear that he had received the City Engineer’s memo yet, but when this was received he would send it to him.

Erik Enyart asked Jim Sweeden if he had any questions or comments. Mr. Sweeden asked if part of the building would be left empty, and Mr. Akerman stated that the adjacent retail space would have a tenant, which he was “pretty sure” would be [retailer name redacted for potentially sensitive real estate transaction purposes].

Erik Enyart asked Darin Akerman if there was a preferred schedule for the Building Permit and start and completion of construction. Mr. Akerman indicated his client was aiming for June 03, 2013 [for Building Permit issuance].

Erik Enyart advised Darin Akerman that he appreciated the opportunity to review the plans before submittal, as that helps expedite the review process, and that he appreciated Mr. Akerman's [communication] skills, which helped keep all the parties in line and moving forward.

Erik Enyart asked if there were any further questions or comments. There were none.

6. Old Business

7. New Business

8. Meeting was adjourned at 10:41 AM.

BIXBY TAC MEETING
SIGN IN SHEET
Wednesday, May 01, 2013

NAME	COMPANY	PHONE
1. <u>DARIN AKERMAN</u>	<u>SISEMORE, WEISZ & ASSOC. INC.</u>	<u>918-665-3600</u>
2. <u>Evelyn Shelton</u>	<u>PSO</u>	<u>918-250-6249</u>
3. <u>Scott Gordon</u>	<u>ONE9</u>	
4. <u>Jim Swedlow</u>	<u>CITY of Bixby F.M. office</u>	<u>918-366-0430</u>
5. <u>Erik Enyok</u>	<u>COB</u>	<u>366 4430</u>
6. _____	_____	_____
7. _____	_____	_____
8. _____	_____	_____
9. _____	_____	_____
10. _____	_____	_____
11. _____	_____	_____
12. _____	_____	_____
13. _____	_____	_____
14. _____	_____	_____
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17. _____	_____	_____
18. _____	_____	_____
19. _____	_____	_____
20. _____	_____	_____

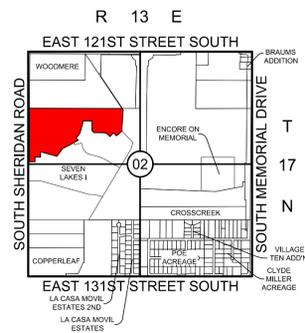
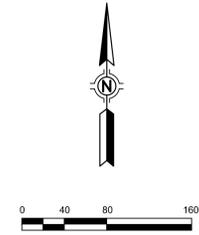
Sketch Plat

Seven Lakes III - Phase II

A SUBDIVISION IN THE CITY OF BIXBY, TULSA COUNTY, OKLAHOMA, BEING A SUBDIVISION OF A PART OF THE WEST HALF OF SECTION 02, TOWNSHIP 17 NORTH, RANGE 13 EAST OF THE INDIAN BASE AND MERIDIAN

Owner / Developer
 PRHR PROPERTIES, LLC
 8630 SOUTH PEORIA AVENUE
 TULSA, OKLAHOMA 74132
 PHONE: (918) 809-4372
 CONTACT: MR. JULIUS PUMA

Engineer / Surveyor
 HRAOK, INC.
 1913 WEST TACOMA, SUITE A
 BROKEN ARROW, OKLAHOMA 74012
 PHONE: (918) 258-3737
 FAX: (918) 258-2544
 C.A. #3643 EXPIRES JUNE 30, 2013
 INFO@HRAOK.COM
 N 88°31'42" E
 2227.94'



Location Map
 SCALE: 1"=2000'

Land Summary
 SUBDIVISION CONTAINS TWO (2) PHASES WITH ONE HUNDRED THIRTY-ONE (131) LOTS IN SEVEN (7) BLOCKS AND TWO (2) RESERVE AREAS
 PHASE I INCLUDES 22.09 ACRES:
 BLOCK 4 13 LOTS
 BLOCK 5 36 LOTS
 BLOCK 6 16 LOTS
 BLOCK 7 11 LOTS
 SUBDIVISION CONTAINS 40.64 ACRES

Legend
 B/L BUILDING LINE
 T/A/E TEMPORARY ACCESS EASEMENT
 U/E UTILITY EASEMENT
 [1234] STREET ADDRESS

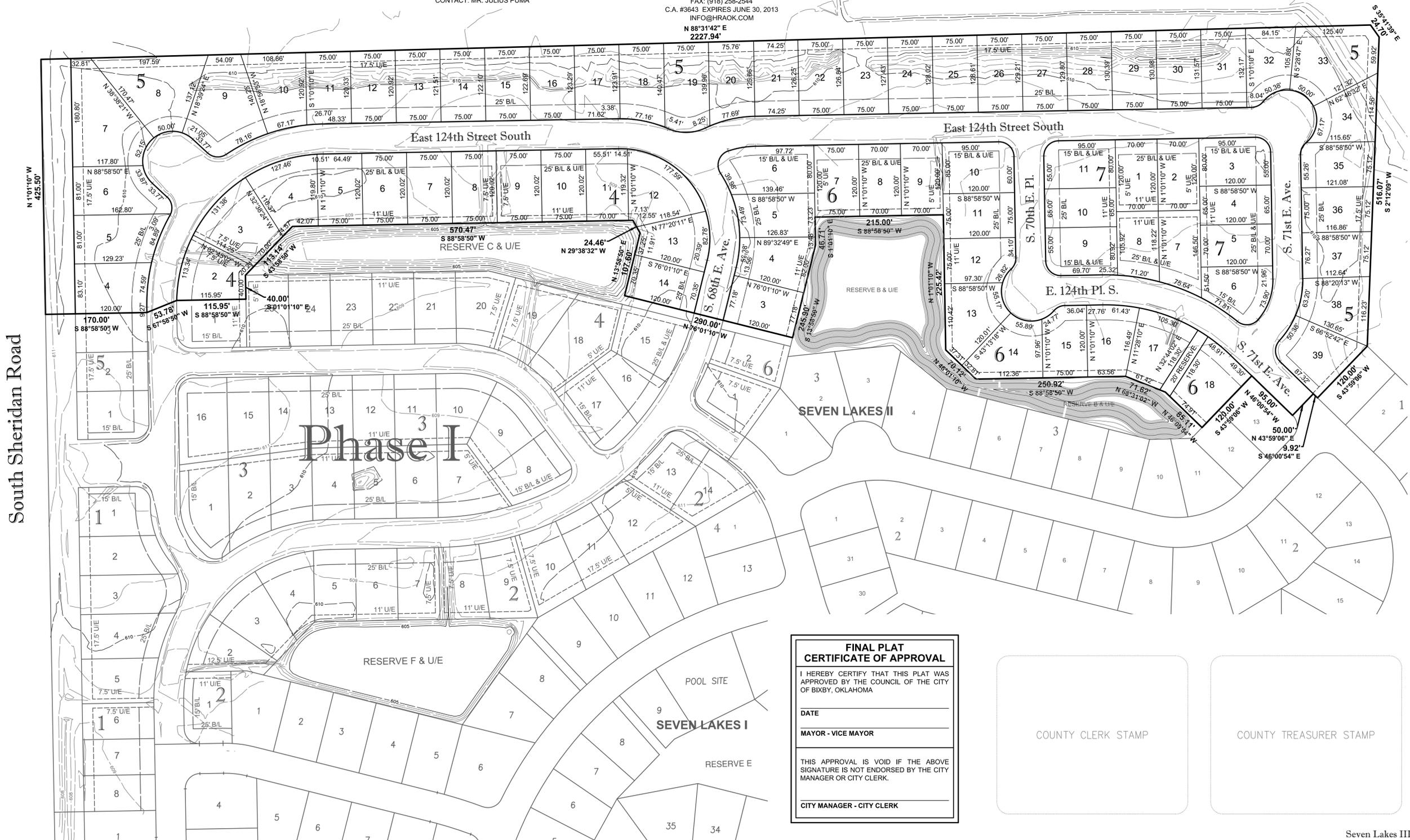
Monumentation
 ALL CORNERS SHOWN HEREON WERE SET USING A 3/8"X 18" STEEL PIN WITH A PLASTIC CAP STAMPED "PLS 1580" AT ALL CORNERS.

Basis of Bearings
 THE BEARING BASE FOR THIS SURVEY IS GRID BEARINGS BASED ON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM - NORTH ZONE - NAD83 (1993).

ADS Benchmark
 BRASS CAP LOCATED AT THE NORTHWEST CORNER OF SECTION 02, T-17N, R-13E, TULSA COUNTY, OKLAHOMA. ELEV = 611.97 (NAVD 1988)

Notes
 ALL STREET RIGHT-OF-WAY SHALL BE DEDICATED AS PUBLIC STREETS BY THIS PLAT.
 ADDRESSES SHOWN ON THIS PLAT WERE ACCURATE AT THE TIME THIS PLAT WAS FILED. ADDRESSES ARE SUBJECT TO CHANGE AND SHOULD NEVER BE RELIED ON IN PLACE OF LEGAL DESCRIPTION.
 ALL WATER AND SANITARY SEWER SERVICES WILL BE SUPPLIED AND MAINTAINED BY THE CITY OF BIXBY.

NUMBER	DELTA ANGLE	RADIUS	ARC LENGTH
C1	xxxx	xxxx	xxxx
C2	xxxx	xxxx	xxxx
C3	xxxx	xxxx	xxxx
C4	xxxx	xxxx	xxxx
C5	xxxx	xxxx	xxxx
C6	xxxx	xxxx	xxxx
C7	xxxx	xxxx	xxxx
C8	xxxx	xxxx	xxxx
C9	xxxx	xxxx	xxxx
C10	xxxx	xxxx	xxxx
C11	xxxx	xxxx	xxxx
C12	xxxx	xxxx	xxxx
C13	xxxx	xxxx	xxxx
C14	xxxx	xxxx	xxxx
C15	xxxx	xxxx	xxxx
C16	xxxx	xxxx	xxxx



FINAL PLAT CERTIFICATE OF APPROVAL
 I HEREBY CERTIFY THAT THIS PLAT WAS APPROVED BY THE COUNCIL OF THE CITY OF BIXBY, OKLAHOMA
 DATE _____
 MAYOR - VICE MAYOR _____
 THIS APPROVAL IS VOID IF THE ABOVE SIGNATURE IS NOT ENDORSED BY THE CITY MANAGER OR CITY CLERK.
 CITY MANAGER - CITY CLERK _____

COUNTY CLERK STAMP

COUNTY TREASURER STAMP

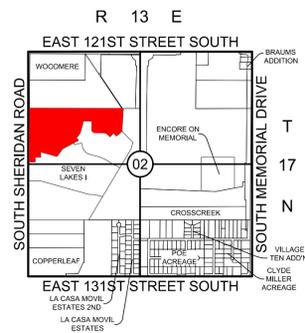
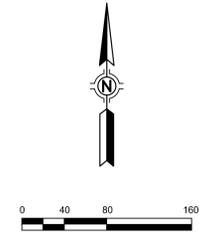
Sketch Plat

Seven Lakes III - Phase I

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 C.A. #3643 EXPIRES JUNE 30, 2013
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Location Map
 SCALE: 1"=2000'

Land Summary
 SUBDIVISION CONTAINS TWO (2) PHASES WITH ONE HUNDRED THIRTY-ONE (131) LOTS IN SEVEN (7) BLOCKS AND TWO (2) RESERVE AREAS
 PHASE II INCLUDES 18.55 ACRES:
 BLOCK 1 8 LOTS
 BLOCK 2 14 LOTS
 BLOCK 3 16 LOTS
 BLOCK 4 12 LOTS
 BLOCK 5 3 LOTS
 BLOCK 6 2 LOTS
 RESERVE C 1.34 ACRES
 RESERVE F 1.18 ACRES
 SUBDIVISION CONTAINS 40.64 ACRES

Legend
 B/L BUILDING LINE
 T/A/E TEMPORARY ACCESS EASEMENT
 U/E UTILITY EASEMENT
 [1234] STREET ADDRESS

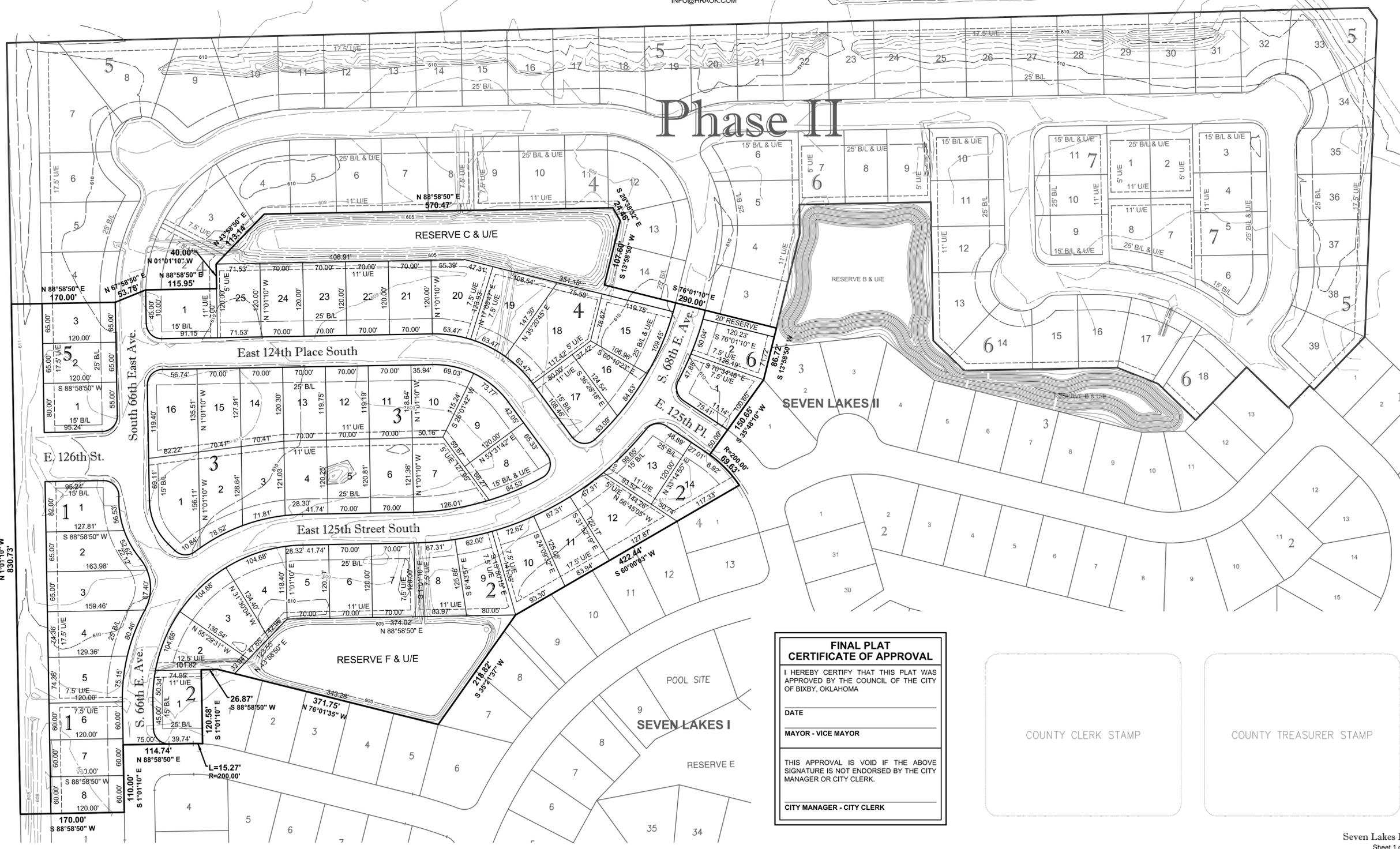
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C9	xxxx	xxxx	xxxx
C10	xxxx	xxxx	xxxx
C11	xxxx	xxxx	xxxx
C12	xxxx	xxxx	xxxx
C13	xxxx	xxxx	xxxx
C14	xxxx	xxxx	xxxx
C15	xxxx	xxxx	xxxx
C16	xxxx	xxxx	xxxx



FINAL PLAT CERTIFICATE OF APPROVAL
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 MAYOR - VICE MAYOR _____
 THIS APPROVAL IS VOID IF THE ABOVE SIGNATURE IS NOT ENDORSED BY THE CITY MANAGER OR CITY CLERK.
 CITY MANAGER - CITY CLERK _____

COUNTY CLERK STAMP

COUNTY TREASURER STAMP

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CITY OF BIXBY
P.O. Box 70
116 W. Needles Ave.
Bixby, OK 74008
(918) 366-4430
(918) 366-6373 (fax)

STAFF REPORT

To: Bixby Planning Commission
From: Erik Enyart, AICP, City Planner *EE*
Date: Wednesday, May 15, 2013
RE: Report and Recommendations for:
Final Plat of "Scenic Village Park" (PUD 76)

LOCATION:

- The 7300-block of E. 121st St. S.
- South and west of the intersection of 121st St. S. and Memorial Dr.
- Part of the E/2 of Section 02, T17N, R13E

SIZE:

- 21.965 acres, more or less (plat area)
- 92 acres, more or less (parent tract)

EXISTING ZONING: CG General Commercial District with PUD 76

EXISTING USE: Agricultural

REQUEST: Final Plat approval

SURROUNDING ZONING AND LAND USE:

North: (Across 121st St. S.) RS-3, RS-1, AG, & OL/CS/PUD 51; The *Fox Hollow* and *North Heights Addition* residential subdivisions; the Fry Creek Ditch # 2 and the North Elementary and North 5th & 6th Grade Center school campuses to the northwest zoned AG; agricultural land to the northeast zoned OL/CS/PUD 51.

South: AG & CS/PUD 37; Fry Creek Ditch # 1 to the south zoned AG and the *Crosscreek* "office/warehouse" heavy commercial / trade center and retail strip center zoned CS with PUD 37.

East: AG, CG, RS-3, OL, CS, & RM-2/PUD 70; Agricultural land, the *Easton Sod* sales lot zoned RS-3, OL, & CS, the *Encore on Memorial* upscale apartment complex

zoned RM-2/PUD 70, a *Pizza Hut* zoned CG, and a *My Dentist Dental Clinic* zoned CS; Memorial Dr. is further to the east.

West: AG & RS-4; Fry Creek Ditch #2; beyond this to the west is vacant/wooded land owned by the City of Bixby, the *Three Oaks Smoke Shop* located on a 2-acre tract at 7060 E. 121st St. S., the *Seven Lakes I* and *Seven Lakes II* residential subdivisions, and additional vacant land zoned RS-4 for a future "Seven Lakes" phase or phases.

COMPREHENSIVE PLAN: Corridor + Vacant, Agricultural, Rural Residences, and Open Land.

PREVIOUS/RELATED CASES:

BBOA-367 – Holley Hair for Charles Roger Knopp – Request for Special Exception approval to allow a Use Unit 20 "golf teaching and practice facility" on part of the parent tract subject property – BOA Conditionally Approved 04/02/2001 (not since built).

BBOA-442 – Charles Roger Knopp – Request for Special Exception approval to allow a Use Unit 20 golf driving range (evidently same as BBOA-367) on part of the parent tract subject property. Approval of BBOA-367 expired after 3 years, per the Staff Report, and so required re-approval – BOA Approved 05/01/2006 (not since built).

BL-340 – JR Donelson for Charles Roger Knopp Revocable Trust – Request for Lot-Split approval to separate a 41.3384-acre tract from the southern end of the large 140-acre acreage tracts previously owned by Knopp, which includes parent tract subject property – It appears it was Administratively Approved by the City Planner on 07/20/2006, but the Assessor's parcel records do not reflect that the land was ever since divided as approved.

PUD 70 & BZ-347 / PUD 70 (Amended) & BZ-347 (Amended) – Encore on Memorial – Khoury Engineering, Inc. – Request to rezone from AG to RM-3 and approve PUD 70 for a multifamily development on part of parent tract subject property – PC Continued the application on 12/21/2009 at the Applicant's request. PC action 01/19/2010: A Motion to Recommend Approval failed by a vote of two (2) in favor and two (2) opposed, and no followup Motion was made nor followup vote held. The City Council Continued the application on 02/08/2010 to the 02/22/2010 regular meeting "for more research and information," based on indications by the developer about the possibility of finding another site for the development. Before the 02/22/2010 City Council Meeting, the Applicant temporarily withdrew the applications, and the item was removed from the meeting agenda, with the understanding that the applications were going to be amended and resubmitted.

The Amended applications, including the new development site, were submitted 03/11/2010. PC action 04/19/2010 on the Amended Applications: Recommended Conditional Approval by unanimous vote. City Council action 05/10/2010 on the Amended Applications: Entertained the ordinance Second Reading and approved the PUD and rezoning, with the direction to bring an ordinance back to the Council with an Emergency Clause attachment, in order to incorporate the recommended Conditions of Approval. City Council approved both amended applications with the Conditions of Approval written into the approving Ordinance # 2036 on 05/24/2010.

PUD 76 "Scenic Village Park" & BZ-364 – Tanner Consulting, LLC – Request for rezoning from AG to CG and PUD approval for parent tract subject property – PC recommended Approval 02/27/2013 and City Council Conditionally Approved 03/25/2013 as amended at the meeting.

Preliminary Plat of "Scenic Village Park" – Tanner Consulting, LLC – Request for approval of a Preliminary Plat and a Modification/Waiver from certain right-of-way and roadway paving width standards of Subdivision Regulations Ordinance # 854 Section 9.2.2 for parent tract subject property – PC recommended Conditional Approval 02/27/2013 and City Council Conditionally Approved 03/25/2013.

BACKGROUND INFORMATION:

At its February 27, 2013 meeting, the Planning Commission held a Public Hearing and recommended Conditional Approval by unanimous vote. The Motion was to Recommend APPROVAL of PUD 76 and BZ-364, subject to the corrections, modifications, and Conditions of Approval as recommended by Staff, and to include the three (3) amendments made by the Applicant during the meeting as follows:

1. Adding positive language excluding open air storage in Development Area D,
2. 100% stucco on the west side of buildings in Development Area D, and
3. Color painting of metal roofs in Development Area D to prevent glare.

At its meeting March 11, 2013, the City Council Continued the PUD and rezoning per BZ-364 to the March 25, 2013 Regular Meeting, to allow the attendance of the Councilor in whose Ward the subject property was located.

At its meeting March 25, 2013, the City Council Conditionally Approved PUD 76, to include two (2) additional amendments made by the Applicant during the meeting as follows:

1. Removing language inadvertently allowing, by interpretation, multifamily use in Development Area D ("...and uses permitted by Special Exception within the CG Zoning District..."), and
2. Removing the Alternative Standards in Development Area H allowing multifamily use.

The PUD and rezoning was approved by Ordinance # 2116, which approves the "Outline Development Plan" (Text & Exhibits package) dated as received March 07, 2013. That version included all of the staff and Planning Commission recommendations from the meeting held February 27, 2013 and the three (3) amendments made by the Applicant during that meeting. It did not, however, include the two (2) amendments made by the Applicant at the City Council meeting held March 25, 2013. However, Section 3 of the ordinance provides:

"SECTION 3. That PUD 76 and its Outline Development Plan shall be subject to the development standards and conditions recommended by the City of Bixby Planning Commission in Case No. PUD 76, as set forth within the record and minutes of the Commission meeting of February 27, 2013, and approved by the City Council on the date of this ordinance." (emphasis added)

Since the amendments were made to the Outline Development Plan during the March 25, 2013 meeting, Section 3 includes them.

For the sake of clarity in the record, Staff recommends the Applicant submit a final copy of the Text and Exhibits incorporating the final two (2) amendments made by the Applicant at the March 25, 2013 City Council meeting.

ANALYSIS:

Property Conditions. The parent tract subject property of 92 acres is relatively flat and appears to drain, if only slightly, to the south and west. The Final Plat area contains the northernmost 21.965 acres of the parent tract subject property. The development will be planned to drain to the south and west to the Fry Creek Ditch # 2 and # 1, respectively, using stormsewers and paying a fee-in-lieu of providing onsite stormwater detention. It is zoned CG with PUD 76 and may or may not be presently used for agricultural crops.

The subject property appears to presently be served by the critical utilities (water, sewer, electric, etc.) and has immediate access to the stormwater drainage capacity in the Fry Creek Ditches abutting the parent tract subject property to the west and south.

Comprehensive Plan. The Comprehensive Plan designates the subject property as (1) Corridor and (2) Vacant, Agricultural, Rural Residences, and Open Land.

The multiple uses anticipated by this plat would be consistent with the Comprehensive Plan.

General. This subdivision of 21.965 acres proposes four (4) lots, three (3) blocks, and no (0) Reserve Areas. The lots appear consistent with their respective PUD 76 Development Area standards.

With the exceptions outlined in this report, the Final Plat appears to conform to the Zoning Code and Subdivision Regulations.

The Fire Marshal's, City Engineer's, and City Attorney's review correspondence are attached to this Staff Report (if received). Their comments are incorporated herein by reference and should be made conditions of approval where not satisfied at the time of approval.

The Technical Advisory Committee (TAC) discussed this application at its regular meeting held May 01, 2013. Minutes of that meeting are attached to this report.

Access and Internal Circulation. The plat proposes Limits of No Access (LNA) along all of 121st St. S., to direct all traffic to the two (2) proposed street intersections. However, an Access Opening has been added, with this Final Plat, to a middle part of the 121st St. S. frontage for Lot 1, Block 3 (PUD 76 Development Area E).

As proposed, primary access to the PUD development would be via a proposed collector street connecting 121st St. S. to Memorial Dr. via the existing 126th St. S. constructed in the past couple years. By this collector road, all the Development Areas within the PUD would have access. There is a gap between the existing 126th St. S. right-of-way and the parent tract subject property, suggesting the necessity of separate instrument dedication of right-of-way to connect

to 126th St. S. The Applicant has stated that the seller has agreed to dedicate the right-of-way. The Text of PUD 76 confirms that the connection will be required.

The collector street is proposed to intersect with 121st St. S. at the location where there is an existing curb cut/driveway entrance constructed when 121st St. S. was widened. It will be known as 74th E. Ave. to the extent it is a north-south corridor. To the west of this, there is a smaller street proposed to intersect with 73rd E. Ave., which serves *Fox Hollow* and the *North Heights Addition*. It will continue south of 121st St. S. with the 73rd E. Ave. name.

Per PUD 76, the collector street will have an 80' right-of-way and 38' roadway width. Per Subdivision Regulations Ordinance # 854 Section 9.2.2, these geometries would be consistent with a residential and/or office collector road. As this is a commercial development, a "Commercial Collector" street would have 80' of right-of-way and 42' of roadway width. Thus, the PUD acknowledges that such geometries must be approved by the Bixby City Council for Modification/Waiver from the Subdivision Regulations, which was requested and approved by the City Council with the Preliminary Plat on March 25, 2013. Per the City Engineer's PUD/Preliminary Plat review memo, turning lanes should be added at certain intersections and turning points, which should serve to ameliorate traffic congestion and so justify a Modification/Waiver.

The minor streets serving Development Areas A and B, at 50' in right-of-way width and 26' of roadway paving width, would be consistent with a minor low density residential street. It would incidentally serve the westernmost commercial lot in Development Area A, and perhaps the other commercial lot in Development Area A, but would primarily serve an assisted living community. Thus, it would appear more appropriate to be designated a Residential Collector or High Density Residential minor street, which calls for 60' of right-of-way and 36' of roadway width. These geometries, too, received City Council approval of a Modification/Waiver with the Preliminary Plat on March 25, 2013. Recognizing the Collector Road will facilitate most of the traffic, it is reasonable to argue that the ancillary minor streets, serving to allow for a future stoplight at 73rd E. Ave. and primarily serving the assisted living facility, should be afforded flexibility to reduce the minimum required widths.

The proposed access points to 121st St. S. require City Engineer and/or County Engineer curb cut approval, and the Fire Marshal's approval in terms of locations, spacing, widths, and curb return radii.

Staff Recommendation. Staff recommends Approval of the Preliminary Plat subject to the following corrections, modifications, and Conditions of Approval:

1. Subject to the satisfaction of all outstanding Fire Marshal, City Engineer, and/or City Attorney recommendations.
2. 11' U/E along the south side of plat needs to be increased to 17.5' or supplemented by separate instrument dedication as per Subdivision Regulations and City Engineer.
3. The proposed access points to 121st St. S. require City Engineer and/or County Engineer curb cut approval, and the Fire Marshal's approval in terms of locations, spacing, widths, and curb return radii.

4. Per SRs Section 12-4-2.A.5, a Location Map is required and must include all platted additions within the Section; the following need to be corrected as follows:
 - a. *LaCasa Movil Estates 2nd* (mislabeled)
 - b. *Poe Acreage* (misrepresented as to configuration)
 - c. *Seven Lakes II* (misrepresented as to configuration)
 - d. The Fry Creek Ditch # 1 and # 2 are represented but do not reflect channel reconstructions from circa 2000.
5. Based on existing addresses and street names, please adjust addresses such as follows:
 - a. Lot 1, Block 1: 7275 S. 73rd E. Ave. → 7274 E. 121st St. S.
 - b. Lot 2, Block 1: 12300 S. 74th E. Ave. → 7300 E. 121st Pl. S.
 - c. Lot 1, Block 2: 7305 S. 74th E. Ave. → 7330 E. 121st St. S.
 - d. Lot 1, Block 3: 7450 S. 74th E. Ave. → 7450 E. 121st St. S.
6. Please restore the label designating the W. Line of NE/4 of Section 2.
7. DoD/RCs Section II: Update with the final-as-approved version of the Text of PUD 76, per City Council approval 03/25/2013, including, but not necessarily limited to:
 - a. DoD/RCs Section II.A DA B: Permitted Uses missing “Other uses within Use Unit 8 are excluded.”
 - b. DoD/RCs Section II.A DA B: Yards/Setbacks missing West and South boundaries and Other needs to be updated to 20’.
 - c. DoD/RCs Section II.A DA B: Double asterisks before “Minimum Off-Street Parking” should be clarified or removed.
 - d. DoD/RCs Section II.A DA E: Permitted Uses missing language pertaining to UU 19.
 - e. DoD/RCs Section II.B.2: Landscaping and Screening language not updated.
 - f. DoD/RCs Section II.B: Missing off-street parking language.
 - g. DoD/RCs Section II.B.4: Access and Circulation language not updated.
 - h. DoD/RCs Section II.B.5: The text allowing off-site signs (circumventing the “billboard” prohibition) needs to have typos corrected: “A-sSigns identifying an interior property...” as per the final approved PUD.
 - i. DoD/RCs Section II.B.5: Signs language not updated.
 - j. DoD/RCs Section II.B.8 .9. and .10: Please confirm language updated.
 - k. DoD/RCs Section II.B: Missing “City Department Requirements” language.
8. Final Plat: Elevation contours, floodplain boundaries, physical features, underlying Zoning district boundaries, minimum improvements acknowledgement, and other such mapping details as required per SRs Section 12-4-2.B.6, by approval of this Final Plat, shall not be required on the recording version of the Final Plat, as such would be inconsistent with Final Plat appearance conventions and historically and commonly accepted platting practices.
9. Copies of PUD 76, including the final two (2) amendments made by the Applicant at the March 25, 2013 City Council meeting, shall be submitted for placement in the permanent file (2 hard copies and 1 electronic copy).
10. Copies of the Preliminary Plat, including all recommended corrections, modifications, and Conditions of Approval, shall be submitted for placement in the permanent file (1 full size and 1 11” X 17”).
11. Copies of the Final Plat, including all recommended corrections, modifications, and Conditions of Approval, shall be submitted for placement in the permanent file (1 full size and 1 11” X 17”).

Memo

To: Erik Enyart, City Planner
From: Jared Cottle, PE *JWC*
CC: Bea Aamodt, PE
File
Date: 05/03/13
Re: Scenic Village – Draft Final Plat
PUD 76

General Comments:

1. An 11' U/E rather than a 17.5' U/E has been provided along the south boundary of the Plat. A sanitary sewer main is to be constructed along the south line of Lot 1, Block 3, and will need the full easement width provided, unless the 11' U/E on the south side of the Lot line is also provided with Phase 1.
2. Please verify the Easement shape and distances along the north boundary of Lot 1, Block 1. This easement will be accommodating the regional storm sewer draining the entire 121st St. corridor.
3. Please note that curves 1, 2, 3, 4, 5, and 7 do not provide for a full 17.5' easement width at the property corners.

Memo

To: ERIK, AICP, CITY PLANNER

From: JIM SWEEDEN

Date: 4/25/2013

Re: FINAL PLAT OF SCENIC VILLAGE PARK

FINAL PLAT OF SCENIC VILLAGE PARK IS APPROVED BY THIS OFFICE WITH THE FOLLOWING CAVEATS.

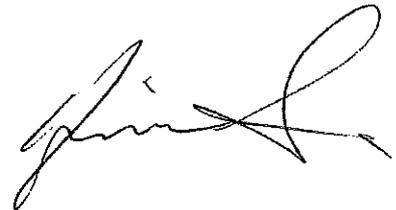
CODES: ICC-2009, ELECTRICAL 2011

ALL LOTS SHALL MAINTAIN A MINIMUM OF TWO (2) MEANS OF EXIT / EGRESS.

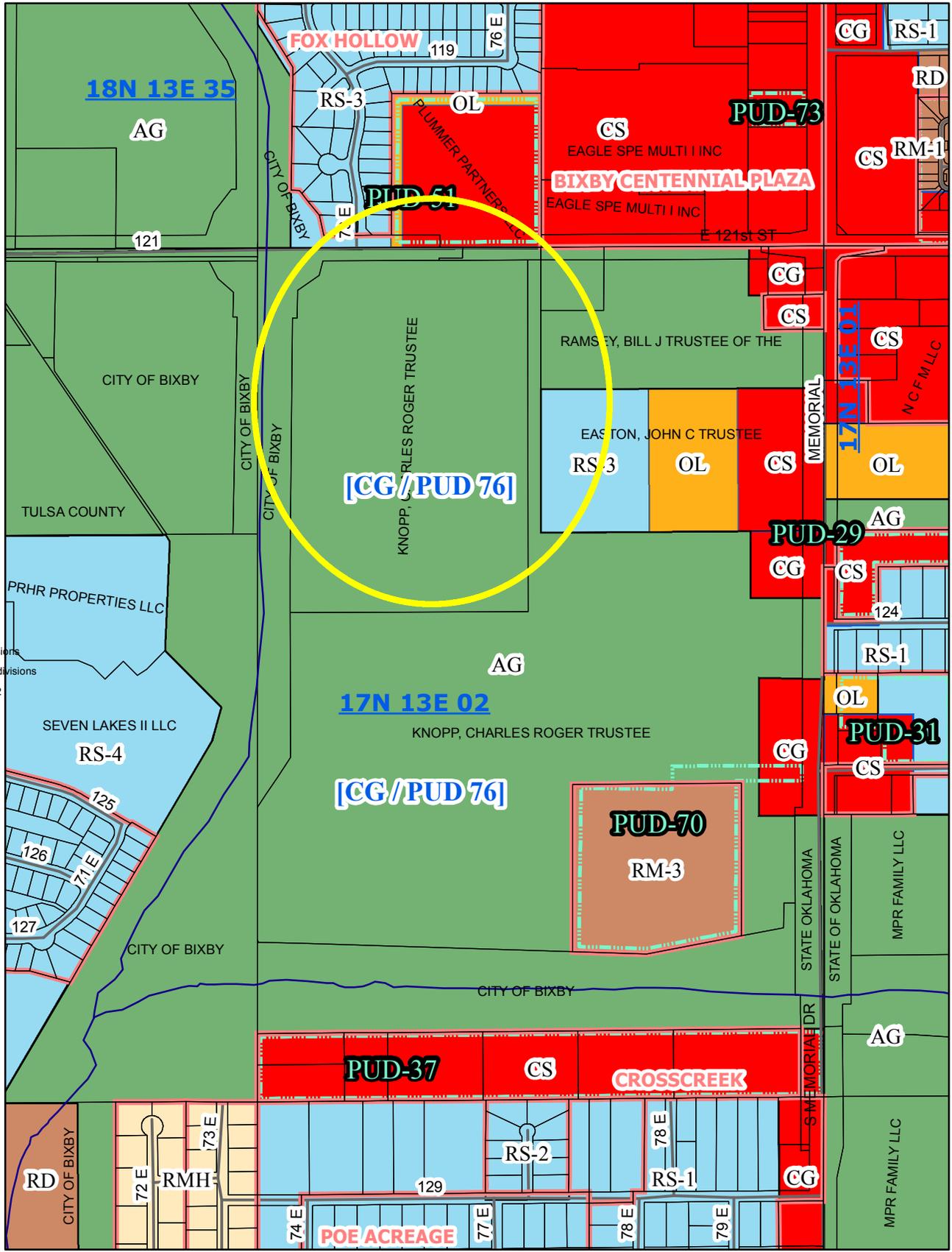
FIRE HYDRANTS SHALL BE NO FURTHER THAN 300 FEET APART. SEE CITY REQUIREMENTS ON TYPES OF HYDRANTS ALLOWED IN CITY DISTRICT.

ROADS SHALL BE ABLE TO SUPPORT THE IMPOSED LOAD OF NO LESS THAN 75,000 POUNDS.

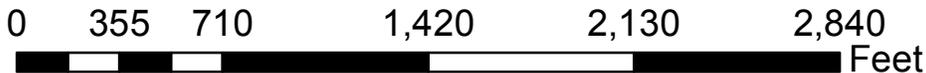
ALL ROADS AND FIRE HYDRANTS SHALL BE OPERATIONAL BEFORE BUILDING CONSTRUCTION BEGINS.

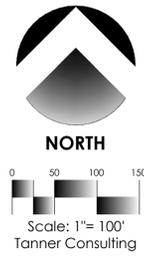


Final Plat of Scenic Village Park



- bixby_streams
 - Tulsa Parcels 01/13
 - WagParcels 01/13
 - TulsaCountySubdivisions
 - WagonerCountySubdivisions
 - WagRoads_Aug2012
 - E911Streets
 - PUD
 - <all other values>
- ZONE_TYPE**
- Agricultural
 - Commercial
 - Flood
 - Industrial
 - Office
 - Residential SF
 - Residential Multi
 - Residential Manuf.
 - <all other values>
- ZONE_TYPE**
- Agricultural
 - Commercial
 - Flood
 - Industrial
 - Office
 - Residential SF
 - Residential Multi
 - Residential Manuf.
 - bixby_s-t-r
 - county



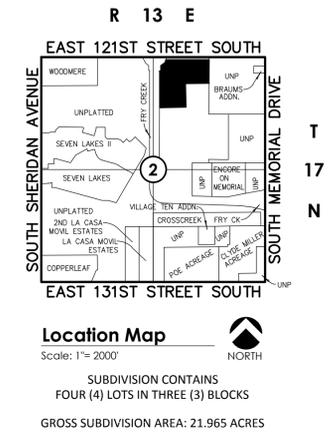


B/L = BUILDING LINE
 B/U = BUILDING LINE & UTILITY EASEMENT
 BK PG = BOOK & PAGE
 CB = CHORD BEARING
 CD = CHORD DISTANCE
 DOC = DOCUMENT
 ESMT = EASEMENT
 ODE = OVERLAND DRAINAGE EASEMENT
 POB = POINT OF BEGINNING
 POC = POINT OF COMMENCEMENT
 U/E = UTILITY EASEMENT

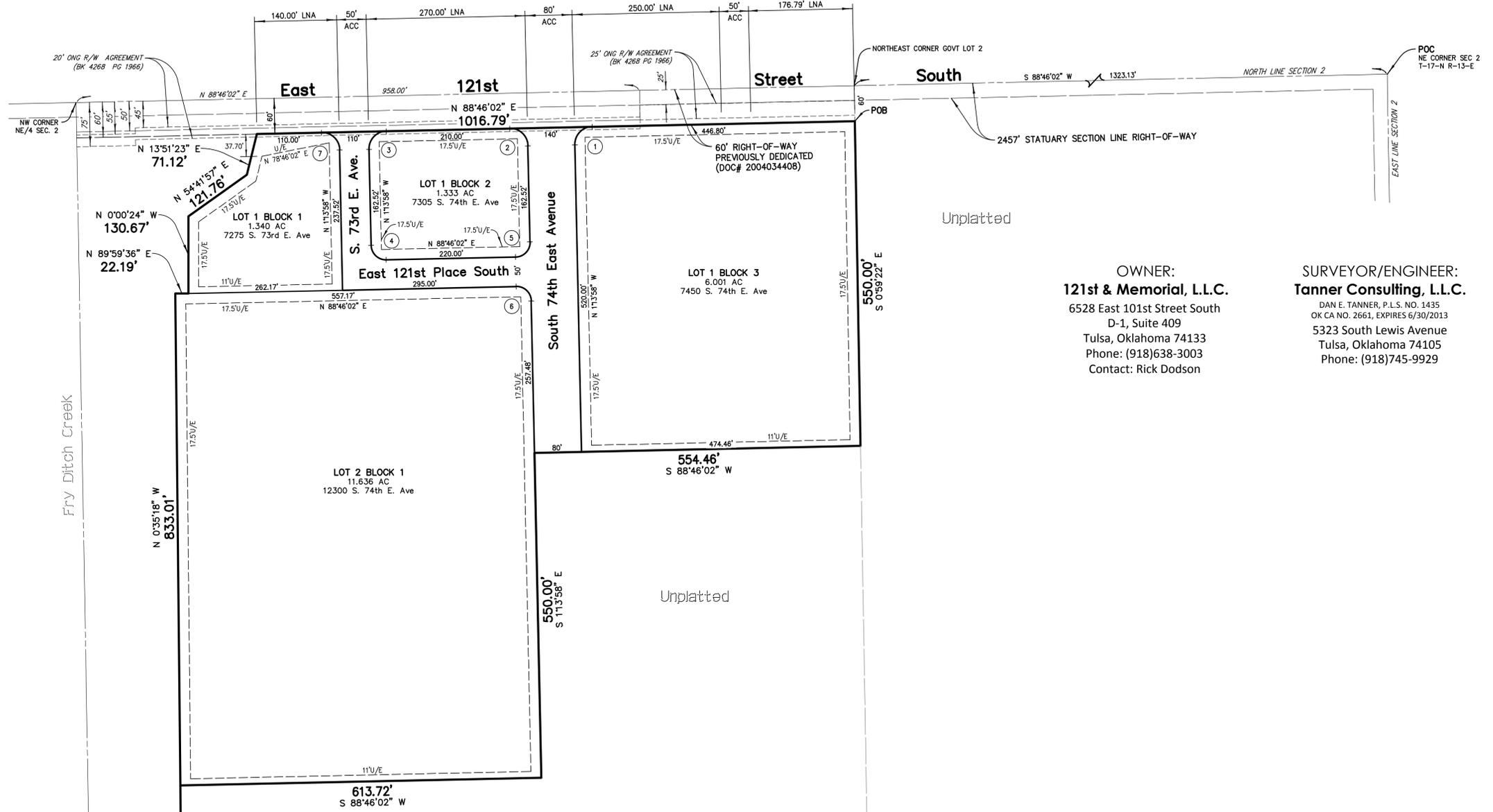
DRAFT FINAL PLAT
PUD #76

Scenic Village Park

PART OF THE EAST HALF E/2 OF SECTION TWO (2), TOWNSHIP SEVENTEEN (17) NORTH, RANGE THIRTEEN (13) EAST, OF THE INDIAN MERIDIAN
A SUBDIVISION IN THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA



CURVE	LENGTH(L)	RADIUS(R)	DELTA(V)	CB	CD
1	47.12'	30.00'	90°00'00"	N43°46'02"E	42.43'
2	47.12'	30.00'	90°00'00"	N46°13'58"W	42.43'
3	47.12'	30.00'	90°00'00"	N43°46'02"E	42.43'
4	39.27'	25.00'	90°00'00"	N46°13'58"W	35.36'
5	39.27'	25.00'	90°00'00"	N43°46'02"E	35.36'
6	39.27'	25.00'	90°00'00"	N46°13'58"W	35.36'
7	47.12'	30.00'	90°00'00"	N46°13'58"W	42.43'



Notes:

- THIS PLAT MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.
- ALL PROPERTY CORNERS ARE SET 3/8" IRON REBAR WITH YELLOW CAP STAMPED "TANNER RLS 1435" UNLESS OTHERWISE NOTED.
- THE BEARINGS SHOWN HEREON ARE BASED UPON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM, NORTH ZONE (3501), NORTH AMERICAN DATUM (NAD 83).
- ADDRESSES SHOWN ON THIS PLAT WERE ACCURATE AT THE TIME THE PLAT WAS FILED. ADDRESSES ARE SUBJECT TO CHANGE AND SHOULD NEVER BE RELIED UPON IN PLACE OF THE LEGAL DESCRIPTION.

OWNER:
121st & Memorial, L.L.C.
 6528 East 101st Street South
 D-1, Suite 409
 Tulsa, Oklahoma 74133
 Phone: (918)638-3003
 Contact: Rick Dodson

SURVEYOR/ENGINEER:
Tanner Consulting, L.L.C.
 DAN E. TANNER, P.L.S. NO. 1435
 OK CA NO. 2661, EXPIRES 6/30/2013
 5323 South Lewis Avenue
 Tulsa, Oklahoma 74105
 Phone: (918)745-9929

**DEED OF DEDICATION AND RESTRICTIVE COVENANTS
FOR SCENIC VILLAGE PARK**

KNOW ALL MEN BY THESE PRESENTS:

121st & MEMORIAL, L.L.C., AN OKLAHOMA LIMITED LIABILITY COMPANY, (HEREINAFTER THE "OWNER"), IS THE OWNER OF THE FOLLOWING-DESCRIBED REAL PROPERTY SITUATED IN THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA, TO-WIT:

A TRACT OF LAND BEING A PART OF THE EAST HALF (E/2) OF SECTION TWO (2), TOWNSHIP SEVENTEEN (17) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE UNITED STATES GOVERNMENT SURVEY THEREOF, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 2; THENCE SOUTH 88°46'02" WEST AND ALONG THE NORTH LINE OF SAID SECTION 2, FOR A DISTANCE OF 1323.13 FEET TO THE NORTHEAST CORNER OF THE GOVERNMENT LOT 2 OF SAID SECTION 2; THENCE SOUTH 0°59'22" EAST AND ALONG THE EAST LINE OF SAID LOT 2, FOR A DISTANCE OF 60.00 FEET TO THE POINT OF BEGINNING;

THENCE SOUTH 0°59'22" EAST AND CONTINUING ALONG SAID EAST LINE, FOR A DISTANCE OF 550.00 FEET TO A POINT; THENCE SOUTH 88°46'02" WEST AND PARALLEL WITH SAID NORTH LINE OF SECTION 2, FOR A DISTANCE OF 554.46 FEET TO A POINT; THENCE SOUTH 1°13'58" EAST FOR A DISTANCE OF 550.00 FEET TO A POINT; THENCE SOUTH 88°46'02" WEST AND PARALLEL WITH THE NORTH LINE, FOR A DISTANCE OF 613.72 FEET TO A POINT; THENCE NORTH 0°35'18" WEST FOR A DISTANCE OF 833.01 FEET TO A POINT; THENCE NORTH 89°59'36" EAST FOR A DISTANCE OF 22.19 FEET TO A POINT; THENCE NORTH 0°02'24" WEST FOR A DISTANCE OF 130.67 FEET TO A POINT; THENCE NORTH 54°41'57" EAST FOR A DISTANCE OF 121.76 FEET TO A POINT; THENCE NORTH 13°51'23" EAST FOR A DISTANCE OF 71.12 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY OF EAST 121ST STREET SOUTH; THENCE NORTH 88°46'02" EAST AND ALONG SAID RIGHT-OF-WAY, FOR A DISTANCE OF 1016.79 FEET TO THE POINT OF BEGINNING;

SAID TRACT CONTAINING 956,783 SQUARE FEET, OR 21.965 ACRES.

AND THE OWNER HAS CAUSED THE ABOVE-DESCRIBED LAND TO BE SURVEYED, STAKED, PLATTED, GRANTED, DONATED, CONVEYED, DEDICATED, ACCESS RIGHTS RESERVED AND SUBDIVIDED INTO FOUR (4) LOTS IN THREE (3) BLOCKS IN CONFORMITY WITH THE ACCOMPANYING PLAT AND SURVEY (HEREINAFTER THE "PLAT") AND HAS ENTITLED AND DESIGNATED THE SUBDIVISION AS "SCENIC VILLAGE PARK" A SUBDIVISION IN THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA (HEREINAFTER THE "SUBDIVISION" OR "SCENIC VILLAGE PARK").

SECTION I. EASEMENTS AND UTILITIES

A. UTILITY EASEMENTS.

THE OWNER DOES HEREBY DEDICATE FOR PUBLIC USE THE UTILITY EASEMENTS AS DEPICTED ON THE PLAT AS "UE" OR "UTILITY EASEMENT" FOR THE SEVERAL PURPOSES OF CONSTRUCTION, MAINTAINING, OPERATING, REPAIRING, REPLACING, AND/OR REMOVING ANY AND ALL PUBLIC UTILITIES, INCLUDING STORM SEWERS, SANITARY SEWERS, TELEPHONE AND COMMUNICATION LINES, ELECTRIC POWER LINES AND TRANSFORMERS, GAS LINES, WATER LINES, AND CABLE TELEVISION LINES, TOGETHER WITH ALL VALVES, METERS AND EQUIPMENT FOR EACH OF SUCH FACILITIES AND OTHER APPURTENANCES THERETO, WITH THE RIGHTS OF INGRESS AND EGRESS TO AND UPON THE UTILITY EASEMENTS FOR THE USES AND PURPOSES AFORESAID, TOGETHER WITH SIMILAR EASEMENT RIGHTS IN THE PUBLIC STREETS, PROVIDED HOWEVER, THAT THE OWNER HEREBY RESERVES THE RIGHT TO CONSTRUCT AND MAINTAIN WATER LINES AND SEWER LINES WITHIN THE UTILITY EASEMENTS FOR THE PURPOSE OF FURNISHING WATER AND/OR SEWER SERVICE TO AREAS WITHIN OR OUTSIDE THE PLAT AND THE OWNER FURTHER RESERVES THE RIGHT TO CONSTRUCT AND MAINTAIN WITHIN THE UTILITY EASEMENTS PROPERLY PERMITTED PARKING AREAS, LANDSCAPING, SCREENING FENCES AND WALLS AND OTHER NONOBSTRUCTING IMPROVEMENTS.

B. WATER SANITARY SEWER AND STORM SEWER SERVICE.

1. THE OWNER OF THE LOT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PUBLIC WATER, SANITARY SEWER MAINS AND STORM SEWER MAINS LOCATED ON THE LOT.

2. WITHIN THE DEPICTED UTILITY EASEMENT AREAS, THE ALTERATION OF GRADE IN EXCESS OF 3 FEET FROM THE CONTOURS EXISTING UPON THE COMPLETION OF A PUBLIC WATER MAIN, SANITARY SEWER MAIN OR STORM SEWER MAIN, OR ANY CONSTRUCTION ACTIVITY WHICH MAY INTERFERE WITH PUBLIC WATER, SANITARY SEWER MAIN OR STORM SEWER MAINS, SHALL BE PROHIBITED. WITHIN THE UTILITY EASEMENTS, IF THE GROUND ELEVATIONS ARE ALTERED FROM THE CONTOURS EXISTING UPON THE COMPLETION OF THE INSTALLATION OF A PUBLIC WATER, SANITARY SEWER MAIN OR STORM SEWER MAIN, ALL GROUND LEVEL APPURTENANCES, INCLUDING VALVE BOXES, FIRE HYDRANTS AND MANHOLES SHALL BE ADJUSTED TO THE ALTERED GROUND ELEVATIONS BY THE OWNER OF THE LOT OR AT ITS ELECTION, THE CITY OF BIXBY, OKLAHOMA MAY MAKE SUCH ADJUSTMENT AT THE LOT OWNER'S EXPENSE.

3. THE CITY OF BIXBY OR ITS SUCCESSORS SHALL BE RESPONSIBLE FOR ORDINARY MAINTENANCE OF PUBLIC WATER, SANITARY SEWER MAIN AND STORM SEWER MAINS, BUT THE OWNER SHALL PAY FOR DAMAGE OR RELOCATION OF SUCH FACILITIES CAUSED OR NECESSITATED BY ACTS OF THE OWNER, HIS AGENTS OR CONTRACTORS.

4. THE CITY OF BIXBY OR ITS SUCCESSORS SHALL AT ALL TIMES HAVE RIGHT OF ACCESS WITH THEIR EQUIPMENT TO ALL EASEMENT WAYS DEPICTED ON THE PLAT OR OTHERWISE PROVIDED FOR IN THIS DEED OF DEDICATION FOR THE PURPOSE OF INSTALLING, MAINTAINING, REMOVING OR REPLACING ANY PORTION OF UNDERGROUND WATER, SANITARY SEWER OR STORM SEWER FACILITIES.

5. THE FOREGOING COVENANTS SET FORTH IN THIS SUBSECTION B SHALL BE ENFORCEABLE BY THE CITY OF BIXBY OR ITS SUCCESSORS AND THE OWNER OF THE LOT AGREES TO BE BOUND HEREBY.

C. UNDERGROUND SERVICE.

1. OVERHEAD LINES FOR THE SUPPLY OF ELECTRIC, TELEPHONE AND CABLE TELEVISION SERVICES MAY BE LOCATED WITHIN THE PUBLIC STREET RIGHT-OF-WAY ALONG EAST 121ST STREET SOUTH. STREET LIGHT POLES OR STANDARDS MAY BE SERVED BY UNDERGROUND CABLE THROUGHOUT THE SUBDIVISION. ALL SUPPLY LINES INCLUDING ELECTRIC, TELEPHONE, CABLE TELEVISION AND GAS LINES SHALL BE LOCATED UNDERGROUND IN THE EASEMENT WAYS DEDICATED FOR GENERAL UTILITY SERVICES AND IN THE RIGHTS-OF-WAY OF THE PUBLIC STREETS AS DEPICTED ON THE ACCOMPANYING PLAT. SERVICE PEDESTALS AND TRANSFORMERS, AS SOURCES OF SUPPLY AT SECONDARY VOLTAGES, MAY ALSO BE LOCATED IN THE EASEMENT WAYS.

2. UNDERGROUND SERVICE CABLES AND GAS SERVICE LINES TO ALL STRUCTURES WHICH MAY BE LOCATED WITHIN THE SUBDIVISION MAY BE RUN FROM THE NEAREST GAS MAIN, SERVICE PEDESTAL OR TRANSFORMER TO THE POINT OF USAGE DETERMINED BY THE LOCATION AND CONSTRUCTION OF SUCH STRUCTURE AS MAY BE LOCATED ON THE LOT. PROVIDED THAT UPON THE INSTALLATION OF A SERVICE CABLE OR GAS SERVICE LINE TO A PARTICULAR STRUCTURE, THE SUPPLIER OF SERVICE SHALL THEREAFTER BE DEEMED TO HAVE A DEFINITIVE, PERMANENT, EFFECTIVE AND NON-EXCLUSIVE RIGHT-OF-WAY EASEMENT ON THE LOT, COVERING A 5 FOOT STRIP EXTENDING 2.5 FEET ON EACH SIDE OF THE SERVICE CABLE OR LINE EXTENDING FROM THE GAS MAIN, SERVICE PEDESTAL OR TRANSFORMER TO THE SERVICE ENTRANCE ON THE STRUCTURE.

3. THE SUPPLIER OF ELECTRIC, TELEPHONE, CABLE TELEVISION AND GAS SERVICES, THROUGH ITS AGENTS AND EMPLOYEES, SHALL AT ALL TIMES HAVE THE RIGHT OF ACCESS TO ALL EASEMENT WAYS SHOWN ON THE PLAT OR OTHERWISE PROVIDED FOR IN THIS DEED OF DEDICATION FOR THE PURPOSE OF INSTALLING, MAINTAINING, REMOVING OR REPLACING ANY PORTION OF THE UNDERGROUND ELECTRIC, TELEPHONE, CABLE TELEVISION OR GAS FACILITIES INSTALLED BY THE SUPPLIER OF THE UTILITY SERVICE.

4. THE OWNER OF THE LOT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE UNDERGROUND SERVICE FACILITIES LOCATED ON HIS LOT AND SHALL PREVENT THE ALTERATION OF GRADE OR ANY CONSTRUCTION ACTIVITY WHICH WOULD INTERFERE WITH THE ELECTRIC, TELEPHONE, CABLE TELEVISION OR GAS FACILITIES, EACH SUPPLIER OF SERVICE SHALL BE RESPONSIBLE FOR ORDINARY MAINTENANCE OF UNDERGROUND FACILITIES, BUT THE OWNER SHALL PAY FOR DAMAGE OR RELOCATION OF SUCH FACILITIES CAUSED OR NECESSITATED BY ACTS OF THE OWNER OR HIS AGENTS OR CONTRACTORS.

**DRAFT FINAL PLAT
PUD #76**

Scenic Village Park

PART OF THE EAST HALF E/2 OF SECTION TWO (2), TOWNSHIP SEVENTEEN (17) NORTH, RANGE THIRTEEN (13) EAST, OF THE INDIAN MERIDIAN
A SUBDIVISION IN THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA

5. THE FOREGOING COVENANTS SET FORTH IN THIS PARAGRAPH C SHALL BE ENFORCEABLE BY EACH SUPPLIER OF THE ELECTRIC, TELEPHONE, CABLE TELEVISION OR GAS SERVICE AND THE OWNER OF THE LOT AGREES TO BE BOUND HEREBY.

D. PAVING AND LANDSCAPING WITHIN EASEMENTS.

THE OWNER OF THE LOT SHALL BE RESPONSIBLE FOR REPAIR OF DAMAGE TO THE PROPERLY PERMITTED LANDSCAPING AND PAVING OCCASIONED BY THE NECESSARY INSTALLATION OF OR MAINTENANCE TO THE UNDERGROUND WATER, SEWER, STORM WATER, GAS, COMMUNICATION, CABLE TELEVISION, OR ELECTRIC FACILITIES WITHIN THE EASEMENTS DEPICTED ON THE ACCOMPANYING PLAT, PROVIDED HOWEVER, THAT THE CITY OF BIXBY, OR THE SUPPLIER OF THE UTILITY SERVICE SHALL USE REASONABLE CARE IN THE PERFORMANCE OF SUCH ACTIVITIES.

E. RIGHTS OF INGRESS AND EGRESS.

THE OWNER HEREBY RELINQUISHES RIGHTS OF INGRESS AND EGRESS TO AND FROM THE ABOVE-DESCRIBED PROPERTY TO AND FROM EAST 121ST STREET SOUTH WITHIN THE BOUNDS DESIGNATED AS "LIMITS OF NO ACCESS" OR "L.N.A." ON THE PLAT, EXCEPT AS MAY HEREAFTER BE RELEASED, ALTERED OR AMENDED BY THE CITY OF BIXBY, OKLAHOMA OR ITS SUCCESSORS, OR AS IS OTHERWISE PROVIDED BY THE STATUTES OR LAWS OF THE STATE OF OKLAHOMA PERTAINING THERETO.

SECTION II. PLANNED UNIT DEVELOPMENT

WHEREAS, SCENIC VILLAGE PARK WAS SUBMITTED AS A PLANNED UNIT DEVELOPMENT (DESIGNATED AS PUD NO. 76) AS PROVIDED WITHIN TITLE 11 OF THE BIXBY, OKLAHOMA CITY CODE (BIXBY ZONING CODE), AND

WHEREAS PUD NO. 76 WAS AFFIRMATIVELY RECOMMENDED BY THE CITY OF BIXBY PLANNING COMMISSION ON FEBRUARY 27, 2013, AND APPROVED BY THE BIXBY CITY COUNCIL ON MARCH 26, 2013, AND

WHEREAS, THE PLANNED UNIT DEVELOPMENT PROVISIONS OF THE BIXBY ZONING CODE REQUIRE THE ESTABLISHMENT OF COVENANTS OF RECORD INURING TO AND ENFORCEABLE BY THE CITY OF BIXBY, SUFFICIENT TO ASSURE THE IMPLEMENTATION AND CONTINUED COMPLIANCE WITH THE APPROVED PLANNED UNIT DEVELOPMENT AND ANY AMENDMENTS THERETO, AND

WHEREAS, THE OWNER DESIRES TO ESTABLISH RESTRICTIONS FOR THE PURPOSE OF PROVIDING FOR AN ORDERLY DEVELOPMENT AND TO INSURE ADEQUATE RESTRICTIONS FOR THE MUTUAL BENEFIT OF THE OWNER, ITS SUCCESSORS AND ASSIGNS, AND THE CITY OF BIXBY, OKLAHOMA.

THEREFORE, THE OWNER DOES HEREBY IMPOSE THE FOLLOWING RESTRICTIONS AND COVENANTS WHICH SHALL BE COVENANTS RUNNING WITH THE LAND AND SHALL BE BINDING UPON THE OWNER, ITS SUCCESSORS AND ASSIGNS, AND SHALL BE ENFORCEABLE AS HEREAFTER SET FORTH.

A. DEVELOPMENT STANDARDS

DEVELOPMENT AREA 'A' (LOT 1, BLOCK 1 & LOT 1, BLOCK 2)

GROSS LAND AREA: 4.037 AC

NET LAND AREA: 2.673 AC

PERMITTED USES: USES PERMITTED AS A MATTER OF RIGHT IN THE CS DISTRICT, AND CUSTOMARY ACCESSORY USES, PROVIDED HOWEVER, USES WITHIN USE UNIT 19 HOTEL, MOTEL AND RECREATION FACILITIES ARE EXCLUDED.

MAXIMUM FLOOR AREA RATIO: 0.50

MAXIMUM BUILDING HEIGHT: 35 FT.

MAXIMUM STORIES: 2

MINIMUM SETBACKS:
FROM NON-ARTERIAL STREET RIGHT-OF-WAY: 20 FT.
FROM ARTERIAL STREET RIGHT-OF-WAY: 20 FT.
FROM RESIDENTIAL DEVELOPMENT AREAS: 20 FT.
FROM OTHER BOUNDARIES: 11 FT.

MINIMUM LANDSCAPING: 15% OF NET LOT AREA

MINIMUM OFF-STREET PARKING: AS REQUIRED WITHIN THE APPLICABLE USE UNIT.

BUILDING DESIGN REQUIREMENTS: EXTERIOR BUILDING WALLS SHALL HAVE A MINIMUM MASONRY FINISH OF NOT LESS THAN 25% EXCLUDING WINDOWS AND DOORS.

OTHER BULK AND AREA REQUIREMENTS: AS REQUIRED WITHIN A CS DISTRICT.

DEVELOPMENT AREA 'B' (LOT 2, BLOCK 1)

GROSS LAND AREA: 12.611 AC

NET LAND AREA: 11.636 AC

PERMITTED USES: LIFE CARE RETIREMENT CENTER AS SET FORTH WITHIN USE UNIT 8. MULTIFAMILY DWELLING AND SIMILAR USES AND CUSTOMARY ACCESSORY USES.

MAXIMUM INDEPENDENT LIVING DWELLING UNITS: 91 DUS

MAXIMUM ASSISTED LIVING DWELLING UNITS: 39 DUS

SKILLED NURSING BEDS: 41 BEDS

MAXIMUM FLOOR AREA: 160,000 SF

MAXIMUM STORIES: 2*

*ARCHITECTURAL FEATURES MAY EXTEND A MAXIMUM OF 25' ABOVE THE SECOND STORY.

MINIMUM YARDS AND BUILDING SETBACKS:
FROM MINOR STREET RIGHT-OF-WAY: 20 FT.
FROM COLLECTOR STREET RIGHT-OF-WAY: 25 FT.
FROM OTHER BOUNDARIES: 17.5 FT.

MINIMUM LIVABILITY SPACE PER DWELLING UNIT:
[OPEN SPACE NOT ALLOCATED TO PARKING OR DRIVES] 440 SF

**MINIMUM OFF-STREET PARKING:
INDEPENDENT LIVING DWELLING UNITS 0.75 SPACES PER DU
ASSISTED LIVING DWELLING UNITS 0.50 SPACES PER DU
SKILLED NURSING BEDS 0.35 SPACES PER BED
OTHER BULK AND AREA REQUIREMENTS: AS REQUIRED WITHIN A RM-2 DISTRICT.

DEVELOPMENT AREA 'E' (LOT 1, BLOCK 3)

GROSS LAND AREA: 7.222 AC

NET LAND AREA: 6.001 AC

PERMITTED USES: USES PERMITTED AS A MATTER OF RIGHT IN THE CS ZONING DISTRICT, AND CUSTOMARY ACCESSORY USE.

MAXIMUM FLOOR AREA RATIO: 0.50

MAXIMUM BUILDING HEIGHT: 40 FT.

MINIMUM BUILDING SETBACK:
FROM ARTERIAL STREET RIGHT-OF-WAY: 50 FT.
FROM NON-ARTERIAL STREET RIGHT-OF-WAY: 25 FT.
FROM RESIDENTIAL DEVELOPMENT AREAS: 50 FT.
FROM OTHER EXTERIOR BOUNDARIES: 20 FT.

MINIMUM LANDSCAPING: 10% OF NET LOT AREA

MINIMUM OFF-STREET PARKING: AS REQUIRED WITHIN THE APPLICABLE USE UNIT.

MASONRY REQUIREMENTS: AN EXTERIOR BUILDING WALL FRONTING 121ST STREET SHALL HAVE A MASONRY FINISH OF NOT LESS THAN 25% EXCLUDING WINDOWS AND DOORS.

OTHER BULK AND AREA REQUIREMENTS: AS REQUIRED WITHIN A CS DISTRICT.

B. GENERAL PROVISIONS

1. RESTRICTED USES
ALL USES CLASSIFIED AS "SEXUALLY ORIENTED" WITHIN THE CITY OF BIXBY ZONING CODE (SECTION 11-7D-6) ARE HEREBY EXCLUDED FROM ANY DEVELOPMENT AREA WITHIN PUD 76.

2. LANDSCAPING AND SCREENING
LANDSCAPING SHALL MEET THE REQUIREMENTS OF THE BIXBY ZONING CODE, EXCEPT AS HEREAFTER MODIFIED. IN ADDITION TO THE REQUIREMENTS OF THE ZONING CODE, PERIMETER LANDSCAPING SHALL INCLUDE PLANT MATERIALS DESIGNED TO ACHIEVE AN ATTRACTIVE STREET VIEW, A SCREENING FENCE NOT LESS THAN 6 FEET IN HEIGHT AND A LANDSCAPED AREA OF NOT LESS THAN 10 FEET IN WIDTH SHALL BE MAINTAINED ALONG THE BOUNDARIES OF COMMERCIAL AREAS ADJOINING RESIDENTIAL DEVELOPMENT.

3. LIGHTING
EXTERIOR LIGHTING SHALL BE LIMITED TO SHIELDED FIXTURES DESIGNED TO DIRECT LIGHT DOWNWARD. LIGHTING SHALL BE DESIGNED SO THAT THE LIGHT PRODUCING ELEMENT OF THE SHIELDED FIXTURE SHALL NOT BE VISIBLE TO A PERSON STANDING WITHIN AN ADJACENT RESIDENTIAL DISTRICT OR RESIDENTIAL DEVELOPMENT AREA.

4. ACCESS AND CIRCULATION
THE PRINCIPAL ACCESS IS TO BE DERIVED FROM EAST 121ST SOUTH AND SOUTH MEMORIAL ROAD AND AN INTERIOR COLLECTOR STREET THAT CONNECTS TO THE TWO ARTERIAL STREETS. INTERIOR PUBLIC AND/OR PRIVATE MINOR STREET SYSTEMS AND MUTUAL ACCESS EASEMENTS WILL BE ESTABLISHED AS NEEDED. NEW PUBLIC STREET CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE GEOMETRIC STREET STANDARDS OF THE CITY OF BIXBY.

SIDEWALKS ALONG THE INTERIOR STREETS SHALL BE CONSTRUCTED BY THE DEVELOPER IN ACCORDANCE WITH THE BIXBY SUBDIVISION REGULATIONS INCLUDING A MINIMUM WIDTH OF FOUR FEET AND ADA COMPLIANCE.

5. SIGNS
SIGNS SHALL COMPLY WITH THE APPLICABLE PROVISIONS OF THE BIXBY ZONING CODE, PROVIDED HOWEVER, PRIOR TO INSTALLATION; A DETAILED SIGN PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE BIXBY PLANNING COMMISSION. A SIGNS IDENTIFYING AN INTERIOR PROPERTY MAY BE LOCATED OFF SITE WITHIN A PARCEL LOCATED WITHIN SCENIC VILLAGE PARK, BUT SHALL REQUIRE A DETAILED SIGN PLAN SUBMITTED TO AN APPROVED BY THE BIXBY PLANNING COMMISSION.

6. UTILITIES AND DRAINAGE
UTILITIES ARE AT THE SITE OR ACCESSIBLE BY CUSTOMARY EXTENSION. FEE-IN-LIEU OF STORM WATER DETENTION FACILITIES WILL BE PROVIDED.

7. PARCELIZATION
AFTER INITIAL PLATTING SETTING FORTH PERMITTED USES AND THE ALLOCATION OF COMMERCIAL FLOOR AREA OR RESIDENTIAL DENSITY, DIVISION OF PLATTED LOTS MAY OCCUR BY APPROVED LOT SPLIT APPLICATION AND SUBJECT TO THE APPROVAL BY THE BIXBY PLANNING COMMISSION OF PROPOSED FLOOR AREA OR RESIDENTIAL DENSITY ALLOCATIONS AND CONFIRMATION OF THE EXISTENCE OF ANY NECESSARY CROSS PARKING AND MUTUAL ACCESS EASEMENTS.

8. TRANSFER OF ALLOCATED FLOOR AREA
ALLOCATED COMMERCIAL OR RESIDENTIAL DENSITY MAY BE TRANSFERRED TO ANOTHER LOT OR LOTS BY WRITTEN INSTRUMENT EXECUTED BY THE OWNER OF THE LOT FROM WHICH THE FLOOR AREA OR RESIDENTIAL DENSITY IS TO BE ALLOCATED. PROVIDED HOWEVER, THE ALLOCATION SHALL NOT EXCEED 15% OF THE INITIAL ALLOCATION TO THE LOT TO WHICH THE TRANSFER OF FLOOR AREA OR RESIDENTIAL DENSITY IS TO BE MADE. ALLOCATION EXCEEDING 15% SHALL REQUIRE AN APPLICATION FOR MINOR AMENDMENT TO BE REVIEWED AND APPROVED BY THE BIXBY PLANNING COMMISSION.

9. SITE PLAN REVIEW
DEVELOPMENT AREAS MAY BE DEVELOPED IN PHASES AND NO BUILDING PERMIT SHALL ISSUE UNTIL A DETAILED SITE PLAN (INCLUDING LANDSCAPING) OF THE PROPOSED IMPROVEMENTS HAS BEEN SUBMITTED TO THE BIXBY PLANNING COMMISSION AND APPROVED AS BEING IN COMPLIANCE WITH THE DEVELOPMENT CONCEPT AND THE DEVELOPMENT STANDARDS. NO CERTIFICATE OF OCCUPANCY SHALL ISSUE FOR A BUILDING UNTIL THE LANDSCAPING OF THE APPLICABLE PHASE OF DEVELOPMENT HAS BEEN INSTALLED IN ACCORDANCE WITH A LANDSCAPING PLAN AND PHASING SCHEDULE SUBMITTED TO AND APPROVED BY THE BIXBY PLANNING COMMISSION.

10. PLATTING REQUIREMENT
DEVELOPMENT AREAS MAY BE DEVELOPED IN PHASES, AND NO BUILDING PERMIT SHALL ISSUE UNTIL THE DEVELOPMENT PHASE FOR WHICH A PERMIT IS SOUGHT HAS BEEN INCLUDED WITHIN A SUBDIVISION PLAT SUBMITTED TO AND APPROVED BY THE BIXBY PLANNING COMMISSION AND THE COUNCIL OF THE CITY OF BIXBY, AND DULY FILED OF RECORD. THE REQUIRED SUBDIVISION PLAT SHALL INCLUDE COVENANTS OF RECORD IMPLEMENTING THE DEVELOPMENT STANDARDS OF THE APPROVED PLANNED UNIT DEVELOPMENT AND THE CITY OF BIXBY SHALL BE A BENEFICIARY THEREOF.

SECTION III. ENFORCEMENT, DURATION, AMENDMENT AND SEVERABILITY

A. ENFORCEMENT.

THE RESTRICTIONS HEREIN SET FORTH ARE COVENANTS TO RUN WITH THE LAND AND SHALL BE BINDING UPON THE OWNER, ITS SUCCESSORS AND ASSIGNS. WITHIN THE PROVISIONS OF SECTION I, EASEMENTS AND UTILITIES ARE SET FORTH CERTAIN COVENANTS AND THE ENFORCEMENT RIGHTS PERTAINING THERETO, AND ADDITIONALLY THE COVENANTS WITHIN SECTION I WHETHER OR NOT SPECIFICALLY THEREIN SO STATED SHALL INURE TO THE BENEFIT OF AND SHALL BE ENFORCEABLE BY THE CITY OF BIXBY, OKLAHOMA.

B. DURATION.

THESE RESTRICTIONS, TO THE EXTENT PERMITTED BY APPLICABLE LAW, SHALL BE PERPETUAL BUT IN ANY EVENT SHALL BE IN FORCE AND EFFECT FOR A TERM OF NOT LESS THAN THIRTY (30) YEARS FROM THE DATE OF THE RECORDING OF THIS DEED OF DEDICATION UNLESS TERMINATED OR AMENDED AS HEREAFTER PROVIDED.

C. AMENDMENT.

THE COVENANTS CONTAINED WITHIN SECTION I, EASEMENTS AND UTILITIES MAY BE AMENDED OR TERMINATED AT ANY TIME BY A WRITTEN INSTRUMENT SIGNED AND ACKNOWLEDGED BY THE OWNER OF THE LAND TO WHICH THE AMENDMENT OR TERMINATION IS TO BE APPLICABLE AND APPROVED BY THE BIXBY PLANNING COMMISSION, OR ITS SUCCESSORS AND THE CITY OF BIXBY, OKLAHOMA. THE COVENANTS CONTAINED IN SECTION II, PLANNED UNIT DEVELOPMENT MAY BE AMENDED OR TERMINATED AT ANY TIME BY A WRITTEN INSTRUMENT SIGNED AND ACKNOWLEDGED BY THE OWNER OF THE LAND TO WHICH THE AMENDMENT OR TERMINATION IS TO BE APPLICABLE AND APPROVED BY THE BIXBY PLANNING COMMISSION OR ITS SUCCESSORS. NOTWITHSTANDING THE FOREGOING, THE RESTRICTIONS AND COVENANTS WITHIN SECTION II SHALL BE DEEMED AMENDED (WITHOUT NECESSITY OF EXECUTION OF AN AMENDING DOCUMENT) TO CONFORM TO AMENDMENTS TO BULK AND AREA REQUIREMENTS THAT MAY BE SUBSEQUENTLY APPROVED BY THE BIXBY PLANNING COMMISSION, OR ITS SUCCESSORS, PURSUANT TO ITS REVIEW OF A MINOR AMENDMENT PROCESSED IN ACCORDANCE WITH THE PROVISIONS OF THE BIXBY ZONING CODE AND A FILING OF A CERTIFIED COPY OF THE MINUTES OF THE BIXBY PLANNING COMMISSION, OR ITS SUCCESSORS, WITH THE TULSA COUNTY CLERK. THE PROVISIONS OF ANY INSTRUMENT AMENDING OR TERMINATING COVENANTS AS ABOVE SET FORTH SHALL BE EFFECTIVE FROM AND AFTER THE DATE IT IS PROPERLY RECORDED.

D. SEVERABILITY.

INVALIDATION OF ANY RESTRICTION SET FORTH HEREIN, OR ANY PART THEREOF, BY AN ORDER, JUDGMENT, OR DECREE OF ANY COURT, OR OTHERWISE, SHALL NOT INVALIDATE OR AFFECT ANY OF THE OTHER RESTRICTIONS OR ANY PART THEREOF AS SET FORTH HEREIN, WHICH SHALL REMAIN IN FULL FORCE AND EFFECT.

IN WITNESS WHEREOF, THE UNDERSIGNED OWNER, HAS EXECUTED THIS INSTRUMENT THIS ____ DAY OF _____ 2013.

121ST & MEMORIAL, L.L.C., AN OKLAHOMA LIMITED LIABILITY COMPANY

BY: _____
RICHARD DODSON, MANAGER

STATE OF OKLAHOMA)
) SS.
COUNTY OF TULSA)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2013, BY RICHARD DODSON, MANAGER OF 121ST & MEMORIAL, L.L.C.

MY COMMISSION EXPIRES _____ NOTARY

CERTIFICATE OF SURVEY

I, DAN E. TANNER, A REGISTERED PROFESSIONAL LAND SURVEYOR, IN THE STATE OF OKLAHOMA, DO HEREBY CERTIFY THAT I HAVE CAREFULLY AND ACCURATELY SURVEYED, SUBDIVIDED, AND PLATTED THE TRACT OF LAND DESCRIBED ABOVE, AND THAT THE ACCOMPANYING PLAT DESIGNATED HEREIN AS "SCENIC VILLAGE PARK", A SUBDIVISION IN THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA, IS A TRUE REPRESENTATION OF THE SURVEY MADE ON THE GROUND USING GENERALLY ACCEPTED PRACTICES AND MEETS OR EXCEEDS THE OKLAHOMA MINIMUM TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING.

DAN E. TANNER
REGISTERED PROFESSIONAL LAND SURVEYOR
OKLAHOMA NO. 1435

STATE OF OKLAHOMA)
) SS.
COUNTY OF TULSA)



BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON _____ DAY OF _____, 2013, PERSONALLY APPEARED TO ME DAN E. TANNER KNOWN TO BE THE IDENTICAL PERSON WHO SUBSCRIBED HIS NAME AS REGISTERED LAND SURVEYOR TO THE FOREGOING CERTIFICATE, AS HIS FREE AND VOLUNTARY ACT AND DEED, FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL THE DAY AND YEAR LAST ABOVE WRITTEN.

MY COMMISSION EXPIRES _____ NOTARY

DATE OF PREPARATION: APRIL 22, 2013



CITY OF BIXBY
P.O. Box 70
116 W. Needles Ave.
Bixby, OK 74008
(918) 366-4430
(918) 366-6373 (fax)

STAFF REPORT

To: Bixby Planning Commission
From: Erik Enyart, AICP, City Planner *EE*
Date: Monday, May 13, 2013
RE: Report and Recommendations for:
BSP 2013-02 – “Panda Express” – Bannister Engineering, LLC (PUD 67)

LOCATION: – 10535 S. Memorial Dr.
– Part of the NW/4 SW/4 of Section 25, T18N, R13E

SIZE: 48,352 square feet; 1.11 acres, more or less

EXISTING ZONING: CS Commercial Shopping Center District

SUPPLEMENTAL ZONING: – PUD 67 for “SourceOne Carwash Company”
– Corridor Appearance District

DEVELOPMENT TYPE: Approval of Detailed Site Plan including as elements: (1) Detailed Site Plan, (2) Detailed Landscape Plan, and (3) Detailed Lighting Plan, (4) Detailed Sign Plan, and (5) building plans and profile view / elevations pursuant to PUD 67 for a Use Unit 12 restaurant development

SURROUNDING ZONING AND LAND USE:

North: CS & PUD 40; The *Applebee's* restaurant, the *Hampton Inn & Suites* hotel, and a commercial strip shopping center, all in *Regal Plaza*.

South: CS; The *Home Hardware* / *Builder's Center* / *JWI Supply* / *CWC Interiors* hardware, interiors, and supply store in the *Grigsby's Carpet Center* subdivision.

East: RS-3; Residential in *South Country Estates*.

West: (Across Memorial Dr.) CS/PUD 619 and CS/PUD 370; The *First Priority Bank*, the *Avalon Park* commercial/office development, and the *Life Time Fitness* and other

businesses being developed in *Memorial Commons* and/or “The Vinyards on Memorial,” all in the City of Tulsa.

COMPREHENSIVE PLAN: Medium Intensity + Commercial Area

PREVIOUS/RELATED CASES: (Not a complete list and does not include TMAPC-jurisdiction areas)

BBOA-283 – L.C. Neel – Request for Special Exception for a Use Unit 17 used car sales lot – Approved by BOA 08/01/1994.

PUD 67 – SourceOne Carwash Company – Crafton Tull Sparks – Request for PUD approval for subject property – PC Recommended Conditional Approval 12/15/2008 and City Council Conditionally Approved 01/28/2009 (Ord. # 2008 [1008]).

Preliminary Plat of Legend’s Carwash – Request for Final Plat approval for the “Legend’s Carwash” subject property – PC Recommended Conditional Approval 12/15/2008 and City Council Conditionally Approved 01/05/2009.

Final Plat of “Legend’s Carwash” / “Boomerang Carwash” – Request for Final Plat approval for “Legend’s Carwash” for the subject property – PC Recommended Conditional Approval 03/16/2009 and City Council Conditionally Approved 03/23/2009. Approval expired 03/23/2010 per Subdivision Regulations / City Code Section 12-2-6.F. By memo dated 04/14/2010, Developer requested City Council re-approve the Final Plat, to be renamed “Boomerang Carwash.” City Council re-approved Final Plat 04/26/2010. Final Plat approval expired 04/26/2011 per Subdivision Regulations / City Code Section 12-2-6.F.

BSP 2009-02 & AC-09-02-02 – “Legend’s Carwash” – Crafton Tull Sparks – Request for Detailed Site Plan approval for a carwash and retail development as required by PUD 67 – Conditionally Approved by the Planning Commission and Architectural Committee 02/17/2009.

BSP 2010-02 / AC-10-06-01 – Boomerang Carwash – The McLain Group, LLC (PUD 67) – Request for Detailed Site Plan approval for a carwash and retail development as required by PUD 67 – PC Conditionally Approved 06/21/2010.

BACKGROUND INFORMATION:

The subject property was previously a small used car sales lot, previously operated by *Nelson Mazda*, occupying the front/west approximately 120’. It was previously Conditionally Approved for a Use Unit 17 “Legend’s Carwash” / “Boomerang Carwash” development, including PUD 67, Preliminary and Final Plats, and PUD Detailed Site Plans. However, that proposal was not ultimately developed. The current application is to develop a Use Unit 12 *Panda Express* restaurant. PUD 67 allows the proposed use.

ANALYSIS:

Subject Property Conditions. The subject property moderately slopes downward to the south and east, in the watershed that drains to the Oliphant Drainage and Detention system (an upstream portion of Fry Creek # 1). It is presently vacant and zoned CS with PUD 67. It is bordered on the north by a private drive separating it from the *Applebee’s* restaurant and the *Hampton Inn & Suites* hotel in *Regal Plaza*, on the south by the existing or former *Home*

126

Hardware / Builder's Center / JWI Supply / CWC Interiors hardware, interiors, and supply store in the *Grigsby's Carpet Center* subdivision, on the east by residential in *South Country Estates*, and on the west by Memorial Dr.

General. The submitted plan-view Site Plan drawing consists of "Site Plan" drawing by Bannister Engineering, LLC. Per the "Site Plan," the building will have 2,210 square feet of floor area. Based on building "Exterior Color Elevations" drawings A-200 and A-201, the building's flat roof will not exceed 20' 3" in overall height, and the parapet wall and other architectural features will not exceed 22' in overall height.

The Site Plan represents a conventional, suburban-style design and indicates the proposed internal automobile traffic and pedestrian flow and circulation and parking. The subject property lot conforms to PUD 67 and, per the plans generally, the 1-story building would conform to the applicable bulk and area standards for PUD 67 and the underlying CS district.

Fire Marshal's and City Engineer's memos are attached to this Staff Report (if received). Their comments are incorporated herein by reference and should be made conditions of approval where not satisfied at the time of approval.

The Technical Advisory Committee (TAC) reviewed this application on May 01, 2013. The Minutes of the meeting are attached to this report.

Access and Internal Circulation. The development will access Memorial Dr. via driveways connecting to private drives to the north and south. The north access is a private drive along the south side of *Applebee's* in *Regal Plaza*. At the south end, the driveway will connect to the *Home Hardware / Builder's Center / JWI Supply / CWC Interiors* hardware, interiors, and supply store parking lot in the *Grigsby's Carpet Center* subdivision. Any private access easements or agreements necessary to accomplish this should be secured as needed, and submission of cop(ies) of same is respectfully requested. The preexisting driveway connection to Memorial Dr. would appear to be removed under this plan.

The provided drawings indicate driveway access points and the widths of the proposed driveways and their curb return radii. All these dimensions must comply with applicable standards and City Engineer and/or Fire Marshal requirements.

Pedestrian accessibility will be afforded via an existing sidewalk along and within the Memorial Dr. right-of-way, which ODOT constructed in mid-2009. Per the plans, part of the sidewalk will be reconstructed at 5' in width and a 5'-wide pedestrianway will connect pedestrians from the sidewalk through the parking lot to the building's front entrance.

A sidewalk will flank parts of the west/front, south/side, and east/rear of the building, and will connect pedestrians between the parking lots to the building entrances on these sides (reference Zoning Code Section 11-10-4.C). The sidewalks are adequately dimensioned on the plans and appear appropriate in width.

Parking Standards. The provided drawings indicate parking lots on the west, south, and east sides of the building with a total of 67 parking spaces proposed. Zoning Code Section 11-9-

12.D requires a minimum of 15 parking spaces for a 2,210 square foot building. Zoning Code Section 11-10-2.H provides a “minimum plus 15%” maximum parking number cap, to prevent excessive parking that results in pressure to reduce greenspaces on the development site. However, PUD 67 removed the parking requirements as applicable to the front Development Area A.

Development Area A provides, in relevant part:

“Off Street Parking:

As required by applicable use unit by Bixby Zoning Code.

Parking Spaces and Loading Berths are Not Applicable” (emphasis added)

Thus, there is no required minimum or maximum parking standard applicable for the front lot, where the building and most of its parking will be located. This was done this way because it was to be a carwash, which does not need parking. It is unfortunate that the first sentence remains in that section, as it creates somewhat of an ambiguity, but it is overridden by the second sentence, which follows the first, and which is more specific and direct to the point.

Similarly, DA B provides, in relevant part:

“Off Street Parking:

No parking is anticipated”

Unlike the previous carwash development plans, the land will be platted as a singular lot. Regardless of parking spaces falling within DAs A or B, the use is exempt from the minimum and maximum parking number requirement. Therefore, the proposed number of parking spaces complies with the Zoning Code and PUD 67. The 23 spaces reported as required, based on an inaccurate 1:100 parking ratio, is reported in error.

Three (3) handicapped-accessible parking spaces are indicated on the provided Site Plan. At 67 spaces, the three (3) handicapped-accessible parking spaces meet the minimum number required by ADA standards (Table 208.2 Parking Spaces / IBC Table 1106.1 Accessible Parking Spaces).

ADA guidelines require one (1) van-accessible design for the handicapped-accessible space, for up to seven (7) accessible spaces (reference New ADAAG Section 208.2.4, DOJ Section 4.1.2(5)b, and IBC/ANSI Section 1106.5). The Site Plan needs to indicate which one (1) ADA space will be of van-accessible design, as required. The Applicant should consider assigning van-accessible ADA space such that the access aisle will be on the right/passenger side of the van-accessible space.

The regular and van-accessible handicapped-accessible parking spaces and access aisles are dimensioned, but do not indicate compliance with the space width or striping standards Zoning Code Section 11-10-4.C Figure 3. The Applicant should make use of a handicapped-accessible parking space/access aisle/accessible route detail diagram as needed to demonstrate compliance with applicable standards, including both ADA and Bixby Zoning Code standards. During the

design of these features, the Applicant should consult with the Building Inspector to confirm the plans will comply with ADA standards.

The parking lot setback/landscaped strip width along Memorial Dr. is approximately 16.9', which complies with the 15' minimum setback per Zoning Code Section 11-10-3.B Table 1. Zoning Code Section 11-10-3.B Table 1 also requires a 10' setback between the parking lot and the R district abutting to the east. The present setback indicated is 5.6', which does not meet this requirement and must be increased to a minimum of 10'.

The survey (Exhibit G) included with PUD 67 did not indicate any existing utility or other easements affect the subject property. An application for subdivision plat approval for this development has not yet been submitted. Therefore, as of yet, there are no conflicts with internal drives and parking paving over utility or other easements. The City Engineer and Public Works Director will review the site development plans for proper utility and paving locations and conflict avoidance. Per the survey included with PUD 67 and statements by TAC members at the May 01, 2013 meeting, there are existing overhead electric lines and natural gaslines along and within the north side of the subject property. During the platting of the subject property, utility easements (if not already in existence) should be placed here for proper utility line maintenance.

A loading berth is not indicated, but none is required for the restaurant development per the provisions of PUD 67. Bulk loading will presumably be handled via truck parking within the parking lot or drive-through lane.

Screening/Fencing. The "Site Plan" drawing represents an existing 6' fence along the east line of the PUD. Per PUD 67, the screening fence is required to be replaced and must be a 6' high opaque cedar wood fence (or better). The "Site Plan" needs to represent the proposed location of the required screening fence, and the Applicant needs to provide a profile view/elevation drawing showing the required 6' screening fence replacement along the east property line.

The trash dumpster area will be enclosed within a screening wall enclosure, to be composed EIFS with a 2.5'-tall "Mesa LedgeStone" base and "galvanized steel" gates. The trash enclosure details are provided on "Patio & Trash Enclosure Details" drawing A-407, and appear typical for this type of application.

The trash dumpster is proposed to be located at the northeast corner of the development, which is abutting residential use. The Applicant may want to consider another location more removed from the houses in South Country Estates. Staff notes, however, that there appear to be two (2) other dumpster areas located closer to the houses, serving the "The Shoppes at Regal Plaza" shopping center and *Hampton Inn & Suites*. They appear to be located approximately 15' and 68' from the northeast corner of the subject property. Increasing the parking lot setback from 5.6' to 10' from the east property line, per other recommendations in this report, will increase the distance between the trash enclosure area and the existing houses.

Landscape Plan. The Landscape Plan consists of "Landscape Plan" drawing L-1.0 and "Landscape Details" drawing L-1.1 and is compared to the Landscape Chapter standards of the Zoning Code as follows:

1. 15% Street Yard Minimum Landscaped Area Standards (Section 11-12-3.A.1): Standard is not less than 15% of the Street Yard area shall be landscaped. The Street Yard is the Zoning setback along an abutting street [right-of-way]. The parking lot setback/landscaped strip width along Memorial Dr. is approximately 16.9', which would be approximately 34% (excluding driveways) of the 142.27' X 50' Street Yard. **This standard is met.**
2. Minimum Width Landscaped Area Strip Standards (Section 11-12-3.A.2 and 11-12-3.A.7): Standard is minimum Landscaped Area strip width shall be 7.5', 10', or 15' along abutting street rights-of-way. The parking lot setback/landscaped strip width along Memorial Dr. is approximately 16.9', which exceeds the 15' required along Memorial Dr. **This standard is met.**
3. 10' Buffer Strip Standard (Section 11-12-3.A.3): Standard requires a minimum 10' landscaped strip between a parking area and an R Residential Zoning District. There is an R district abutting to the east. The parking lot setback/landscaped strip width here is only 5.6', which does not meet the requirement. **This standard is not met.**
4. Building Line Setback Tree Requirements (Section 11-12-3.A.4): Standard is one (1) tree per 1,000 square feet of building line setback area. Building setbacks per PUD 67 are as follows:

The West Boundary setback area is a Street Yard. See the analysis for Zoning Code Section 11-12-3.C.1.a.

Resultant tree requirement calculations are as follows:

East Boundary Setback Tree Requirements: 20' setback X width of east PUD boundary at 142.27' = approximately 2,845.4 square feet / 1,000 square feet = 3 trees required in the East Boundary Setback Area. However, PUD 67 requires not less than five (5) trees in this area of Development Area B. Excluding those elsewhere accounted for, one (1) unidentified tree, and roughly five (5) "IA" Fosters Holly are proposed in this Setback Area. The Landscape Plan does not indicate that the existing trees along and within the east side of the subject property will be preserved and maintained (6" [caliper] cedar, 6" [caliper] hackberry, and 8" [caliper] cedar), but the same are not required for compliance. Based on their relative location, they will not be removed for parking lot construction (which has a 10' setback requirement from the east property line). **This standard is met for the East Boundary Setback Area.**

North Boundary Setback Tree Requirements: 17.5' setback X DA A north property line at (263 feet – Memorial Dr. Street Yard width of 50' =) 213' = 2,130 square feet / 1,000 square feet = 3 trees required in the North Boundary Setback Area. There are no setbacks along the north or south lines of DA B. One (1) "QS" Red Oak tree, and roughly seven (7) "IA" Fosters Holly are proposed in this Setback Area. **This standard is met for the North Boundary Setback Area.**

South Boundary Setback Tree Requirements: 10' setback X DA A south property line at (263 feet – Memorial Dr. Street Yard width of 50' =) 213' = 2,130 square feet / 1,000 square feet = 3 trees required in the South Boundary Setback Area. There are no setbacks along the north or south lines of DA B. No (0) trees not already counted are proposed in this Setback Area. **This standard is not met for the South Boundary Setback Area.**

Due to the South Boundary Setback Area, **this standard is not met.**

5. Maximum Distance Parking Space to Landscaped Area Standard (Sections 11-12-3.B.1 and 11-12-3.B.2): Standard is no parking space shall be located more than 50' or 75' from a Landscaped Area, which Landscaped Area must contain at least one (1) or two (2) trees. For a lot containing 1.11 acres, the standard calls for a maximum of 50' spacing, with one (1) tree. **This standard is met.**
6. Street Yard Tree Requirements (Section 11-12-3.C.1.a): Standard is one (1) tree per 1,000 square feet of street yard. The Street Yard is the Zoning setback along an abutting street [right-of-way]. Memorial Dr. has a 50' setback. $142.17' \times 50' = 7,108.5$ square feet / 1,000 = 8 trees in the Memorial Dr. Street Yard. 4 trees are proposed. **This standard is not met.**
7. Tree to Parking Space Ratio Standard (Section 11-12-3.C.2): Standard is one (1) tree per 10 parking spaces. 67 parking spaces proposed. $67 / 10 = 6.7 = 7$ trees required by this standard. Excluding the Setback Area and Street Yard trees already accounted for, four (4) additional trees proposed. Including those "IA" Fosters Holly proposed at the northeast corner of the development and which are beyond the number required for the north and east boundary setback areas, six (6) trees are proposed. Four (4) + six (6) = 10 trees. **This standard is met.**
8. Parking Areas within 25' of Right-of-Way (Section 11-12-3.C.5.a): Standard would be met upon and as a part of compliance with the tree standard per Section 11-12-3.C.1.a.
9. Irrigation Standards (Section 11-12-3.D.2): "General Notes" # 21 provides "An automatic irrigation system shall be provided to maintain all landscape areas..." Zoning Code Section 11-12-4.A.7 requires the submission of plans for irrigation. An irrigation plan was not submitted. **This standard is not met.**
10. Miscellaneous Standards (Sections 11-12-4.A.5, 11-12-3.C.7, 11-12-3.D, etc.): The tree planting diagram(s), reported calipers of the proposed trees, the notes on the "Landscape Plan" drawing, and other information indicates compliance with other miscellaneous standards, with the following exceptions:
 - a. Please label the unidentified tree at the southeast lot corner.
 - b. Certain elements of the "Landscape Tabulation" are inconsistent with the City of Bixby's interpretation as provided herein and should be reconciled or removed.
 - c. Please reconcile the 26% versus 27% "pervious area" / "landscape area" with the "Site Plan" drawing.

Until the above are resolved, **this standard is not met.**

11. Lot Percentage Landscape Standard (Section 11-7I-5.F; PUDs only): Standard is 10% of a commercial lot must be landscaped open space. Per the notes on the "Site

Plan” drawing, 26% of the lot would be “pervious area” post-construction. The Landscape Plan reports 27% of the site will be landscaped. Whichever is correct, **this standard is met.**

Exterior Materials and Colors. “Exterior Color Elevations” drawings A-200 and A-201 indicate the proposed exterior materials and overall appearance. The exterior material will primarily consist of (1) EIFS and (2) stone/masonry base, with various trim materials (such as “Building Accent Tile,” aluminum “Rain Screen System,” and “Bamboo Poles.”). Color information is represented on the elevations drawings, but is no longer required within the Corridor Appearance District per Ordinance # 2091 approved September 10, 2012, and is not required by PUD 67. Per Ordinance # 2107 adopted January 14, 2013, Zoning Code Section 11-7G-5.A now requires within the Corridor Appearance District:

“All sides of buildings facing public streets shall be full masonry to the first floor top plate, to include brick, stucco, EIFS or similar masonry like product, stone, finished concrete tilt-up panels, or some combination thereof.”

The west/Memorial Dr.-facing building elevation, primarily composed of (1) EIFS and (2) stone/masonry base (excluding, by interpretation, windows and accent/trim), will comply with the new standard.

The roof will not be visible at ground level due to the parapet wall.

Outdoor Lighting. “Photometric Site Plan” Drawing A-100.1 indicates locations and types of outdoor lighting, and lighting levels. All proposed lights appear typical for a suburban fast-food restaurant application.

PUD 67 requires for lighting: “The lights will be arranged as to direct the light away from properties within the R district.” There is a residential area to the east, and proposed lighting should be clearly represented and described in detail. As it concerns the east property line, the plan indicates light levels up to, and exceeding 15 footcandles near one particular light fixture. The lighting plan previously approved for the former carwash development demonstrated that the footcandle effects of the proposed lighting were reduced to 0.0 at all points on the east line of the development. Recognizing the houses abutting to the east, the lighting plan should be revised to demonstrate the same 0.0 footcandles on the east line of the development.

PUD 67 also provides that the maximum height for pole-mounted lights in Development Area B is 10’. The “Pole Mounting Detail” of the lighting plan represents lights at 10’ in height for all of the PUD.

Signage. The sign plan drawings by Allen Industries represent the locations of the wall signs, the one (1) proposed business/ground sign, and incidental and directional signage. The “Patio & Trash Enclosure Details” drawing A-407 also indicates a “Coming Soon” construction sign, which appears to be in order per Zoning Code Section 11-7I-4.B.2.f.2.

The Allen Industries drawings demonstrate compliance with wall signage regulations.

Per PUD 67, the property is permitted one (1) ground sign, a maximum of 10' in height, which may include an LED/Electronic Message Board sign element. Per the Allen Industries drawings, the proposed ground sign is 25' in height, and must be reduced to 10' or be permitted by PUD Minor Amendment. The Zoning Code would allow up to 25' by right, and thus it is the PUD itself which restricts the sign height.

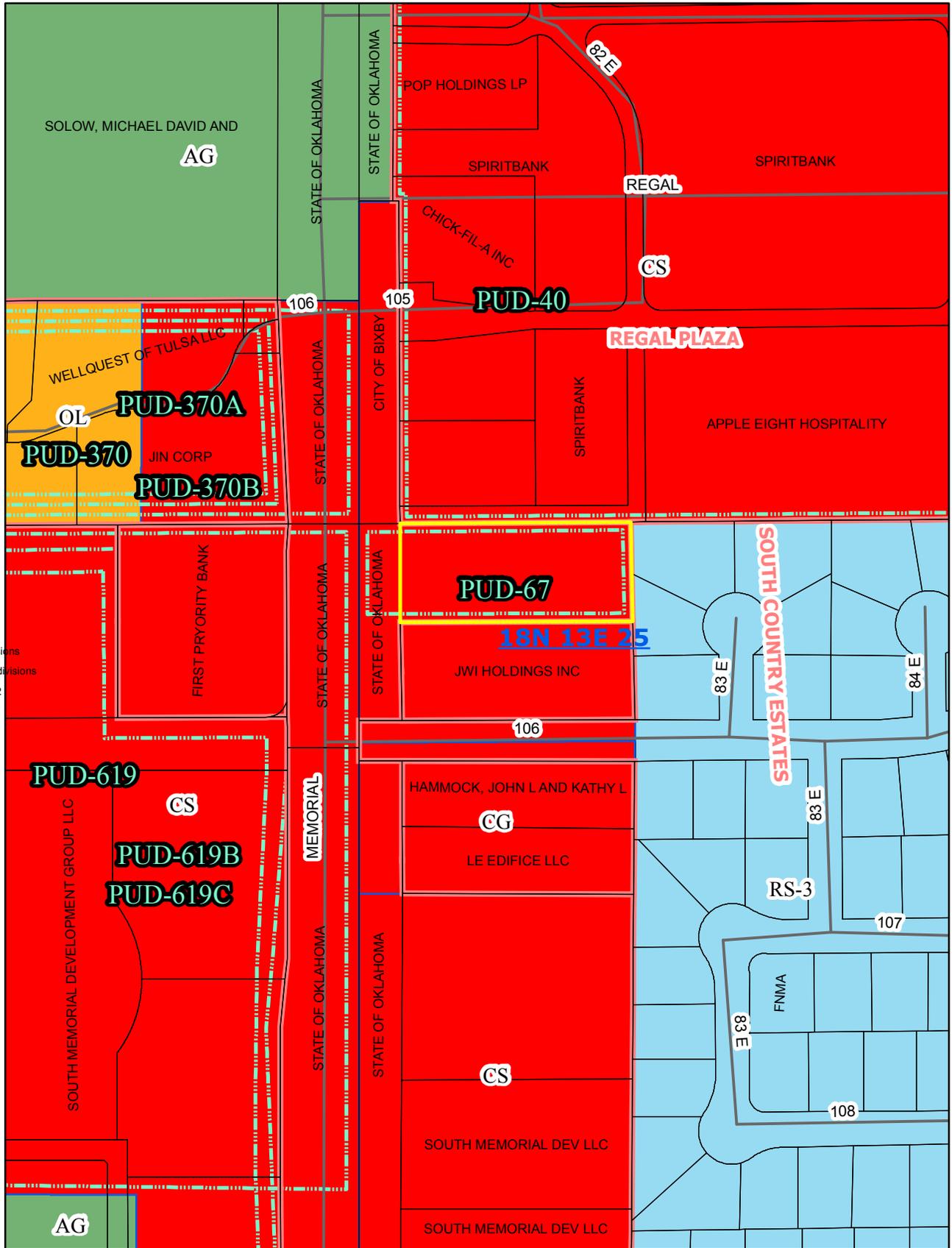
Most restaurants and other developments of this size will have incidental signage for traffic control and general identification information, and the provided Allen Industries plans do indicate locations of incidental signage. However, the details for same are not provided. Zoning Code Section 11-9-21.C.3.k allows standard directional signs at a maximum of 3 square feet in display surface area. Signs reserving the ADA accessible parking spaces and directional signage painted to the pavement of the driveways (not visible from adjoining public streets) should conform to applicable standards or are otherwise exempt Federal standards.

Staff Recommendation. The Detailed Site Plan adequately demonstrates compliance with the Zoning Code and is in order for approval, subject to the following corrections, modifications, and Conditions of Approval:

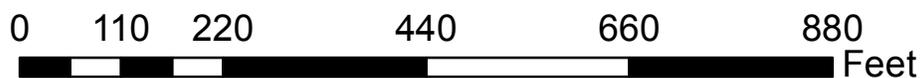
1. This PUD Detailed Site Plan approval additionally constitutes the site plan approval requirement within the Corridor Appearance District.
2. Subject to compliance with all Fire Marshal and City Engineer recommendations and requirements.
3. Please provide copy of recorded version of any necessary and appropriate easement or agreement pertaining to access to and/or through the properties to the north and south.
4. The proposed driveways and their curb return radii must comply with applicable standards and City Engineer and/or Fire Marshal requirements.
5. The 23 spaces reported as required, based on an inaccurate 1:100 parking ratio, is reported in error. There is no parking required per PUD 67.
6. ADA guidelines require one (1) van-accessible design for the handicapped-accessible space, for up to seven (7) accessible spaces (reference New ADAAG Section 208.2.4, DOJ Section 4.1.2(5)b, and IBC/ANSI Section 1106.5). The Site Plan needs to indicate which one (1) ADA space will be of van-accessible design, as required. The Applicant should consider assigning van-accessible ADA space such that the access aisle will be on the right/passenger side of the van-accessible space.
7. The regular and van-accessible handicapped-accessible parking spaces and access aisles are dimensioned, but do not indicate compliance with the space width or striping standards Zoning Code Section 11-10-4.C Figure 3. The Applicant should make use of a handicapped-accessible parking space/access aisle/accessible route detail diagram as needed to demonstrate compliance with applicable standards, including both ADA and Bixby Zoning Code standards. During the design of these features, the Applicant should consult with the Building Inspector to confirm the plans will comply with ADA standards.
8. Zoning Code Section 11-10-3.B Table 1 requires a 10' setback between the parking lot and the R district abutting to the east. The present setback indicated is 5.6', which does not meet this requirement and must be increased to a minimum of 10'.

9. The "Site Plan" needs to represent the proposed location of the required screening fence, and the Applicant needs to provide a profile view/elevation drawing showing the required 6' screening fence replacement along the east property line.
10. Please resolve the 10' Buffer Strip Standard (Section 11-12-3.A.3) matter as described in the Landscape Plan analysis above.
11. Please resolve the Building Line Setback Tree Requirements (Section 11-12-3.A.4) matter as described in the Landscape Plan analysis above.
12. Please resolve the Street Yard Tree Requirements (Section 11-12-3.C.1.a) matter as described in the Landscape Plan analysis above.
13. Please resolve the Irrigation Standards (Section 11-12-3.D.2) matter as described in the Landscape Plan analysis above.
14. Please resolve the Miscellaneous Standards (Sections 11-12-4.A.5, 11-12-3.C.7, 11-12-3.D, etc.) matter as described in the Landscape Plan analysis above.
15. PUD 67 requires for lighting: "The lights will be arranged as to direct the light away from properties within the R district." There is a residential area to the east, and proposed lighting should be clearly represented and described in detail. As it concerns the east property line, the plan indicates light levels up to, and exceeding 15 footcandles near one particular light fixture. The lighting plan previously approved for the former carwash development demonstrated that the footcandle effects of the proposed lighting were reduced to 0.0 at all points on the east line of the development. Recognizing the houses abutting to the east, the lighting plan should be revised to demonstrate the same 0.0 footcandles on the east line of the development.
16. Per the Allen Industries drawings, the proposed ground sign is 25' in height, and must be reduced to 10' or be permitted by PUD Minor Amendment.
17. Please provide details for proposed incidental signage for traffic control and general identification information.
18. Please submit complete, corrected copies of the Detailed Site Plan incorporating all of the corrections, modifications, and conditions of approval as follows: Two (2) full-size hard copies, one (1) 11" X 17" hard copy, and one (1) electronic copy (PDF preferred).
19. Minor changes in the placement / locating individual trees or parking spaces, or other such minor site details, are approved as a part of this Detailed Site Plan, subject to administrative review and approval by the City Planner. The City Planner shall determine that the same are minor in scope and that such changes are an alternative means for compliance and do not compromise the original intent, purposes, and standards underlying the original placement as approved on this Detailed Site Plan, as amended. An appeal from the City Planner's determination that a change is not sufficiently minor in scope shall be made to the Board of Adjustment in accordance with Zoning Code Section 11-4-2.

BSP 2013-02 – Panda Express – Bannister Engineering, LLC (PUD 67)



- bixby_streams
- Tulsa Parcels 01/13
- WagParcels 01/13
- TulsaCountySubdivisions
- WagonerCountySubdivisions
- WagRoads_Aug2012
- E911Streets
- PUD
- <all other values>
- ZONE_TYPE**
- Agricultural
- Commercial
- Flood
- Industrial
- Office
- Residential SF
- Residential Multi
- Residential Manuf.
- <all other values>
- ZONE_TYPE**
- Agricultural
- Commercial
- Flood
- Industrial
- Office
- Residential SF
- Residential Multi
- Residential Manuf.
- bixby_s-t-r
- county



Memo

To: Erik Enyart, City Planner
From: Jared Cottle, PE *JWC*
CC: Bea Aamodt, PE
File
Date: 05/03/13
Re: Panda Express
Legend's of Tulsa

General Comments:

1. Off-site driveway connections are shown on the site plan, and their construction is supported by the City. However, evidence of the easements/agreements permitting the connections must be provided for site plan approval.
2. Utility Plans are required for project approval. No City utility extensions are anticipated. Connection to existing water on the west side of the site and connection to existing sewer lines on the east side of the site are anticipated.
3. A Drainage Report will be required for the site that addresses storm water detention, conveyance of off-site runoff, and any off-site discharges. The Report must specify pre and post development discharge rates for all off-site discharge points.
4. Storm water detention areas that are located within parking areas require posting of warning signs. The warning signs and locations must be provided for any parking lot detention areas.
5. Evidence of easements/agreements permitting off-site storm water facility connections must be provided prior to plan approval.

Memo

To: ERIK ENVART, AICP, CITY PLANNER

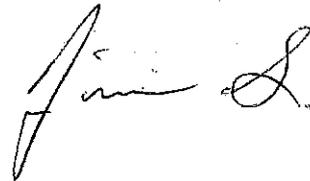
From: JIM SWEEDEN

Date: 4/23/2013

Re: DETAILED SITE PLAN FOR "PANDA EXPRESS"

PLANS ARE APPROVED BY THIS OFFICE AS PER CODES:

FIRE HYDRANT IS NOT SHOWN ON PLANS. FIRE HYDRANT SHALL BE INSTALLED IN THE AREA OF THE SOUTHWEST ENTRANCE.





City of Bixby Site Plan Application

Applicant: DANDA RESTAURANTS GROUP
Address: 1683 Walnut Grove Ave, Rosemead, CA 91770
Telephone: 626-799-9898 Cell Phone: _____ Email: _____

Property Owner: Legend's of Tulsa - 101st and Memorial LLC If different from Applicant, does owner consent? Y
Property Address: 10535 S. Memorial Dr., 74133
Existing Zoning: C Existing Use: Undeveloped Proposed Use: Restaurant Use Unit #: _____

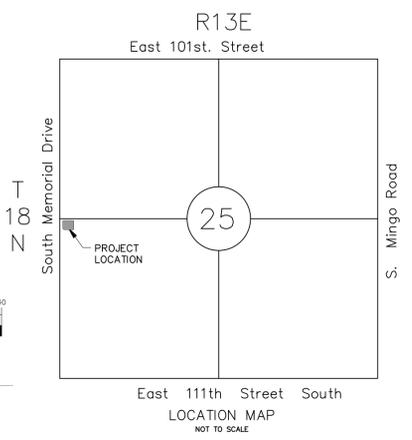
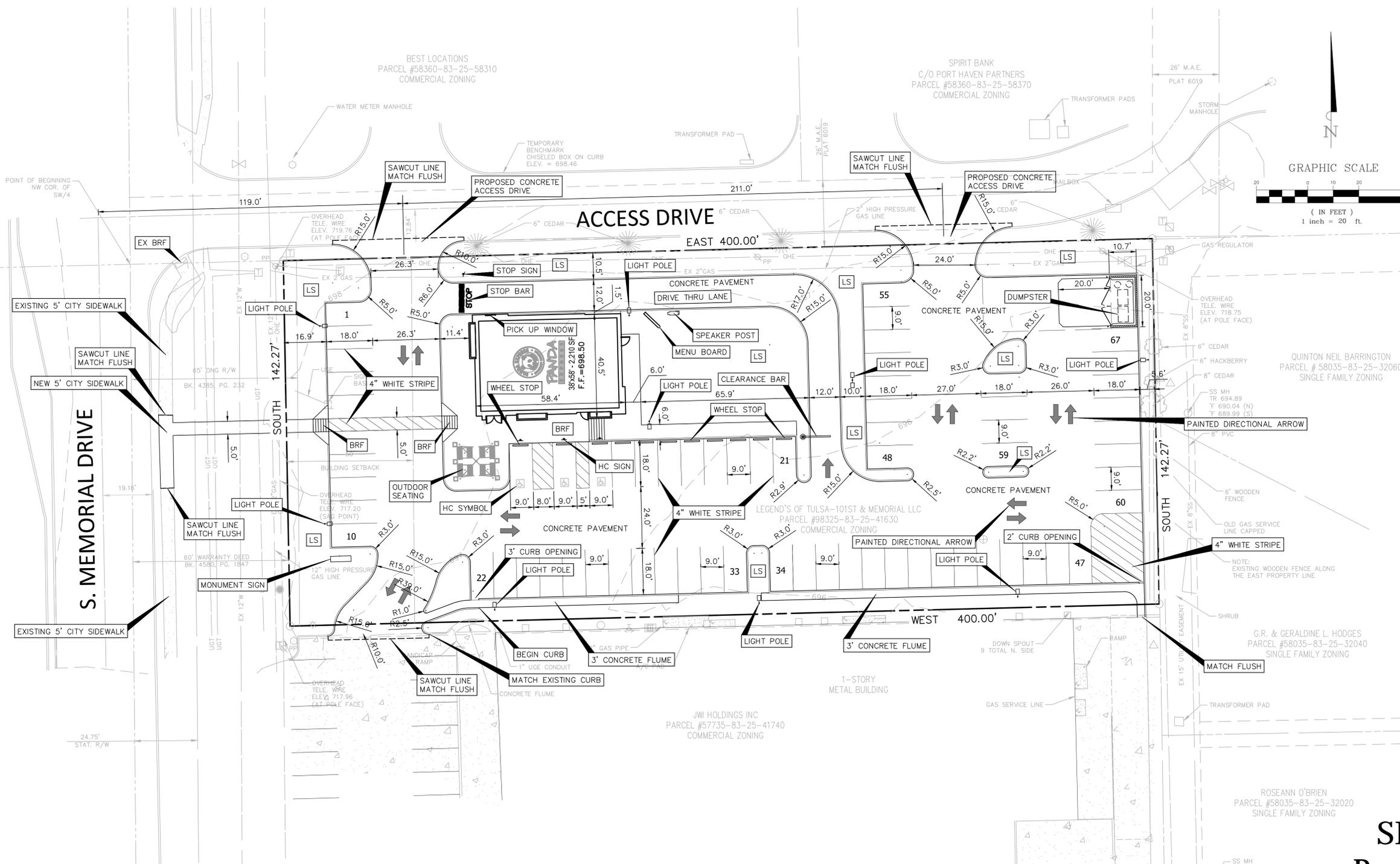
LEGAL DESCRIPTION (If unplatted, attach a survey with legal description or copy of deed):

Ref. Attached Survey

Is subject tract located in the 100 year floodplain? YES NO

All new structures requiring a Building Permit, other than a small job permit, within Use Units 2, 5, and 8 through 27, inclusive, shall require the submission of a site plan demonstrating compliance with the requirements of the Zoning Code. A site plan shall be submitted with the Building Permit application as follows: Five (5) full-size hard copies, four (4) 11" X 17" hard copies, and one (1) copy in an acceptable electronic file format. Compliance with the approved site plan shall be a condition of Building Permit approval and continued occupancy. The site plan shall specifically include:

- All property lines with dimensions of the parcel or parcels on which the building permit is sought.
- All existing and proposed improvements represented to scale and dimensioned from the lot lines.
- The names and widths of all adjacent street, road, highway, alley, and railroad rights-of-way of record.
- Any roadway paving edges, curb lines, sidewalks, culverts, and/or borrow ditch centerlines, if the same are located within or along the boundary of the subject property.
- Any road, access, drainage, utility, and other such easements, including County Clerk recording references (i.e. Book/Page or Document #) for each.
- Amount of post-construction impervious area in square feet and percentage of lot area, calculated by a surveyor, architect, or engineer.
- The topographical layout of the land at no greater than two (2) foot contours if site elevation changes 10 feet or more, or if necessary for proper site design review in the opinion of City staff.
- Any Special Flood Hazard Areas and Flood zone designations as identified by the adopted, effective Floodplain maps.
- Any significant streams, swales, ditches, or natural drainageways.
- Any existing or proposed ponds or stormwater detention or retention facilities.
- All existing and/or proposed driveways and internal drives, to include labeling the surface material to be used (e.g. concrete or asphalt) for each.
- Dimensions and labels for any existing access limitations and access openings.
- Water wells, septic or other on-site disposal systems, oil or gas wells or underground lines, significant oil or gas extraction appurtenances, and other critical site features.
- Unique identifiers so that the plan may be related to the subject property if ever separated from the file, such as property owner's name, property or building address, and/or legal description.
- Name, address, and contact information of the site plan preparer.
- A unique drawing number or name to distinguish the site plan from any other drawings submitted.



DETAIL SITE PLAN

CORRIDOR SITE PLAN NUMBER:
DEVELOPMENT AREA:

PERMITTED USES: RESTAURANT W/ DRIVE-THRU
PROPOSED USES: RESTAURANT W/ DRIVE-THRU

BUILDING FLOOR AREA PROPOSED: 2,210 SQ. FT.
MAXIMUM BLDG HEIGHT PERMITTED: 35'-0"
MAXIMUM BLDG HEIGHT PROPOSED: 21'-9"

MINIMUM BLDG SETBACK REQUIRED: 50' FRONT YARD

OFF STREET PARKING:
REQUIRED RATIO: 1 SPACE PER 100 SQ. FT.
TOTAL SPACES REQUIRED: 23
TOTAL SPACES PROVIDED: 67

LIGHTING HEIGHT FOR PARKING AREA:
MAX. HEIGHT PERMITTED: 35'
MAX. HEIGHT PROPOSED: 35'

PERVIOUS/IMPERVIOUS TABLE CHART

TOTAL LOT AREA	48,288 sf
TOTAL IMPERVIOUS AREA	35,820 sf
PERCENTAGE OF IMPERVIOUS LOT AREA	74%
TOTAL PERVIOUS AREA	12,468 sf
PERCENTAGE OF PERVIOUS LOT AREA	26%

LEGEND

LS = LANDSCAPE AREA
BFR = BARRIER FREE RAMP

SITE PLAN
Panda Express
10535 Memorial Drive
Legend's of Tulsa
Part of the Northwest Quarter (NW/4)
of the Southwest Quarter (SW/4)
of section Twenty-Five (25)
City of Bixby
Tulsa County, Oklahoma

BENCH MARK

Vertical Datum:
NAVD 1988: ADS #30, 5/8 IN. REBAR - 1 1/2 IN.
ALUMINUM CAP-FLUSH-SET IN CONCRETE-STAMPED "30"
SET IN THE CENTER MEDIAN OF MEMORIAL DRIVE AN
APPROXIMATE 150' SOUTH OF 101 STREET.
ELEV. = 717.74

Horizontal Datum:
NAD 83: ADS #30 (SEE DESCRIPTION ABOVE)
NORTHING: 376957.393
EASTING: 2593481.766

FLOODPLAIN REFERENCE

FIRM PANEL NO. 40143C0369L DATED OCTOBER 16, 2012
CLASSIFIES THE PROPERTY DESCRIBED HEREON AS ZONE
"X", AN AREA DETERMINED TO BE OUTSIDE THE 0.2%
ANNUAL CHANCE FLOODPLAIN

&

ACCORDING TO THE CITY OF TULSA REGULATORY
FLOODPLAIN PANEL NO. 57 DATED MAY 18, 2011
CLASSIFIES THE PROPERTY DESCRIBED HEREON AS BEING
OUTSIDE OF THE CORPORATE LIMITS FOR THE CITY OF
TULSA.

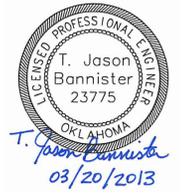
PROPERTY DESCRIPTION

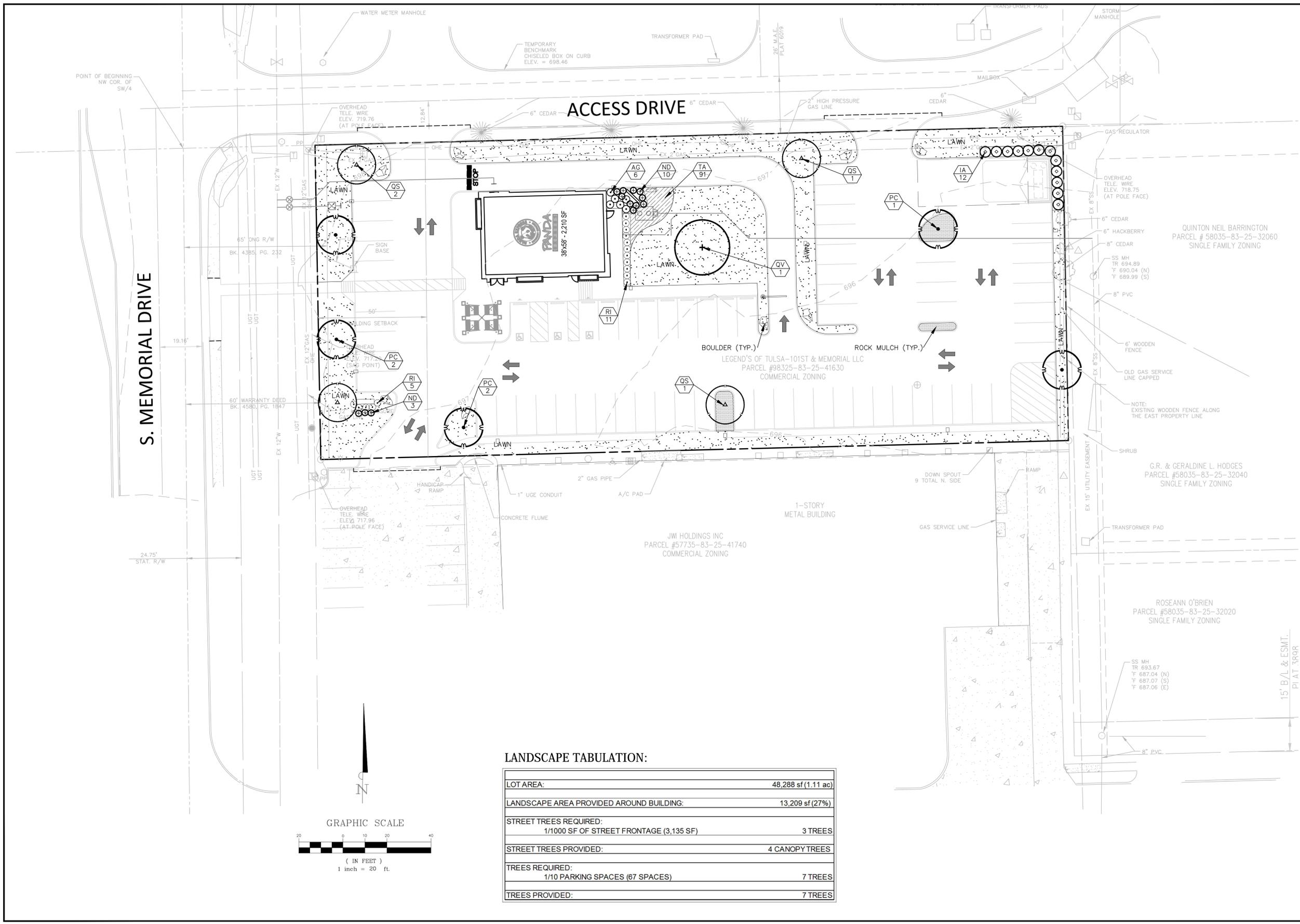
PART OF THE NORTHWEST QUARTER (NW/4) OF THE
SOUTHWEST QUARTER (SE/4) OF SECTION TWENTY-FIVE (25),
TO TOWNSHIP EIGHTEEN (18) NORTH, RANGE THIRTEEN (13)
EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY,
OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY
THEREOF, MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO WIT:
BEGINNING AT THE NORTHWEST CORNER OF THE SOUTHWEST
QUARTER (SW/4); THENCE EAST 400 FEET; THENCE SOUTH
142.27 FEET; THENCE WEST 400 FEET; THENCE NORTH 142.27'
TO THE POINT OF BEGINNING; LESS THE WEST 60 FEET
THEREOF FOR ROAD.



ENGINEER:
BANNISTER ENGINEERING, LLC
714 HUNTERS ROW CT.
STE. 104
MANSFIELD, TX 76063
(817) 842-2094
CONTACT: DAVID A. GREER, P.E.

DEVELOPER:
PANDA RESTAURANT GROUP, INC
3500 QUAIL LANE
ARLINGTON, TX 76016
(817) 457-8555
CONTACT: LARRY JACKSON

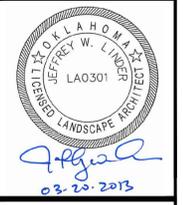




LANDSCAPE TABULATION:

LOT AREA:	48,288 sf (1.11 ac)
LANDSCAPE AREA PROVIDED AROUND BUILDING:	13,209 sf (27%)
STREET TREES REQUIRED: 1/1000 SF OF STREET FRONTAGE (3,135 SF)	3 TREES
STREET TREES PROVIDED:	4 CANOPY TREES
TREES REQUIRED: 1/10 PARKING SPACES (67 SPACES)	7 TREES
TREES PROVIDED:	7 TREES

No.	Date	Revision Description

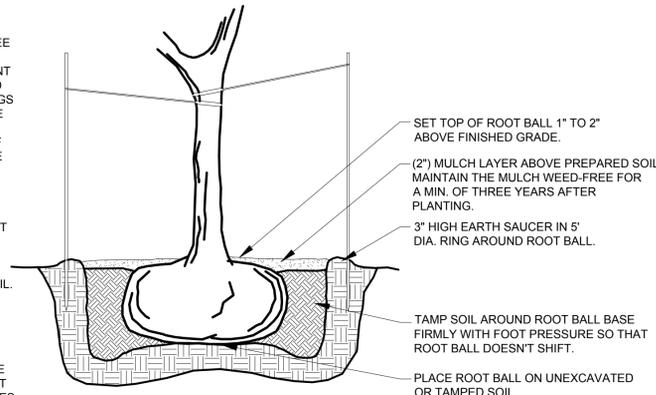


GENERAL NOTES:

1. Locate all utilities prior to digging. Contractor shall be responsible for all damage incurred by his/her work.
2. Contractor shall advise the Owner or Landscape Architect of any condition found on site which prohibits installation as shown on these plans.
3. In a discrepancy between drawings and plant schedule is found, the drawings shall take precedent over the plant schedule.
4. Plant material shall comply with all sizing and grading standards of the latest edition of 'American Standard' or 'Nursery Stock.'
5. Contractor shall stake out tree locations and bed configuration for approval by Owner prior to installation.
6. Substitutions shall not be made without prior written authorization from the Owner or Landscape Architect.
7. All disturbed areas not indicated as planting beds shall be sodded or seeded by Contractor to provide an established turf area.
8. Contractor shall remove reasonable amount of stones, dead roots, detritus and other undesirable material from existing soil.
9. If rocks are encountered, remove to a depth of 3" and add 3" of friable fertile topsoil to all sodded areas. Contractor to ensure that site is graded according to the Engineer's grading plan.
10. Lawn areas shall have 3" minimum friable topsoil and be treated with fertilizer applied at a rate of 20 pounds per 1,000 square feet.
11. Soil preparation for planting beds shall be as follows:
 - 3" of organic compost
 - 20 pounds of organic fertilizer / 1,000 sq. ft. bed area
 - Till bed to a depth of 6" to 8"
 - Check soil acidity. Soil acidity should range from 5.0 to 7.0 pH. Regulate if necessary.
12. All plant beds shall be top dressed with a minimum 2" of tan river rock mulch.
13. Provide steel edge between all plant beds and lawn areas unless indicated differently on plans.
14. Tree planting pits shall be cleared of undesirable material and backfilled with prepared top soil. Place 1" of compost and 3" of shredded hardwood mulch on top of root ball.
15. The Contractor will be held liable for any damage caused to trees due to improper staking methods, including absence of staking throughout the warranty period.
16. Trees shall be planted at least 2.5 feet from any right-of-way line, curb, walk or fire hydrant, and outside all utility easements.
17. Trees shall be planted at least 8 feet from any public utility line where possible. In the event this is not possible, Contractor shall install a root barrier, per the detail(s) noted on this sheet.
18. Trees overhanging walks and parking areas shall have a clear trunk height of 7 feet from finish surface grade.
19. Contractor shall warranty plant material to remain alive and healthy for a period of one year after the final acceptance. All plant material shall be maintained in a healthy condition in accordance with the season. Dead, damaged or destroyed plant material shall be replaced in kind within thirty days. Warranty shall not include damage or loss of plant material due to natural causes, acts of vandalism or negligence on the part of the owner.
20. Landscape areas shall be kept free of trash, litter and weeds.
21. An automatic irrigation system shall be provided to maintain all landscape areas. Overspray on streets is prohibited.
22. Installing contractor to maintain landscaping for 30 days from owner occupancy to establish plants and grass, mowing and trimming to be included.

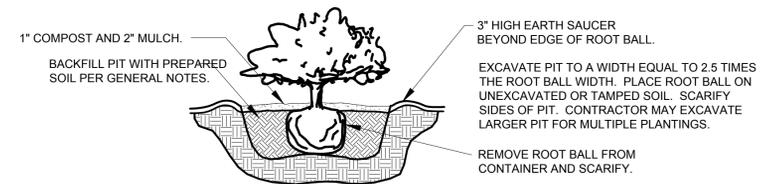
NOTES:

1. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
2. EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
3. REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM TOP HALF OF ROOT BALL.
4. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 8" INTO PLANTING HOLE.



A TREE PLANTING DETAIL

NOT TO SCALE



B SHRUB PLANTING DETAIL

NOT TO SCALE

PLANT LIST AND SPECIFICATIONS:

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SPECIFICATION
TREES				
PC	5	<i>Pistachia chinensis</i>	Chinese Pistache	2" min. cal., 8-10' height, Full, Matching
QS	4	<i>Quercus shumardii</i>	Red Oak	2" min. cal., 8-10' height, Full, Matching
QV	1	<i>Quercus virginiana</i>	Live Oak	2" min. cal., 8-10' height, Full, Matching
IA	12	<i>Ilex x attenuata 'Foster'</i>	Fosters Holly	30 gal., 5-7' min height, Full to ground, Matching
SHRUBS				
RI	16	<i>Raphelepis indica 'Clara'</i>	Indian Hawthorn 'Clara'	3 gal., 24" ht., 36" O.C., triangular spacing
LF	6	<i>Luecophyllum frutescens</i>	Texas Sage	3 gal., 24" ht., 36" O.C., triangular spacing
ND	13	<i>Nandina domestica 'Firepower'</i>	Nandina 'Firepower'	3 gal., 18" ht., 24" O.C., triangular spacing
GROUND COVER / MISCELLANEOUS				
LM	91	<i>Trachelospermum asiaticum</i>	Asian Jasmine	1 gal., 18" O.C., triangular spacing
LAWN	Per Plan	<i>Cynodon dactylon</i>	Common Bermuda	Sod
	Per Plan		Steel Edge	4" steel edge to be buried 3" deep. Contractor to install steel stakes at end of each section of edging.
	Per Plan		River Rock Mulch	Tan river rock mulch at 2" depth.
LANDSCAPE BOULDERS				2' to 3' in diameter, buried approximately 1/3 into surrounding soil

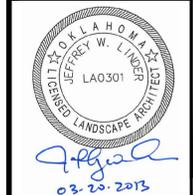
BANNISTER
ENGINEERING
1696 Country Club Drive | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # 5608 (OKLAHOMA)

PANDA EXPRESS
10535 SOUTH MEMORIAL DRIVE
LEGENDS OF TULSA
BIXBY, OKLAHOMA

LANDSCAPE DETAILS

No.	Date	Revision	Description

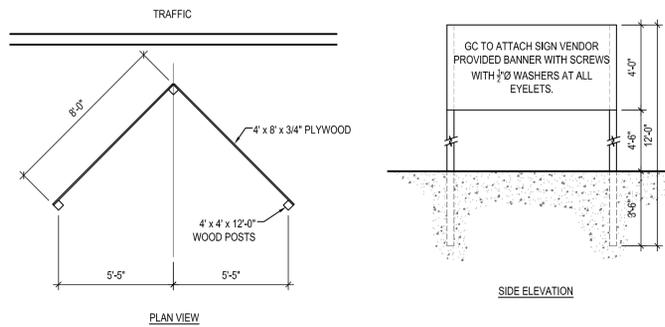
PROJECT NO.: 046-13-03



SHEET NO.

L-1.1

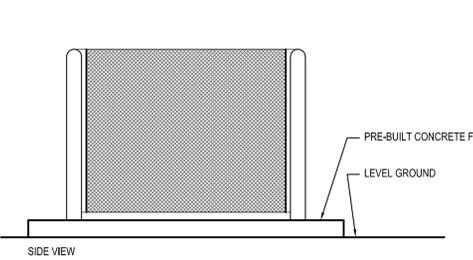
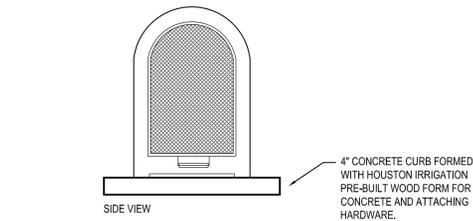
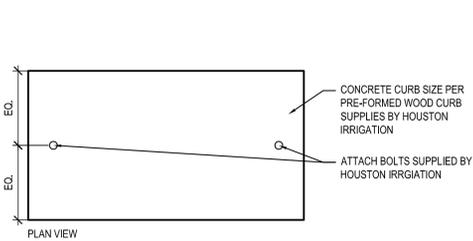
NOTE: GC TO COORDINATE PLACEMENT ONSITE WITH PANDA PROJECT MANAGER.



"COMING SOON" SIGN DETAIL 16

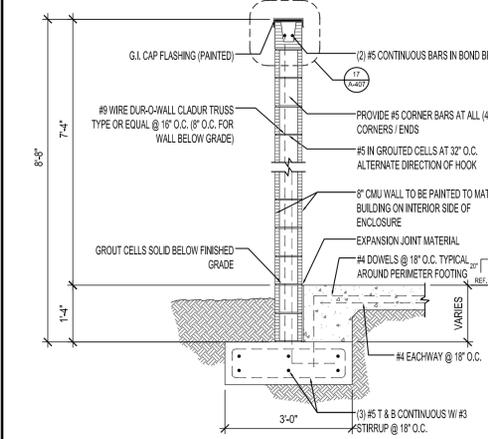
Scale= 1/4" = 1'-0" A-407

PROVIDE & INSTALL CAGE AND COVER FOR THE BACK-FLOW PREVENTER AT 4" CONCRETE CURB IN LANDSCAPE AREA; GORILLA CAGE, MANUFACTURED BY HOUSTON IRRIGATION SERVICES SPRING, TEXAS (281-705-9701). PROVIDE INSULATED COVER, 'AQUA SHIELD' MODEL # BFP1-S FOR COLDER REGIONS OF US. COORDINATE WITH PANDA PM.



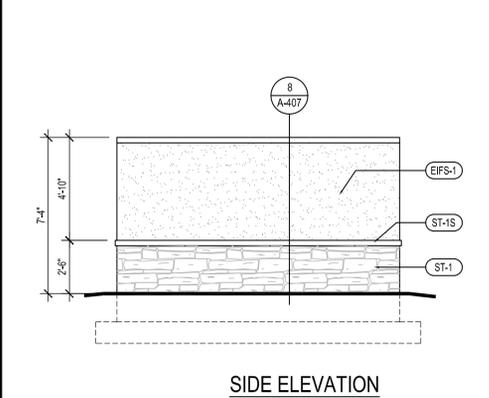
BACKFLOW PROTECTION CAGE 11

Scale= NTS A-407



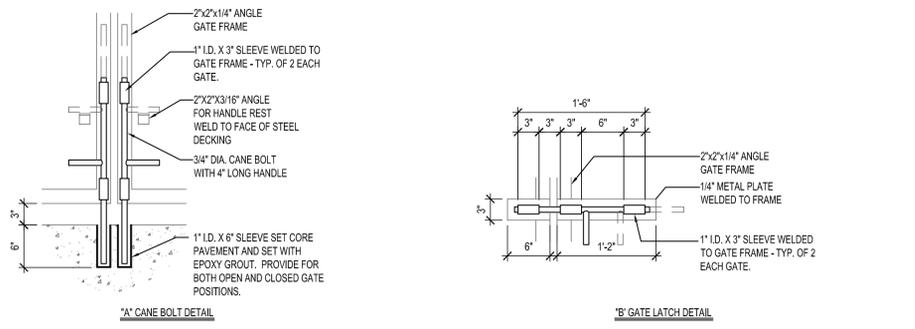
TRASH ENCLOSURE WALL SECTION 8

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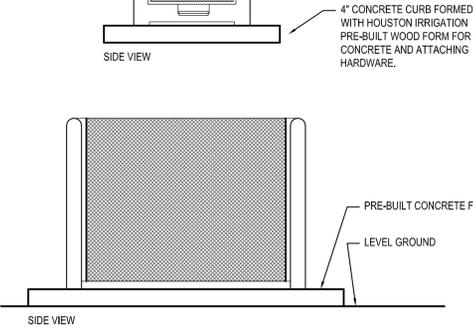
SIDE ELEVATION 4

Scale= 1/4" = 1'-0" A-407



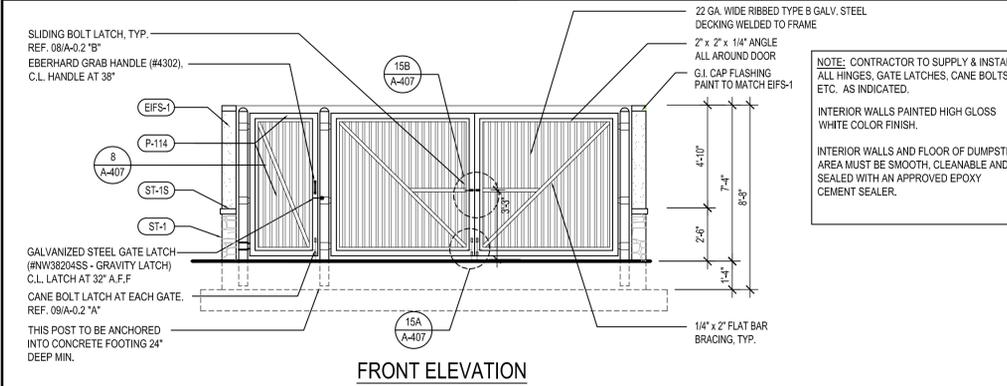
DUMPSTER GATE LATCH DETAILS 15

Scale= NTS A-407



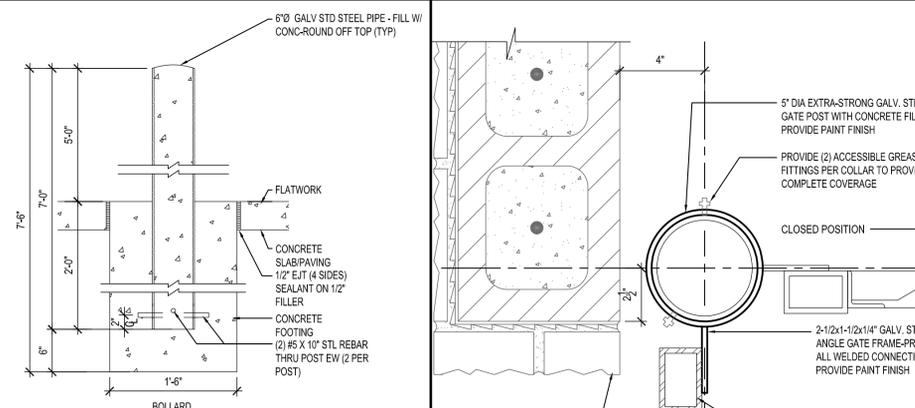
BACKFLOW PROTECTION CAGE 11

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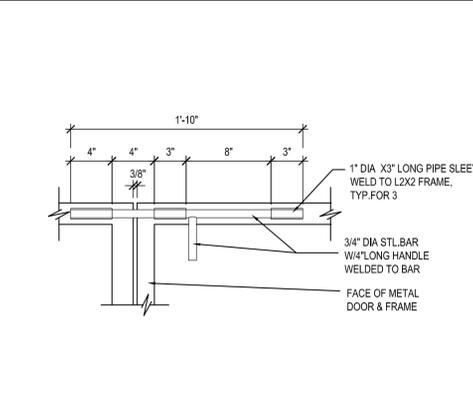
FRONT ELEVATION 2

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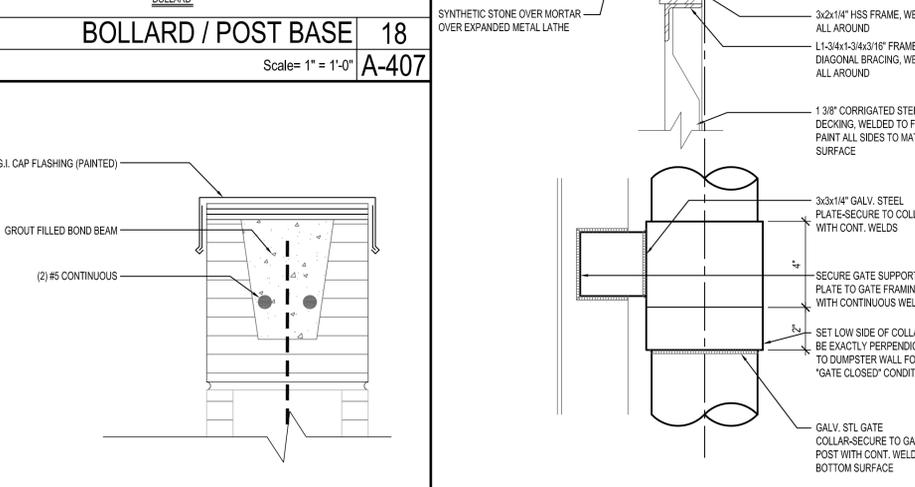
BOLLARD / POST BASE 18

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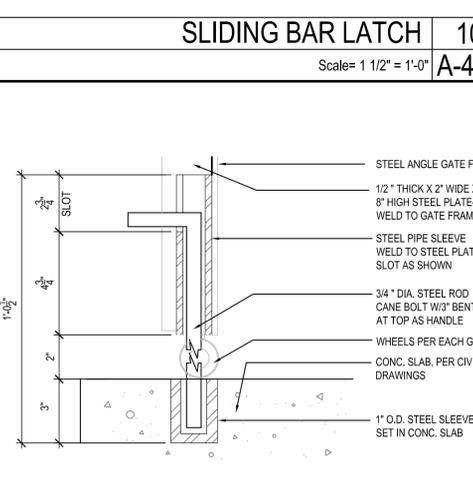
SLIDING BAR LATCH 10

Scale= 1 1/2" = 1'-0" A-407



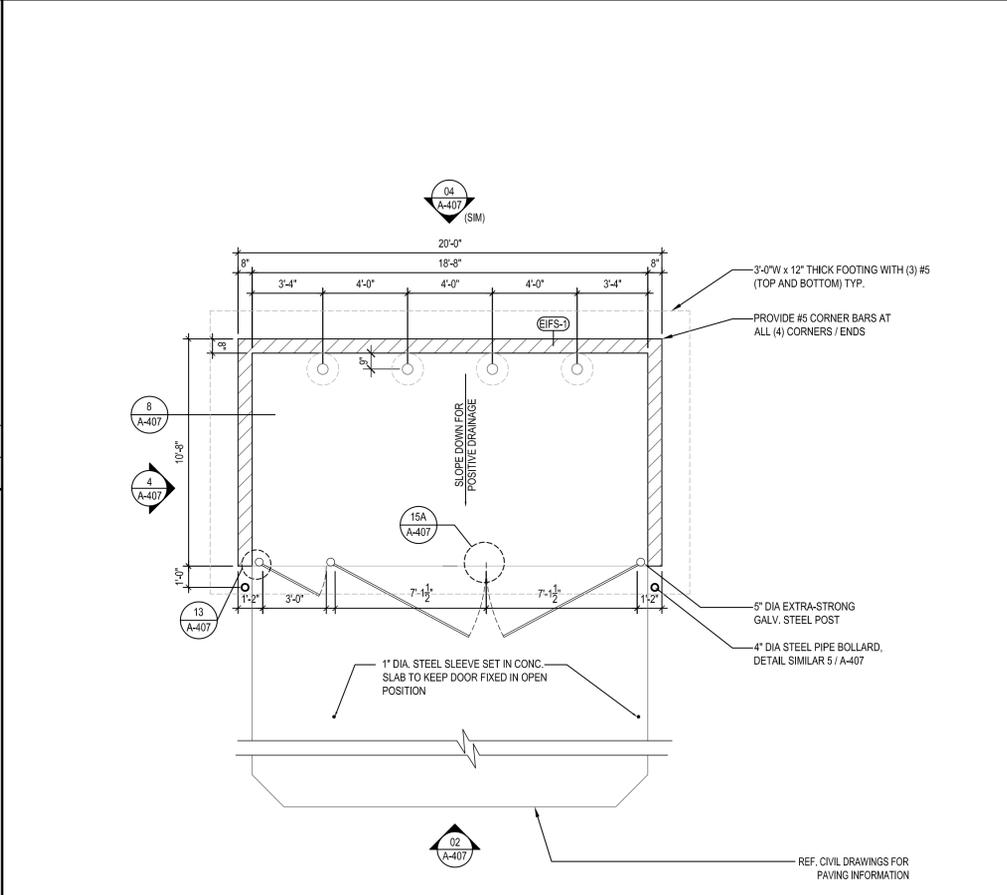
DUMPSTER CAP DETAIL 17

Scale= 3" = 1'-0" A-407



HINGE DETAIL 13

Scale= 3" = 1'-0" A-407



TRASH ENCLOSURE 1

Scale= 1/4" = 1'-0" A-407



PANDA RESTAURANT GROUP INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

NO.	DESCRIPTION

ISSUE DATE:

PERMIT 03-15-13

DRAWN BY:

PANDA PROJECT #: S8-13-D3372
ARCH PROJECT #: 261-78



PANDA EXPRESS
MEDIUM - BRIGHT AND FRESH
105th ST. & S. MEMORIAL DR.
BIXBY, OK

A-407

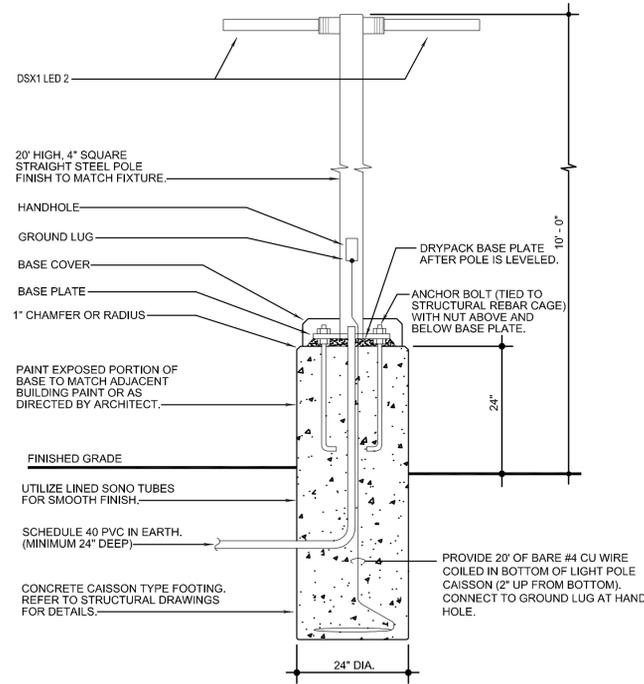
PATIO & TRASH ENCLOSURE DETAILS

ISSUE FOR PERMIT 03-15-13

ISSUE FOR PERMIT 03-15-13



d³series

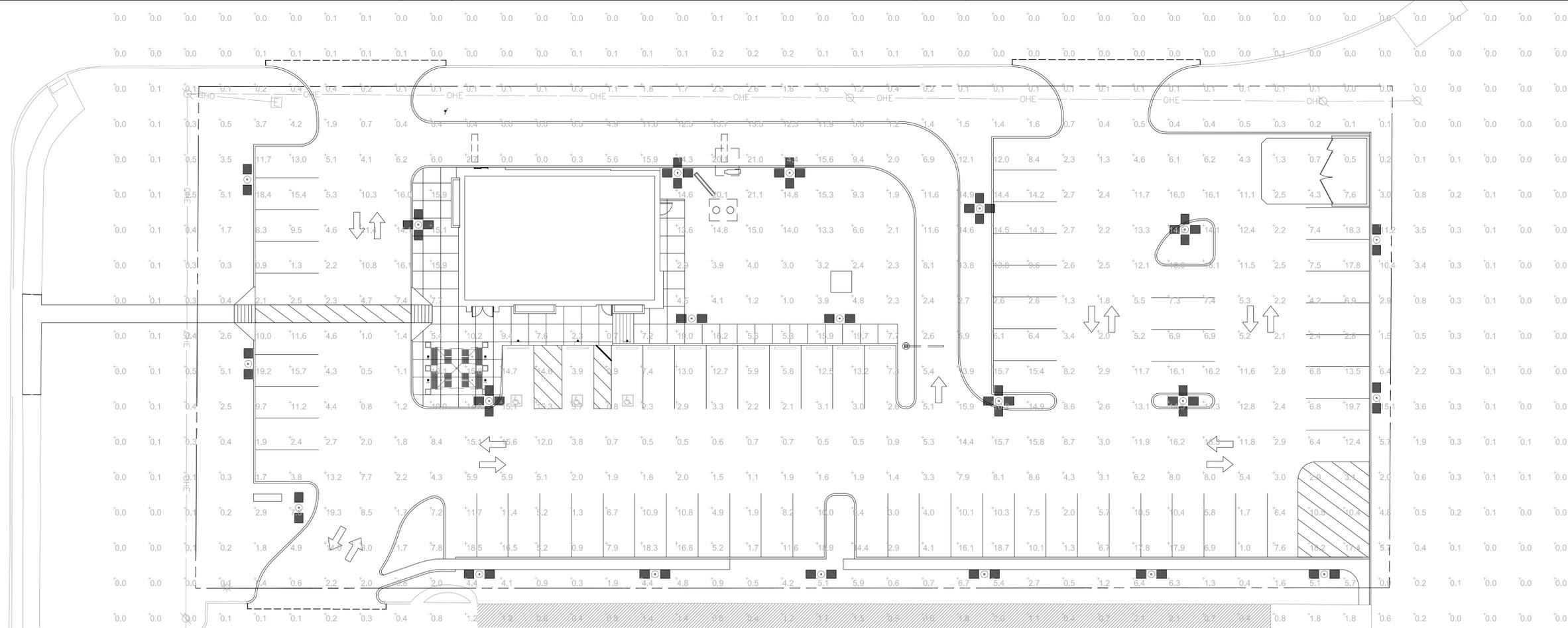


SYMBOL	LABEL	QUANTITY	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMP	NUMBER	LUMENS PER LAMP	LIGHT LOSS FACTOR	WATTAGE
□ □ □ □	A	8	LITHONIA LIGHTING	DSX1 LED 1 S0870040K SR5 MVOLT	DSX1 LED 1 LIGHT ENGINE, 700mA DRIVER, 4000K LED, TYPE 5 OPTICS	73.5-WATT LED, AIMED DOWN POS.	1	5769.595	1	73.5
□ □	C	13	LITHONIA LIGHTING	DSX1 LED 1 S0870040K FT MVOLT	DSX1 LED 1 LIGHT ENGINE, 700mA DRIVER, 4000K LED, TYPE FT OPTICS	73.5-WATT LED, AIMED DOWN POS.	2	5819.947	1	73.5

DSX1 LED 2 4
Scale= NTS A-100

POLE MOUNTING DETAIL 3
Scale= NTS A-100

SCHEDULE 2
Scale= NTS A-100



PHOTOMETRIC SITE PLAN 1
Scale= 1/16" = 1'-0" A-100



PANDA RESTAURANT GROUP INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

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REVISIONS:

NO.	DESCRIPTION

ISSUE DATE:

PERMIT	DATE

DRAWN BY:

PANDA PROJECT #: S8-13-D3372
ARCH PROJECT #: 261-78



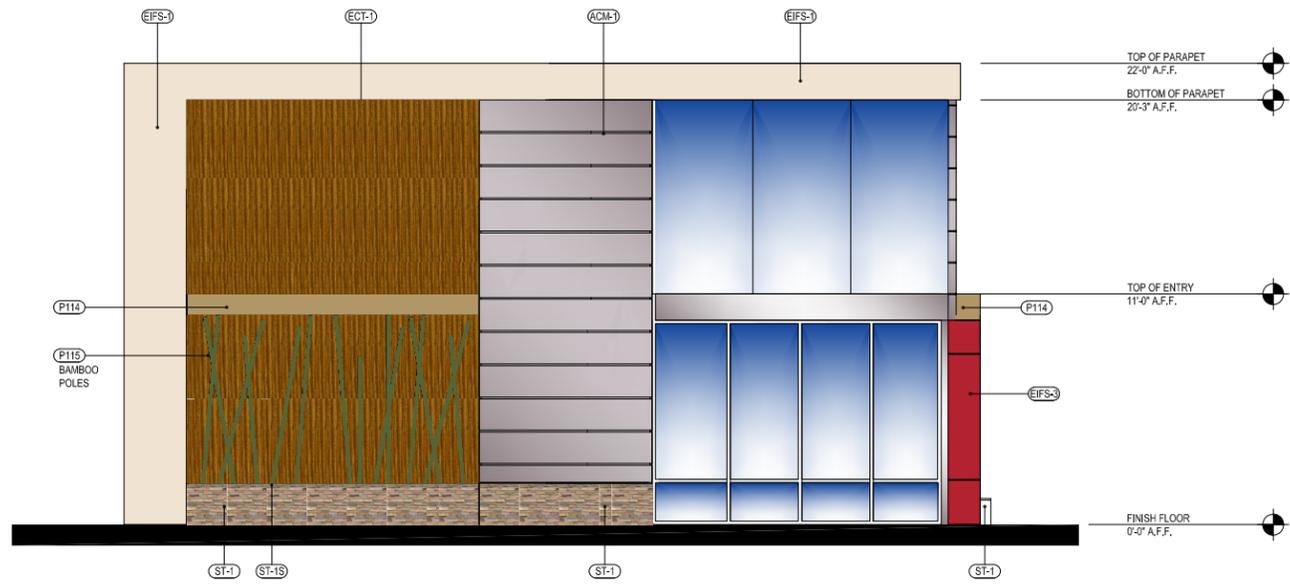
PANDA EXPRESS
MEDIUM - BRIGHT AND FRESH
105th ST. & S. MEMORIAL DR.
BIXBY, OK

A-100.1

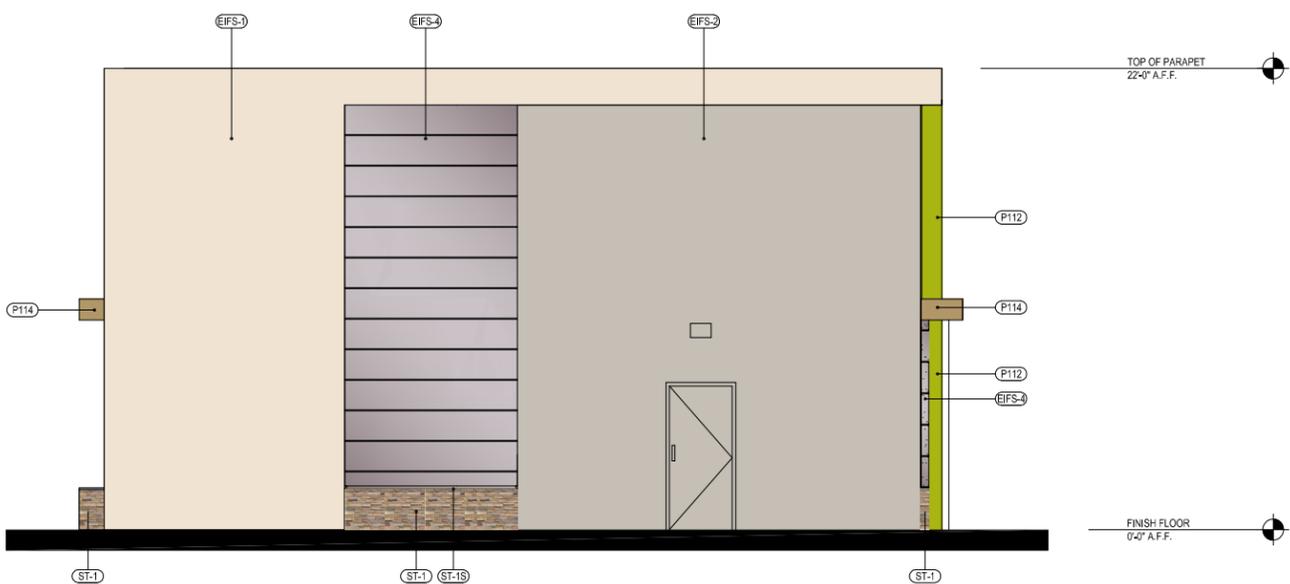
PHOTOMETRIC SITE PLAN

EXTERIOR FINISH SCHEDULE

NO	MANUFACTURER	MFG#	COLOR	FINISH	NOTES
(EIFS-1)	STO	STOTHERM ESSENCE SYSTEM	93330 - CHAMPAGNE	SAND PEBBLE FINE	BUILDING BODY
(EIFS-2)	STO	STOTHERM ESSENCE SYSTEM	11404 - BRUSHED PEWTER	SAND PEBBLE FINE	BUILDING BODY
(EIFS-3)	STO	STOTHERM METALLIC SYSTEM	SW 7588	ULTRA SMOOTH METALLIC FINISH	ENTRY PORTAL
(EIFS-4)	STO	STOTHERM METALLIC SYSTEM	SW7073 NETWORK GREY	ULTRA SMOOTH METALLIC FINISH	ENTRY PORTAL
(P112)	SHERWIN-WILLIAMS	SW 6919	FUSION (GREEN)	SATIN, LATEX	BUILDING TRIM
(P96)	SHERWIN WILLIAMS	SW 7588	SHOW STOPPER	SATIN, LATEX	ENTRY, WALL ACCENTS
(P114)	SHERWIN-WILLIAMS	SW 6082	COBBLE BROWN	SATIN, LATEX	AWNINGS
(P115)	SHERWIN-WILLIAMS	SW 6433	INVERNESS	SATIN, LATEX	BAMBOO POLES
(ST-15)	ADVANCED CAST STONE	-	SAND DRIFT	DRY TAMP	PLANTER STONE CAP
(ST-1)	DAL-TILE	MS79	TIDEWATER	MESA LEDGESTONE	PLANTERS
(ECT-1)	CMC	-	PORTO PLANK	6 X 48	BUILDING ACCENT TILE
(ACM-1)	ALPOLIC	4MM4HLZ.5	DM HLZ ALUMINUM	AAMA 508 RAIN SCREEN SYSTEM	ALUMINUM COMPOSITE MATERIAL



FRONT ELEVATION 1
Scale = 1/4" = 1'-0" A-200



REAR ELEVATION 2
Scale = 1/4" = 1'-0" A-200



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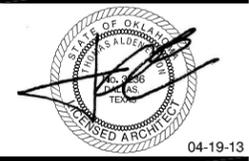
REVISIONS:

ISSUE DATE:

PERMIT	03-15-13

DRAWN BY:

PANDA PROJECT #: S8-13-D3372
ARCH PROJECT #: 261-78



04-19-13

PANDA EXPRESS
MEDIUM - BRIGHT AND FRESH
105th ST. & S. MEMORIAL DR.
BIXBY, OK

A-200

EXTERIOR COLOR ELEVATIONS

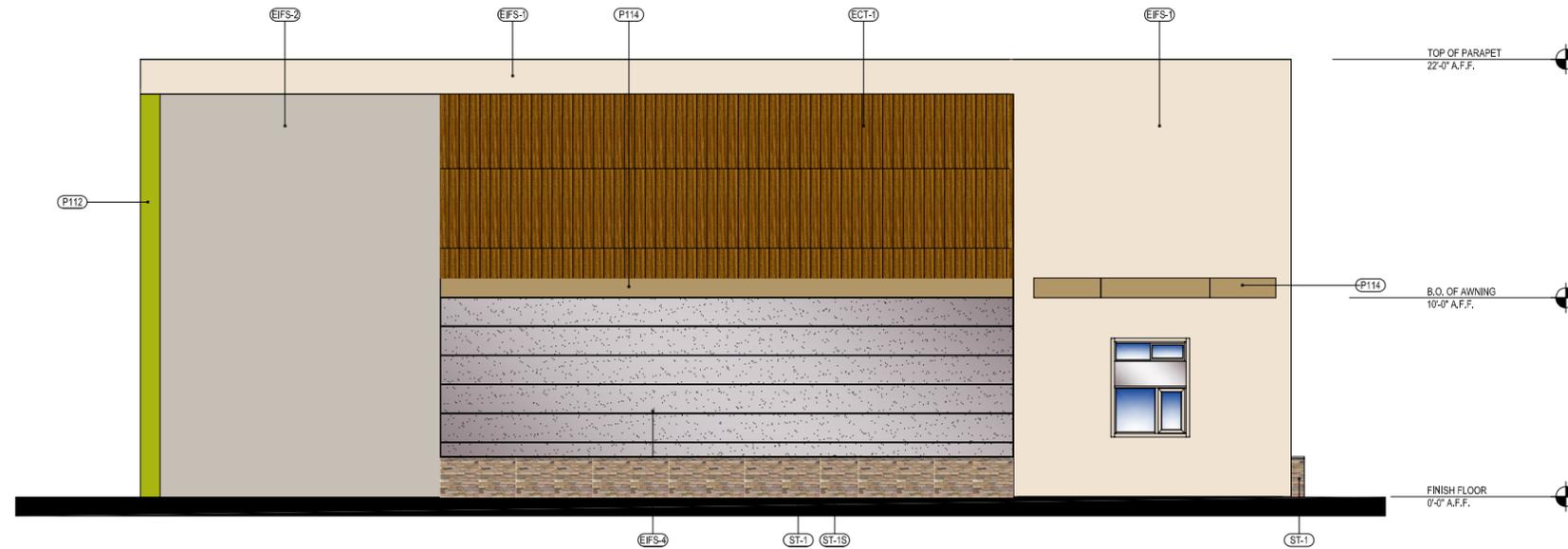
EXTERIOR FINISH SCHEDULE

NO	MANUFACTURER	MFG#	COLOR	FINISH	NOTES
(EFS-1)	STO	STOTHERM ESSENCE SYSTEM	93330 - CHAMPAGNE	SAND PEBBLE FINE	BUILDING BODY
(EFS-2)	STO	STOTHERM ESSENCE SYSTEM	11404 - BRUSHED PEWTER	SAND PEBBLE FINE	BUILDING BODY
(EFS-3)	STO	STOTHERM METALLIC SYSTEM	SW 7588 SHOW STOPPER	ULTRA SMOOTH METALLIC FINISH	ENTRY PORTAL
(EFS-4)	STO	STOTHERM METALLIC SYSTEM	SW7073 NETWORK GREY	ULTRA SMOOTH METALLIC FINISH	ENTRY PORTAL
(P112)	SHERWIN-WILLIAMS	SW 6919	FUSION (GREEN)	SATIN LATEX	BUILDING TRIM
(P98)	SHERWIN-WILLIAMS	SW 7588	SHOW STOPPER	SATIN LATEX	ENTRY, WALL ACCENTS
(P114)	SHERWIN-WILLIAMS	SW 6082	COBBLE BROWN	SATIN LATEX	AWNINGS
(P115)	SHERWIN-WILLIAMS	SW 6433	INVERNESS	SATIN LATEX	BAMBOO POLES
(ST-1S)	ADVANCED CAST STONE	-	SAND DRIFT	DRY TAMP	PLANTER STONE CAP
(ST-1)	DAL-TILE	MS79	TIDEWATER	MESA LEDGESTONE	PLANTERS
(ECT-1)	CMC	-	PORTO PLANK	6 X 48	BUILDING ACCENT TILE
(ACM-1)	ALPOLIC	4MMHL23.5	DM HLZ ALUMINUM	AAMA 508 RAIN SCREEN SYSTEM	ALUMINUM COMPOSITE MATERIAL



ENTRY SIDE ELEVATION 1

Scale = 1/4" = 1'-0" A-201



DRIVE THROUGH ELEVATION 2

Scale = 1/4" = 1'-0" A-201



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REVISIONS:

NO.	DESCRIPTION

ISSUE DATE:

PERMIT	DATE
	03-15-13

DRAWN BY:

PANDA PROJECT #: S8-13-D3372
 ARCH PROJECT #: 261-78



PANDA EXPRESS
 MEDIUM - BRIGHT AND FRESH
 105th ST. & S. MEMORIAL DR.
 BIXBY, OK

A-201

EXTERIOR COLOR ELEVATIONS

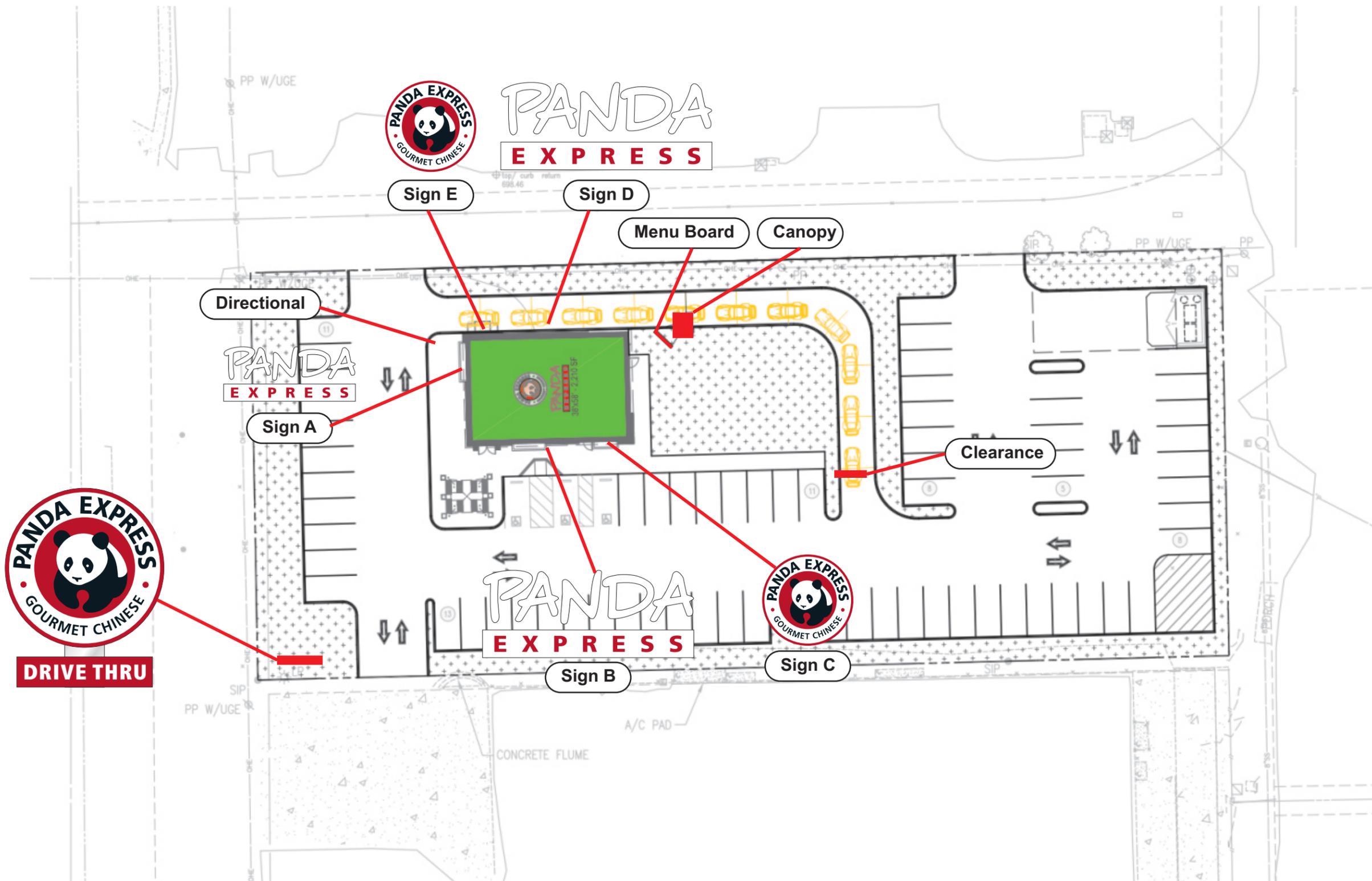
Panda Express
105th & Memorial
Tulsa, OK
November, 2012

3 04/18/13



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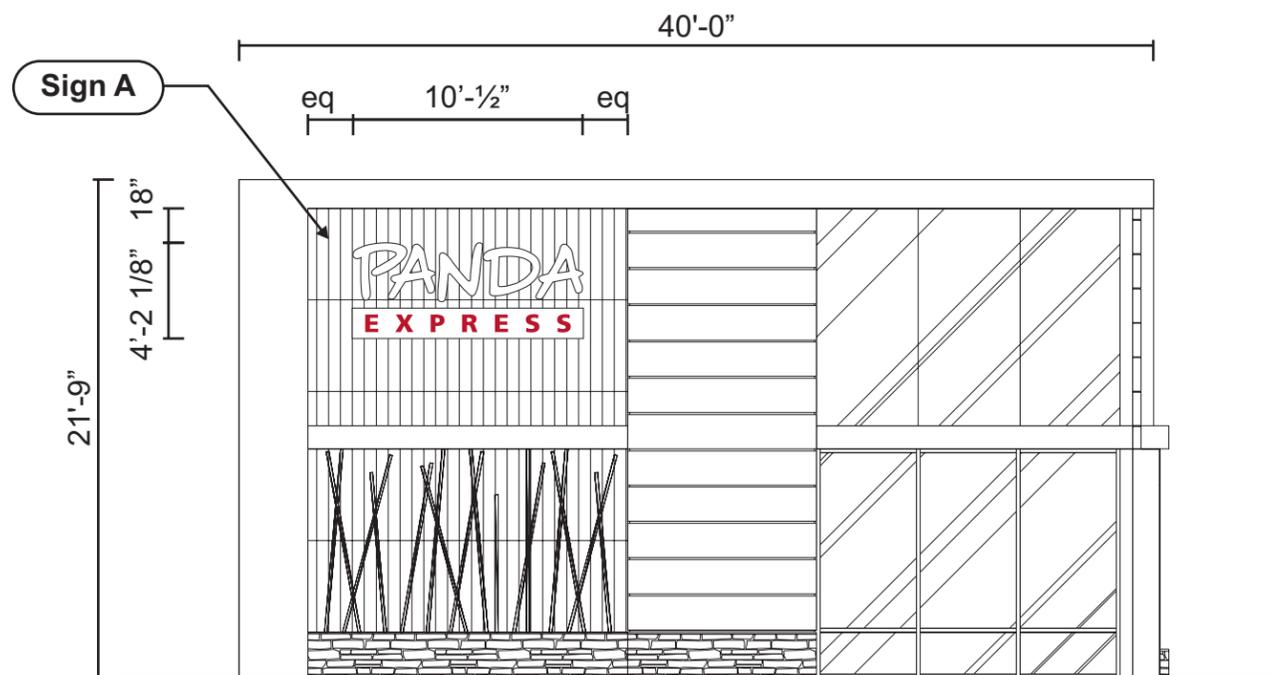
Client Review Status	Notes	Date / Description	Project Information
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Name _____		11/29/12 Δ New Site	105th & Memorial
Title _____ Date _____		01/11/13 Δ R2	Tulsa, OK
		04/18/13 Δ R3	File Tulsa, OK PANDA.177
		- Δ -	Sales CB Design DE/BH/AV PM AR

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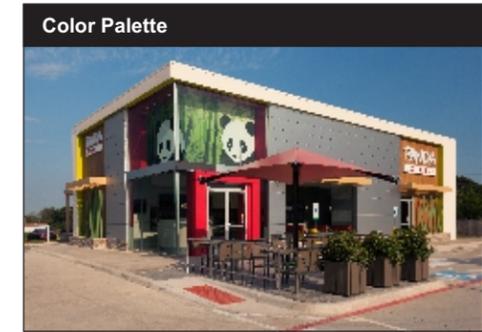
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Sign A	Short Elevation		
Size	Height	Width	SF
2'6" stacked white letterset	4'-2 1/8"	10'-1/2"	40.20sf
Code allowance	3sf x 1ft of building frontage per elevation		
Purposed			



Short Storefront Elevation
Scale: 1/8" = 1'-0"



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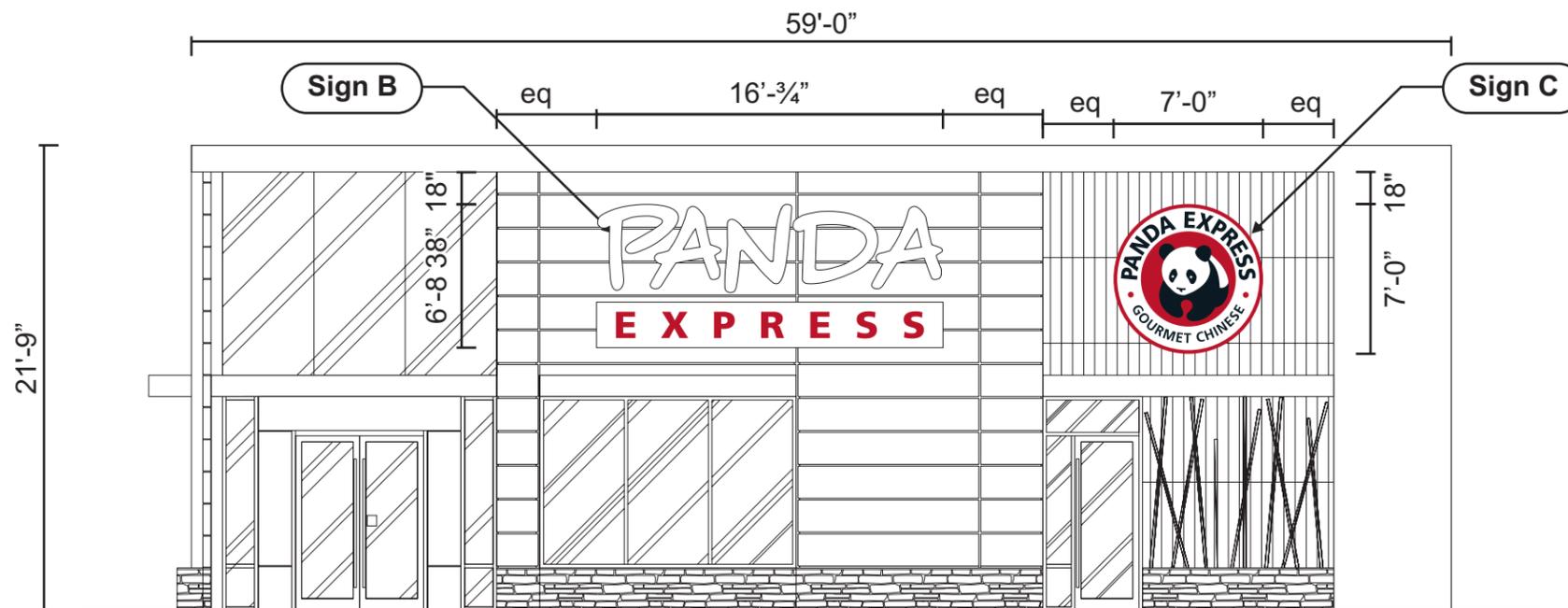
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Sign B	Long Elevation		
Size	Height	Width	SF
4' stacked white letterset	6'-8 3/8"	16'-3/4"	108.22sf
Code allowance	3sf x 1ft of building frontage per elevation		

Sign C	Long Elevation		
Size	Height	Width	SF
7' logo	7'	7'	49sf
Code allowance	3sf x 1ft of building frontage per elevation		



Long Storefront Elevation
Scale: 1/8" = 1'-0"

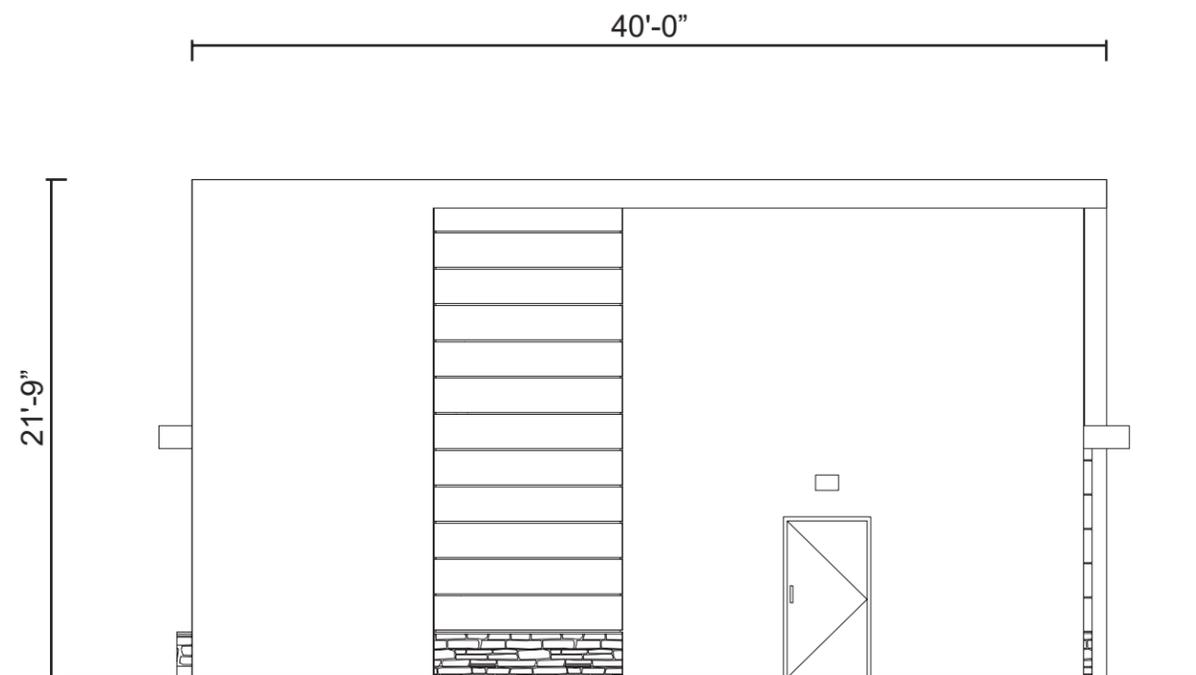


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Name _____		11/29/12 <input checked="" type="checkbox"/> New Site	105th & Memorial
Title _____		01/11/13 <input checked="" type="checkbox"/> R2	Tulsa, OK
		04/18/13 <input checked="" type="checkbox"/> R3	File Tulsa, OK PANDA.177
		- <input checked="" type="checkbox"/> -	Sales CB Design DE/BH/AV PM AR

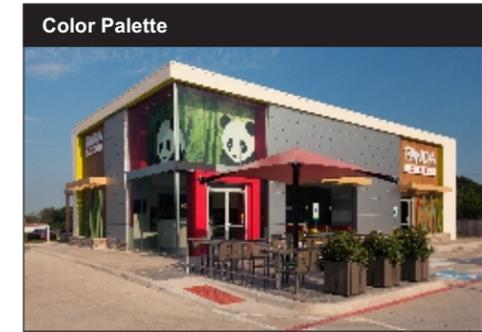
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Rear Elevation
Scale: 1/8" = 1'-0"



Color Palette



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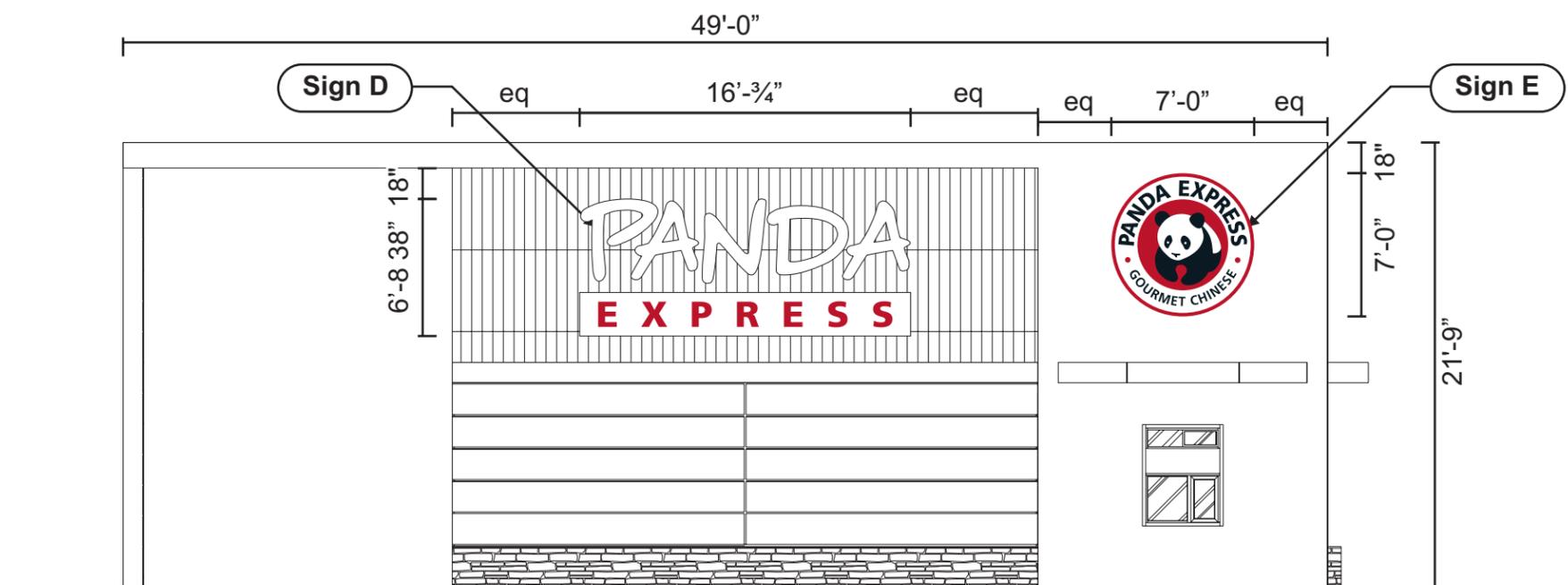
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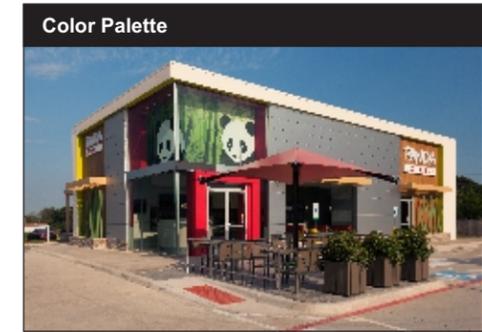
3 04/18/13

Sign D	Drive thru elevation		
Size	Height	Width	SF
4' stacked white letterset	6'-8 3/8"	16'-3/4"	108.22sf
Code allowance	3sf x 1ft of building frontage per elevation		

Sign E	Drive thru Elevation		
Size	Height	Width	SF
7' logo	7'	7'	49sf
Code allowance	3sf x 1ft of building frontage per elevation		



Drive Thru Elevation
Scale: 1/8" = 1'-0"

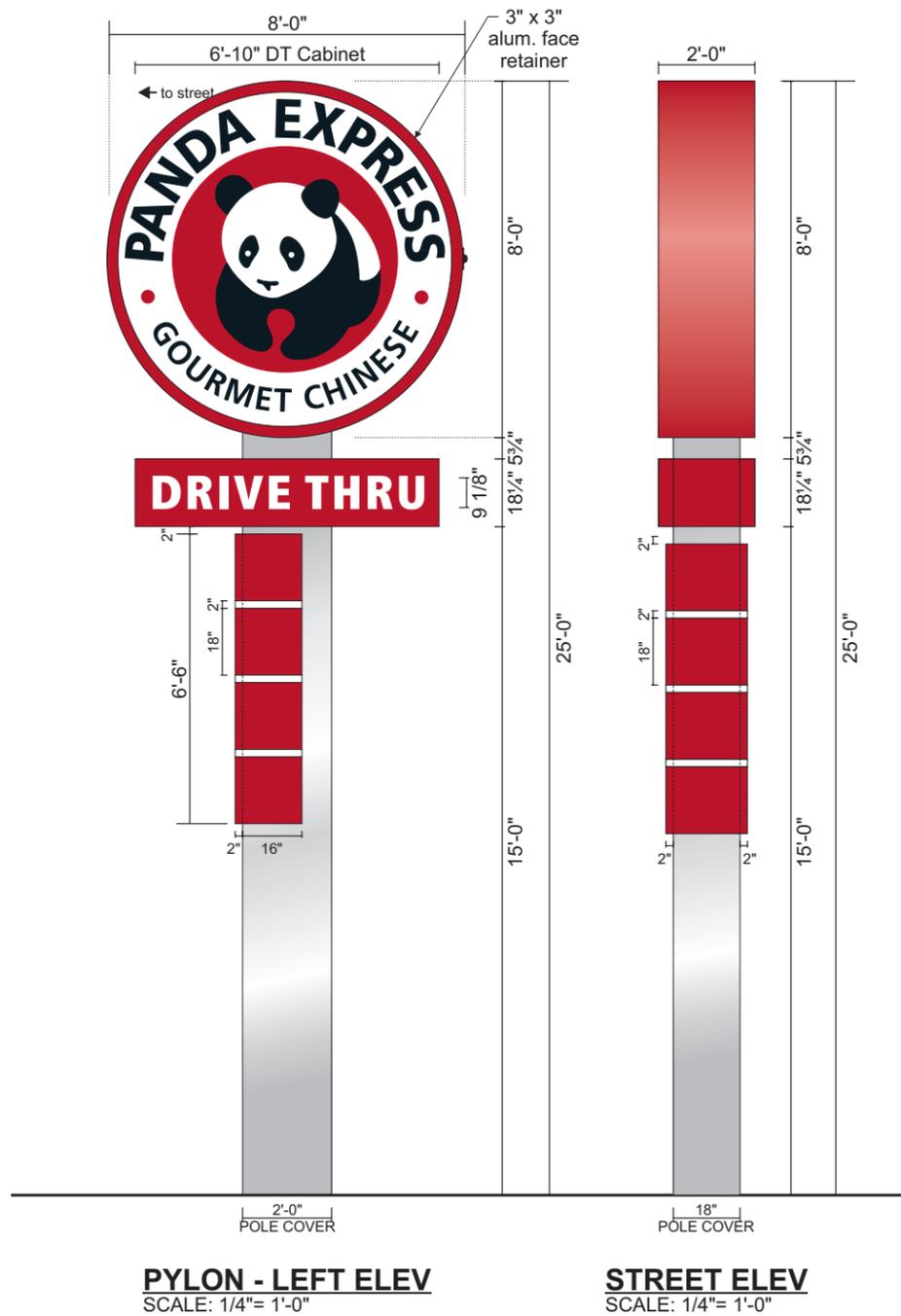


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Name _____		11/29/12 <input type="checkbox"/> New Site	105th & Memorial
Title _____		01/11/13 <input type="checkbox"/> R2	Tulsa, OK
		04/18/13 <input type="checkbox"/> R3	File Tulsa, OK PANDA.177
		- <input type="checkbox"/> -	Sales CB Design DE/BH/AV PM AR

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- A MAIN CABINET**
24"D FABRICATED CABINET WITH .090" CLADDING. LOGO DISC TO BE STANDARD CONSTRUCTION FLEX FACES ILLUMINATED WITH LED'S ON BAFFLES. ACCESS PANELS IN CABINET AS NECESSARY FOR INSTALL AND MAINTENANCE. EACH CABINET TO HAVE ELEC DISCONNECT SWITCH ON SAME SIDE FOR SERVICE.
- B MAIN CABINET GRAPHICS**
LOGO DISC: 3M PANAGRAPHSICS III FLEX FACE WITH SURFACE APPLIED VINYL DECALS.
ILLUMINATION
2'-0" CABINETS USE DOUBLE-SIDED LED MODULES ON ALUM. RAILS SUSPENDED ON A CENTRAL RAIL
4'-0" CABINETS USE VERTICALLY MOUNTED SINGLE-SIDED LED AREA LIGHTS SUSPENDED ON A CENTRAL RAIL
- C DECOR PANELS**
.063" ALUMINUM PANELS WITH REFLECTIVE WHITE VINYL STRIPING.
COLOR: PANDA RED, REFLECTIVE WHITE
POLE COVER
FABRICATED .090" ALUMINUM.
COLOR: AKZO NOBEL BRUSHED ALUMINUM
25' and under OAH to Grade gets decor and pole cladding, over 25' OAH gets no cladding, brushed aluminum painted pole.
- D DRIVE THRU CABINETS**
.090" ALUMINUM FABRICATED CABINETS WITH .090" ALUM FACES; ROUTED AND BACKED GRAPHICS.
DRIVE THRU TEXT: .177" SG 404 #7328 WHITE POLYCARBONATE.
ILLUMINATION
SINGLE SIDED LED MODULES MOUNTED INSIDE BACK WALL OF 6" OR 10" DEEP CABINETS
- E FOOTING**
INSTALLATION TO BE AS PER ENGINEERED COMPUTATIONS PER SIGN LOCATION TO MEET ALL LOCAL AND STATE BUILDING CODE REQUIREMENTS.
ELECTRICAL SERVICE AND CONNECTION TO SIGN TO BE PROVIDED BY OTHERS. ELEC SERVICE TO MEET ALL STATE AND LOCAL BUILDING CODES
- LIGHT OUTPUT**
LIGHT OUTPUT TO BE MEASURED AFTER CONSTRUCTION / MIN MAX AGREEMENT
- Project Colors:**
 - Panda Red (Custom Mix)
 - Brushed Aluminum Finish
 - White
 - Black

Sign F	Pylon		
Size	Height	Width	SF
8' logo	8'	8'	64sf
Code allowance	over all height 25ft not to exceed 2sf x 11' of property frontage		

Allen Industries FILE NUMBER: E18202 **UL LISTED** **ELECTRIC SIGN** THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN. **GROUNDING ELECTRICAL CONNECTIONS**



Client Review Status	Notes	Date / Description	Project Information
<input type="checkbox"/> Approved <input type="checkbox"/> Approved as Noted <input type="checkbox"/> Revise & Resubmit	-	11/16/12 Issue Date	Client Panda Express
Name _____		11/29/12 New Site	105th & Memorial
Title _____		01/11/13 R2	Tulsa, OK
		04/18/13 R3	File Tulsa, OK PANDA.177
		-	Sales CB Design DE/BH/AV PM AR

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CITY OF BIXBY
P.O. Box 70
116 W. Needles Ave.
Bixby, OK 74008
(918) 366-4430
(918) 366-6373 (fax)

STAFF REPORT

To: Bixby Planning Commission
From: Erik Enyart, AICP, City Planner *EE*
Date: Tuesday, May 14, 2013
RE: Report and Recommendations for:
BSP 2013-03 – Grand Bank – Sisemore, Weisz & Associates, Inc. (PUD 65)

LOCATION: – 8200 E. 101st St. S.
– Lot 5, Block 1, *101 Memorial Square*

SIZE: 53,399 square feet; 1.2259 acres, more or less

EXISTING ZONING: CS Commercial Shopping Center District

SUPPLEMENTAL ZONING: – PUD 65 for “101 Memorial Square”
– Corridor Appearance District

DEVELOPMENT TYPE: Approval of Detailed Site Plan including as elements: (1) Detailed Site Plan, (2) Detailed Landscape Plan, and (3) Detailed Lighting Plan, (4) Detailed Sign Plan, and (5) building plans and profile view / elevations pursuant to PUD 65 for a Use Unit 11 bank and retail development

SURROUNDING ZONING AND LAND USE:

North: (across 101st St. S.) CO (Corridor)/PUD-411C; “South Town Market” commercial development, including *Super Target*, all in the City of Tulsa.

South: CS, CG, PUD 65 & PUD 63; The new *Sprouts Farmers Market* specialty grocery store and the new *Whataburger* fast-food restaurant, both in *101 Memorial Square*, the *Andy's Frozen Custard* frozen custard restaurant under construction in *101 South Memorial Plaza*, and 102nd St. S.

- East: (across 83rd E. Ave.) CS & CS/PUD 63; Vacant north balance of Tract C, *101 South Memorial Center* zoned CS, the *Holiday Inn Express & Suites Tulsa South/Bixby* in *101 South Memorial Plaza* zoned CS with PUD 63, and 85th E. Ave.
- West: CS/PUD 378 & AG; *CVS/Pharmacy* and (across Memorial Dr. in the City of Tulsa) commercial in the *Memorial Crossing* shopping center and a new *US Cellular* store in *Blockbuster Center*. The *QuikTrip* gas station is to the northwest zoned CS in the City of Tulsa.

COMPREHENSIVE PLAN: Corridor + Medium Intensity + Commercial Area

PREVIOUS/RELATED CASES: (Not necessarily a complete list and does not include TMAPC-jurisdiction areas)

BZ-89 – Ron Koepp – Request for rezoning from AG to CG for 3.6 acres including part of *101 Memorial Square* (includes subject property) – Recommended for Approval by PC 04/28/1980 and Approved by City Council 05/19/1980 (Ord. # 401).

BZ-148 – John Moody for William E. Manley, et al. – Request for rezoning from AG to CG (amended to CS) for the area which was eventually platted as *101 Memorial Square*, including subject property, less the southerly 0.96 acres (more or less) thereof – Recommended for Approval by PC 10/31/1983 and Approved by City Council 11/07/1983 (Ord. # 496).

BBOA-341 – Roy D. Johnsen for William E. Manley – Request for Special Exception to allow used car sales on the northwest 0.7 acres of the area which was eventually platted as *101 Memorial Square* (includes subject property) – Denied by BOA 11/02/1998 – Notice of Appeal in District Court found in case file but with no followup information as to its ultimate disposition.

BBOA-409 – Eric Sack for William & Betty Manley – Request for Variance to Chapter 11, Section 1140(d) “Unenclosed off-street parking areas shall be surfaced with an all-weather material,” and a Special Exception per Chapter 10 Section 1002.3(a) “Temporary open air activities, may continue for a period not to exceed thirty days per each application.... for the sale of Christmas Trees, wreaths, bows and other seasonal goods from November 25, 2003 through December 24, 2003 for area which was eventually platted as *101 Memorial Square*, including subject property – Withdrawn by Applicant in September 2003.

BBOA-410 – Eric Sack for William & Betty Manley – Request for Variance to Chapter 11, Section 1140(d) “Unenclosed off-street parking areas shall be surfaced with an all-weather material,” and a Special Exception per Chapter 10 Section 1002.3(a) “Temporary open air activities, may continue for a period not to exceed thirty days per each application.... for the sale of Halloween related items such as pumpkins, gourds, hay and other seasonal goods and related activities such as pony rides and miniature train rides, from September 26, 2003 through October 31, 2003 for the area which was eventually platted as *101 Memorial Square*, including subject property – Withdrawn by Applicant in September 2003.

PUD 65 – 101 Memorial Square – Manley 101st & Memorial, LLC – Request for PUD approval for area which was eventually platted as *101 Memorial Square*, including subject property – Recommended for Conditional Approval by PC 11/17/2008 and Conditionally Approved by City Council 01/05/2009 (Ord. # 2007 [1007]).

Preliminary Plat of 101 Memorial Square – Manley 101st & Memorial, LLC – Request for Preliminary Plat approval for area which was eventually platted as *101 Memorial Square*,

including subject property – Recommended for Conditional Approval by PC 11/17/2008 and Conditionally Approved by City Council 11/24/2008.

Final Plat of 101 Memorial Square – Request for Final Plat approval for area which was eventually platted as *101 Memorial Square*, including subject property – Recommended for Conditional Approval by PC 02/17/2009 and Conditionally Approved by City Council 03/02/2009 (plat recorded 03/27/2009, Plat # 6282).

AC-09-02-02 – CVS/Pharmacy – Jacobs Carter Burgess – Request for Detailed Site Plan approval for Lot 1, Block 1, *101 Memorial Square* – Architectural Committee Conditionally Approved 02/17/2009. Developer Appealed the Approval in order to do away with the landscaped berm and Council took no action on 03/09/2009 based on the City Attorney's opinion that the Council had removed the berm requirement for this Detailed Site Plan upon the approval of the Final Plat of *101 Memorial Square*.

BSP 2009-01 – CVS/Pharmacy – Jacobs Carter Burgess – Request for Detailed Site Plan approval for Lot 1, Block 1, *101 Memorial Square* as required by PUD 65 – PC Conditionally Approved 02/17/2009. Developer Appealed the Approval in order to do away with the landscaped berm and Council took no action on 03/09/2009 based on the City Attorney's opinion that the Council had removed the berm requirement for this Detailed Site Plan upon the approval of the Final Plat of *101 Memorial Square*.

BBOA-547 – Kimley-Horn & Associates, Inc. – Request for Special Exception per Zoning Code Section 11-10-2.H to allow a total of 40 parking spaces, in excess of the 24 space maximum standard for a proposed Whataburger restaurant in the CG and CS districts with PUD 65 for the S. 189.99' of Lot 3, Block 1, *101 Memorial Square* to the south of subject property – BOA Approved 11/07/2011.

BL-382 – Sisemore, Weisz & Associates, Inc. – Request for Lot-Split approval for Lot 3, Block 1, *101 Memorial Square* located to the south of subject property – PC Approved 11/21/2011 subject to the attachment of the north 54.56' to Lot 2, Block 1, *101 Memorial Square*.

AC-11-01-02 – Whataburger – Kimley-Horn & Associates, Inc. – Request for Detailed Site Plan approval for a Use Unit 12 fast-food restaurant for the S. 189.99' of Lot 3, Block 1, *101 Memorial Square* abutting subject property to the south – PC Conditionally Approved 11/21/2011.

PUD 65 – 101 Memorial Square – Major Amendment # 1 – Request for approval of a Major Amendment to PUD 65, including subject property, which amendment proposed changes to parking and signage requirements for the *Sprouts Farmers Market* abutting subject property to the south – PC Recommended Approval 04/16/2012 and City Council Approved 04/23/2012 (Ord. # 2082).

BSP 2012-01 / AC-12-04-05 – “Sprouts Farmers Market” – Sisemore, Weisz & Associates, Inc. – Request for Detailed Site Plan approval for a Use Unit 13 specialty grocery store development in *101 Memorial Square* abutting subject property to the south – PC Conditionally Approved 04/16/2012.

BACKGROUND INFORMATION:

ANALYSIS:

Property Conditions. The subject property consists of Lot 5, Block 1, *101 Memorial Square*, is zoned CS with PUD 65, and is presently vacant. It is moderately sloped and will drain through

an underground stormsewer system in a southeasterly direction to the Oliphant Drainage and Detention system (an upstream portion of Fry Creek # 1).

General. The submitted plan-view Site Plan drawing consists of "Detail Site Plan" drawing DSP-1 by Sisemore, Weisz & Associates, Inc. Per DSP-1, the 1-story building will have 6,840 square feet of floor area, including the bank's 4,511 square feet and the retail shop's 2,329 square feet. Based on building elevations drawings A6 and A7, the bank's parapet wall will be at an elevation of 25' and the retail shop's parapet wall will be at an elevation of 20'. The bank's pitched roof beyond the parapet is not dimensioned, but appears to be roughly 7', and so the building will peak at approximately 32'.

The Site Plan represents a suburban-style design with urban features, and indicates the proposed internal automobile traffic and pedestrian flow and circulation and parking. The subject property lot conforms to PUD 65 and, per the plans generally, the 1-story building would conform to the applicable bulk and area standards for PUD 65 and the underlying CS district. The bank portion of the building will have an elevated stature befitting its use, achieved by having an 'attic' for storage above the first floor ceiling. The building complex will feature an enclosed courtyard on the east side and an informal courtyard/patio area, formed in part by a curved retaining wall, on the west side, next to the retail shop.

Fire Marshal's and City Engineer's memos are attached to this Staff Report (if received). Their comments are incorporated herein by reference and should be made conditions of approval where not satisfied at the time of approval.

The Technical Advisory Committee (TAC) reviewed this application on May 01, 2013. The Minutes of the meeting are attached to this report.

Access and Internal Circulation. The subject property will access 101st St. S. via an existing north-south roadway which crosses through the western part of the subject property. The roadway connects *Sprouts Farmers Market* in Lots 2, 4, and part of Lot 3, Block 1, *101 Memorial Square* to 101st St. S. Its connection at 101st St. S. is also used for access to the subject property and *CVS/Pharmacy* on Lot 1, Block 1, *101 Memorial Square*, abutting to the west. The roadway is located within existing Mutual Access Easements (MAEs) by separate instrument and/or the recorded plat of *101 Memorial Square*.

Along the south side of the subject property is an east-west roadway shared with *Sprouts Farmers Market* and built with that project earlier this year. It is contained within an MAE by separate instrument.

The subject property will also have driveway connections to 83rd E. Ave. at the north and south sides of the building. The bank's three (3) drive-through exit lanes will be part of the connection to the south of the building.

The provided drawings indicate driveway access points and the widths of the proposed driveways. Curb return radii have not been provided, but need to be. All these dimensions must comply with applicable standards and City Engineer and/or Fire Marshal requirements.

A sidewalk will flank the north/front, west/side, and part of the south/rear of the building, and will connect pedestrians from the existing sidewalk along 101st St. S. and the proposed sidewalk along 83rd E. Ave. (reference Zoning Code Section 11-10-4.C). The sidewalk widths are dimensioned on the plans and appear appropriate. The sidewalk along 83rd E. Ave. is (in significant part) located within a 5' Sidewalk Easement per the plat of *101 Memorial Square*, but is not identified on DSP-1.

The proposed Use Unit 11 bank and the retail shop (Use Unit not yet known) are not large enough to require a loading berth, and none are proposed.

Parking Standards. The "Detail Site Plan" drawing DSP-1 indicates a total of 31 parking spaces. Zoning Code Section 11-10-2.H provides a "minimum plus 15%" maximum parking number cap, to prevent excessive parking that results in pressure to reduce greenspaces on the development site.

The Applicant has provided calculations as follows, which are consistent with Staff's interpretation (which allows rounding-up if so claimed):

"OFF-STREET PARKING SHALL BE PROVIDED AS REQUIRED BY THE APPLICABLE USE UNIT OF THE BIXBY ZONING CODE. EACH SPACE WILL BE A MINIMUM OF 9' WIDTH AND 18' IN DEPTH. THE MINIMUM NUMBER OF PARKING SPACES REQUIRED FOR THE PROPOSED FINANCIAL INSTITUTION USE IS 16, BASED UPON THE 4,511 SF OF BUILDING FLOOR AREA AND PARKING SPACE REQUIREMENT OF 1 PARKING SPACE PER 300 SF OF BUILDING FLOOR AREA. THE MINIMUM NUMBER OF PARKING SPACES REQUIRED FOR THE PROPOSED RETAIL USE IS 11, BASED UPON THE 2,329 SF OF BUILDING FLOOR AREA AND PARKING SPACE REQUIREMENT OF 1 PARKING SPACE PER 225 SF OF BUILDING FLOOR AREA (ACTUAL NUMBER OF PARKING SPACES PROPOSED FOR SITE = 31)."

Therefore, the site complies with the minimum and maximum parking space standards.

The proposed 9'/10' X 18' regular parking space dimensions comply with the minimum standards for the same per PUD 65.

The two (2) handicapped-accessible parking spaces would comply with the minimum number required by ADA standards (Table 208.2 Parking Spaces / IBC Table 1106.1 Accessible Parking Spaces).

ADA guidelines require one (1) van-accessible design for the handicapped-accessible space, for up to seven (7) accessible spaces (reference New ADAAG Section 208.2.4, DOJ Section 4.1.2(5)b, and IBC/ANSI Section 1106.5). The Site Plan indicates one (1) ADA space will be of van-accessible design, as required.

The regular and van-accessible handicapped-accessible parking spaces and access aisles are dimensioned and indicate compliance with the space width and striping standards of Zoning Code Section 11-10-4.C Figure 3.

The parking lot is subject to a 10' minimum setback from 101st St. S. and a 7.5' setback from 83rd E. Ave. per Zoning Code Section 11-10-3.B Table 1. Dimensions provided on the plan indicate that these setbacks will be met along both streets.

The plans show internal drives and parking spaces being paved over the 17.5' Perimeter Utility Easement along the north side of the subject property. Paving over public Utility Easements is subject to City Engineer and Public Works Director approval.

Screening/Fencing. The Zoning Code does not require a sight-proof screening fence for the subject property, as it does not abut an R district. No fences are proposed.

PUD 65 provides:

“All trash, mechanical and equipment areas (excluding utility service transformers, pedestals or equipment provided by a franchise utility providers), including building mounted, shall be screened from public view in such a manner that the areas cannot be seen by a person standing at ground level.”

The trash dumpster enclosure area is identified at the southeast lot corner, and compliance with this standard is further indicated in a note on the site plan. The appearance and details of the enclosure have not been submitted, and are respectfully requested (profile view/elevations, with notation as to materials to be used, colors, and opacity of walls and gates).

Landscape Plan. The Landscape Plan consists of “Landscape Plan (Northern Portion)” drawing L1 and “Landscape Plan (Southern Portion)” plan sheet L2 by architect Jack Arnold, AIA. The proposed landscaping is compared to the Zoning Code as follows:

1. 15% Street Yard Minimum Landscaped Area Standards (Section 11-12-3.A.1): Standard is not less than 15% of Street Yard area shall be landscaped. The Street Yard is the required Zoning setback, which is 60' from the 101st St. S. right-of-way per PUD 65. The subject property does not have a “Street Yard” along S. 83rd E. Ave., as that street has no right-of-way and the setback applies to the property line (presumably the centerline of S. 83rd E. Ave.) per PUD 65. A 10' parking lot setback / landscaped strip is proposed along 101st St. S., to include landscaping trees. $10' / 60' =$ approximately 16 2/3%. The Landscape Summary notes also demonstrate compliance. **This standard is met.**
2. Minimum Width Landscaped Area Strip Standards (Section 11-12-3.A.2 and 11-12-3.A.7): Standard is minimum Landscaped Area strip width shall be 10' along 101st St. S., and a 10' parking lot setback / landscaped strip is proposed, to include landscaping trees, as required.

The subject property does not have the typical 7.5' landscaped strip requirement along S. 83rd E. Ave., as that street has no right-of-way and the setback applies to the property line (presumably the centerline of S. 83rd E. Ave.) per PUD 65. Instead, PUD 65 specifically calls for a 7.5'-width landscaped strip. A landscaped

strip measuring at least 11' is proposed along S. 83rd E. Ave., to include landscaping trees. **This standard is met.**

3. 10' Buffer Strip Standard (Section 11-12-3.A.3): Standard requires a minimum 10' landscaped strip between a parking area and an R Residential Zoning District. There are no R districts abutting. **This standard is not applicable.**
4. Building Line Setback Tree Requirements (Section 11-12-3.A.4): Standard is one (1) tree per 1,000 square feet of building line setback area. Excluding the building line setback along 101st St. S. (which is a Street Yard), PUD 65 provides a 25' setback along the east property line (presumably the centerline of S. 83rd E. Ave., but no setbacks for interior lot lines. Tree requirement calculations are as follows:

East line @ 248.59' X 25' = 6,214.75 square feet / 1,000 = 7 trees. Seven (7) Burford Holly trees are proposed in this setback area. **This standard is met.**

5. Maximum Distance Parking Space to Landscaped Area Standard (Sections 11-12-3.B.1 and 11-12-3.B.2): Standard is no parking space shall be located more than 50' from a Landscaped Area, which Landscaped Area must contain at least one (1) or two (2) trees. **This standard is met.**
6. Street Yard Tree Requirements (Section 11-12-3.C.1.a): Standard is one (1) tree per 1,000 square feet of Street Yard. The Street Yard is the Zoning setback along an abutting street right-of-way. There is a Street Yard for 101st St. S., but not for 83rd E. Ave. (see Building Line Setback Tree Requirements section).

The subject property has 213.17' of frontage along 101st St. S., which has a 60' setback per PUD 65. 213.17' X 60' = 12,790.2 square feet / 1,000 = 13 trees required in the 101st St. S. Street Yard. Nine (9) Oklahoma Redbud trees are identified. Two (2) larger trees (perhaps canopy forms) are indicated but not identified. Three (3) "Nellie Stevens Hollies" and 18 "Sky Rocket Junipers" are indicated but are not identified as to tree or shrub forms. **Compliance with this standard cannot be determined.**

7. Tree to Parking Space Ratio Standard (Section 11-12-3.C.2): Standard is one (1) tree per 10 parking spaces. The "Detail Site Plan" drawing DSP-1 indicates a total of 31 parking spaces. 31 / 10 = 3.1 = 4 (1/10 of a tree is not possible, and minimum numbers of required trees are not rounded-down) trees required by this standard. Excluding trees elsewhere accounted for, 5 Burford Holly trees proposed along the west side of the property. **This standard is met.**
8. Parking Areas within 25' of Right-of-Way (Section 11-12-3.C.5.a): Standard would be met upon and as a part of compliance with the tree standard per Section 11-12-3.C.1.a.
9. Irrigation Standards (Section 11-12-3.D.2): A note on "Landscape Plan (Northern Portion)" drawing L1 states "All landscape area required by the Landscape Ordinance shall be irrigated by an underground sprinkler system." Zoning Code Section 11-12-4.A.7 requires the submission of plans for irrigation. An irrigation plan was not submitted. **This standard is not met.**
10. Miscellaneous Standards (Sections 11-12-4.A.5, 11-12-3.C.7, 11-12-3.D, etc.): The tree planting diagram(s), reported heights and calipers of the proposed trees, the notes on the drawings, and other information indicate compliance with other miscellaneous standards, with the following exceptions:

- a. Please label the larger unidentified trees at the northeast and northwest lot corners.
- b. Certain elements of the "Landscape Summary" are inconsistent with the City of Bixby's interpretation as provided herein and should be reconciled or removed.
- c. The Burford Holly trees proposed in partial satisfaction to landscaping requirements are indicated at 4' to 5' in height. Zoning Code Section 11-12-3.C.7.b requires a minimum 5' height for conifer/evergreen trees. Please amend to not less than 5' in height.
- d. Certain other plants proposed in partial satisfaction to landscaping requirements, including two (2) unidentified (perhaps canopy form) [trees] at the northeast and northwest corners, three (3) "Nellie Stevens Hollies," 18 "Sky Rocket Junipers," and certain crape myrtles. Per internet sources, it would appear that some of these may be classified as trees, while others appear to be shrubs. If they are intended to be recognized as trees, the Applicant's Architect, Landscape Architect, or Engineer should provide a statement to that effect, preferably on the plan sheet. This would also aid the plan executors in selecting the correct tree form cultivar.
- e. Five (5) Burford Holly trees are represented along the west side of the property, but the label indicates there would be seven (7). Please reconcile.

Until the above are resolved, **this standard is not met.**

11. Lot Percentage Landscape Standard (Section 11-7I-5.F; PUDs only): Standard is 15% of an office lot must be landscaped open space. Staff was not able to locate information to demonstrate compliance with this standard. **Compliance with this standard cannot be determined.**

Exterior Materials and Colors. Elevations drawings A1 and A2 indicate the proposed exterior materials and overall appearance. Color information was not provided, but is no longer required within the Corridor Appearance District per Ordinance # 2091 approved September 10, 2012, and is not required by PUD 65. Per Ordinance # 2107 adopted January 14, 2013, Zoning Code Section 11-7G-5.A now requires within the Corridor Appearance District:

"All sides of buildings facing public streets shall be full masonry to the first floor top plate, to include brick, stucco, EIFS or similar masonry like product, stone, finished concrete tilt-up panels, or some combination thereof."

The exterior material, including the north/101st St. S.-facing building elevation, will primarily consist of (1) Stucco and (2) what appears to be a brick base (but not labeled), with various trim materials (including "cast stone trim" cornices over the windows). Block-like structures are located along the sides of window and door areas, but their composition is not indicated. The materials should comply with the new standard. However, the Applicant should identify what appears to be brick material at the base of the building and the block-like structures on the sides of the window areas for review for compliance with the masonry requirements of the Corridor Appearance District.

The pitched roof over the bank portion of the building will be "Barrel Clay Tile." The flat roofs over the retail shop portion of the building and parts of the front and rear elevations of the bank portion will be hidden by parapet walls.

Outdoor Lighting. The lighting plans consist of drawings SL1 and SL2 and elevations drawings A1 and A2 and indicate the location of pendant and pole- and wall-mounted lights ("lamps"). All proposed lights appear typical for the proposed bank/retail application, in terms of locations, but appear to be fairly upscale fixtures. According to drawing SL1, the pole- and wall-mounted light fixtures will be mounted at approximately 17' and 12' in height, respectively. The three (3) pendant lights will illuminate the arcade-style portico covering the north/front entryway. PUD 65 has a 20' maximum height restriction for lights. Although the height for the pendant lights is not shown on SL1 (or SL2), their locations are identified on SL1 and their relative heights are indicated on elevation drawing A1. They are indicated at a height just above the wall-mounted lights but well below the 20' top of parapet of the retail shop portion of the building. Therefore, those, too, will comply with the 20' maximum height. There are no residential areas remotely close to the subject property. The proposed lighting complies with applicable standards and appears appropriate for this development in its context.

Signage. The sign plan consists of drawings ST-1.0, ST-2.0, ST-3.0, and ST-4.0 by Claude Neon Federal Signs (CNF Signs), Inc.

Per PUD 65, the maximum ground sign height standard applicable to the subject property is 25'. Display surface area and other signage standards are as per the underlying Zoning district.

Per ST-4.0, the existing ground sign, located toward the center of the 101st St. S. frontage of the subject property per DSP-1, is identical to the one in front of the *Sprouts Farmers Market* abutting to the south in *101 Memorial Square*, save that the top-most of the two cabinets reflects the business on whose lot the respective sign is located. Both signs were constructed at the same time with the *Sprouts Farmers Market* project. The sign on the subject property complies with the 25' maximum height and maximum display surface area standard. Per Zoning Code Sections 11-2-1 and 11-9-21.F, any sign not physically located on the lot containing the business would be recognized as an "Outdoor Advertising Sign (Billboard)," which are not permitted in Bixby. Therefore, if a singular ground sign located on the subject property contained a second sign cabinet for the *Sprouts Farmers Market*, and vice-versa, those would be unallowable "Outdoor Advertising Signs." However, the approved PUD 65 Major Amendment # 1 now allows "... a total of two (2) 25' height double-cabinet display sign advertising the Sprouts store and the proposed business to the north ("Bank" or future user, to be constructed upon Lot 5, Block 1, 101 Memorial Square) shall be permitted, provided that only one (1) such sign along each respective arterial street frontage (S. Memorial Dr. and E. 101st St. S.) shall be allowed upon the respective Sprouts store and Bank or future use development lots as conceptually illustrated upon the signage plan documentation provided with the Sprouts Detail Site Plan documentation under separate application." Therefore, both ground signs are allowed to cross-advertise each business on the different lots.

ST-1.0 and ST-2.0 indicate the "Grand Bank" wall signs will be applied only to the north-facing (front) and south-facing (back) elevations of the building. Both will comply with maximum display surface area standards.

Most commercial developments of this size will have incidental signage for traffic control and general identification information, and the ST-3.0 drawing indicates the locations of two (2) directional signs. Zoning Code Section 11-9-21.C.3.k allows standard directional signs at a maximum of three (3) square feet in display surface area, but each would have six (6) square feet. However, they may be permitted as the second ground sign allowed on the 101st St. S. frontage, and the first allowed on the 83rd E. Ave. frontage, and the aggregate display surface area will not exceed that allowed by Zoning Code Sections 11-7I-4.B.3.b and 11-9-21.D.3.

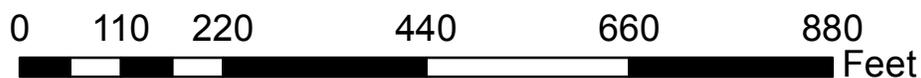
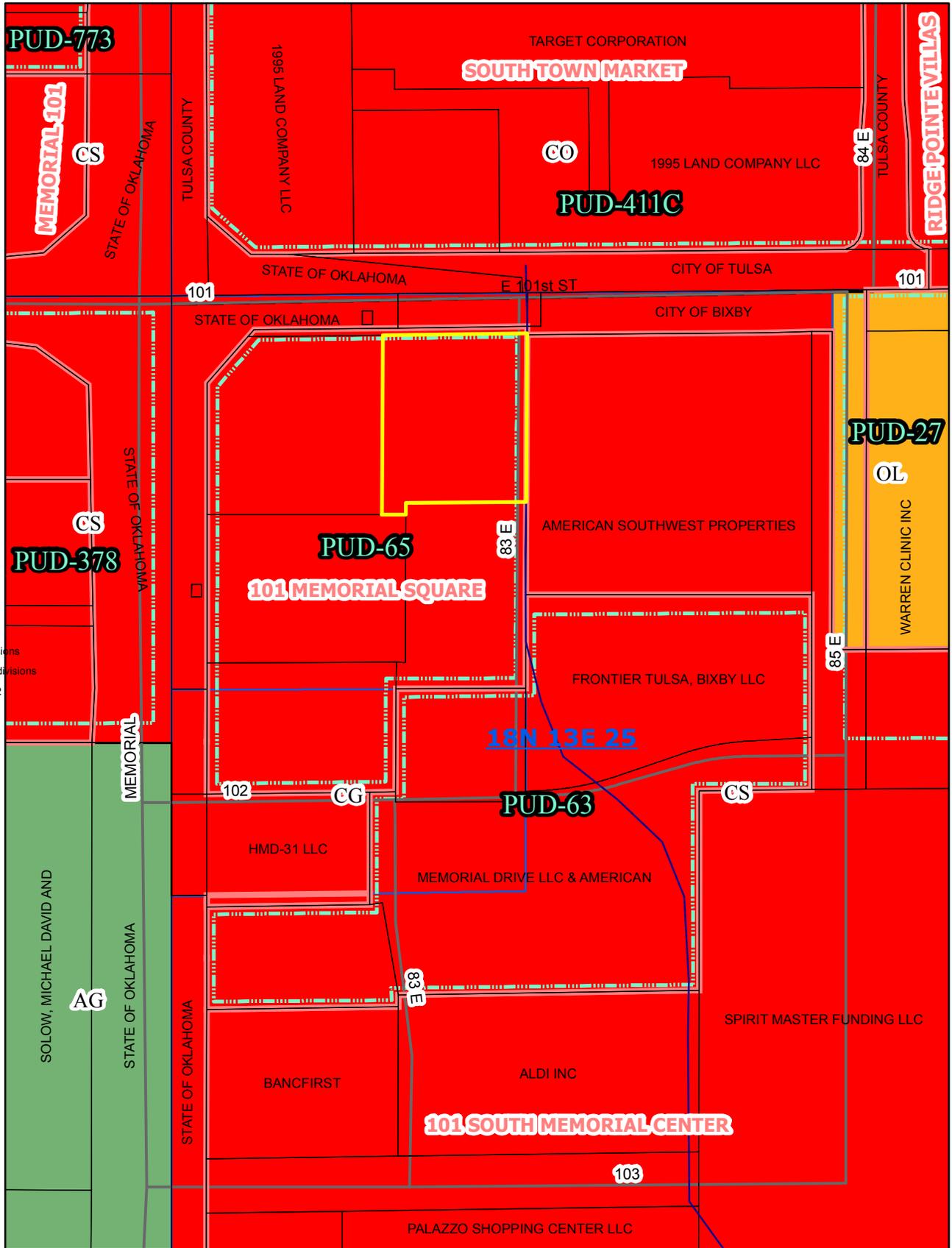
Signs reserving the ADA accessible parking spaces and directional signage painted to the pavement of the driveways (not visible from adjoining public streets) should conform to applicable standards or are otherwise exempt per Federal standards.

Staff Recommendation. The Detailed Site Plan adequately demonstrates compliance with the Zoning Code and is in order for approval, subject to the following corrections, modifications, and Conditions of Approval:

1. This PUD Detailed Site Plan approval additionally constitutes the site plan approval requirement within the Corridor Appearance District.
2. Subject to compliance with all Fire Marshal and City Engineer recommendations and requirements.
3. Please label proposed curb return radii.
4. The proposed driveways and their curb return radii must comply with applicable standards and City Engineer and/or Fire Marshal requirements.
5. The plans show internal drives and/or parking spaces being paved over the 17.5' Perimeter Utility Easement along the north side of the subject property. Paving over public Utility Easements is subject to City Engineer and Public Works Director approval.
6. Please label the 5' Sidewalk Easement per the plat of *101 Memorial Square*.
7. Please submit appearance and details for the trash dumpster enclosure area (profile view/elevations, with notation as to materials to be used, colors, and opacity of walls and gates).
8. Please resolve the Street Yard Tree Requirements (Section 11-12-3.C.1.a) matter as described in the Landscape Plan analysis above.
9. Please resolve the Irrigation Standards (Section 11-12-3.D.2) matter as described in the Landscape Plan analysis above.
10. Please resolve the Miscellaneous Standards (Sections 11-12-4.A.5, 11-12-3.C.7, 11-12-3.D, etc.) matter as described in the Landscape Plan analysis above.
11. Please resolve the Lot Percentage Landscape Standard (Section 11-7I-5.F; PUDs only) matter as described in the Landscape Plan analysis above.
12. Please identify what appears to be brick material at the base of the building and the block-like structures on the sides of the window and door areas for review for compliance with the masonry requirements of the Corridor Appearance District.
13. Please submit complete, corrected copies of the Detailed Site Plan incorporating all of the corrections, modifications, and conditions of approval as follows: Two (2) full-size hard copies, one (1) 11" X 17" hard copy, and one (1) electronic copy (PDF preferred).

14. Minor changes in the placement / locating individual trees or parking spaces, or other such minor site details, are approved as a part of this Detailed Site Plan, subject to administrative review and approval by the City Planner. The City Planner shall determine that the same are minor in scope and that such changes are an alternative means for compliance and do not compromise the original intent, purposes, and standards underlying the original placement as approved on this Detailed Site Plan, as amended. An appeal from the City Planner's determination that a change is not sufficiently minor in scope shall be made to the Board of Adjustment in accordance with Zoning Code Section 11-4-2.

BSP 2013-03 – Grand Bank – Sisemore, Weisz & Associates, Inc. (PUD 65)



Memo

To: ERIK ENVART, AICP, CITY PLANNER

From: JIM SWEEDEN

Date: 2/24/2013

Re:

SITE PLANS ARE APPROVED BY THIS OFFICE AS PER CODES:

- 1) SPRINKLER SYSTEM PER NFPA 13.
- 2) ICC CODES 2009
- 3) ENSURE FIRE DEPARTMENT CONNECTIONS (FDC) IS NO FURTHER THAN 150' FROM A FIRE HYDRANT.
- 4) MINIMUM TWO (2) EXITS SHALL BE PROVIDED, (IN GRAND BANK AREA)
- 5) HARD SURFACE CAPABLE TO HANDLE THE IMPOSED LOAD OF 75,000 POUNDS, SHALL BE PLACE BEFORE CONSTRUCTION GOES VERTICAL.



Jim Sweeden

From: "Joey Wiedel" <firemarshal@bixby.com>
To: "Erik Enyart" <eenyart@bixby.com>
Cc: <fireenforce@bixby.com>
Sent: Thursday, April 11, 2013 1:11 PM
Subject: Grand Bank

Erik,

Below is a few comments of items Grand Bank will need to take into consideration. I will comment further when I receive more detailed plans.

- 1) Sprinkler System per NFPA 13.
- 2) ICC codes 2009
- 3) Ensure Fire Department Connections FDC is no further than 150' from a fire hydrant.
- 4) Minimum two (2) exits shall be provided, (in Grand Bank area)
- 5) Hard surface capable to handle the imposed load of 75,000 pounds, shall be in place before construction goes vertical.

Joey Wiedel/ Fire Marshal
City of Bixby Fire Dept.
116 W. Needles
Bixby, Ok 74008
PH: (918)366-0436
F: (918)366-4416

No virus found in this incoming message.

Checked by AVG - www.avg.com

Version: 9.0.932 / Virus Database: 2641.1.1/5739 - Release Date: 04/11/13 13:34:00

151

4/23/2013

Erik Enyart

From: Jared Cottle
Sent: Tuesday, April 16, 2013 9:40 AM
To: Erik Enyart; Bea Aamodt; Bill May
Subject: RE: Grand Bank

Erik,

Our water line is within the road right-of-way so the encroachment into the new 17.5' U/E should not pose any problems for our lines.

Jared Cottle, City Engineer
City of Bixby
Ph: 918/366-4430
Fax: 918/366-4416

From: Erik Enyart
Sent: Tuesday, April 16, 2013 9:35 AM
To: Jared Cottle; Bea Aamodt; Bill May
Subject: FW: Grand Bank

All:

I didn't see you were copied on this. FYI on this updated plan.

Jared/Bea: They moved the dumpster area off the 5' U/E. There is still a strip of parking along the north side in the 17.5' Perimeter U/E. Please advise if any objections.

Thanks,

Erik

From: Darin Akerman [mailto:dakerman@sw-assoc.com]
Sent: Tuesday, April 16, 2013 9:15 AM
To: Erik Enyart
Cc: Jim Sweeden; 'Joey Wiedel (firemarshal@bixby.com)'; Greg Weisz; jstanton@jackarnold.com; james@cnfsigns.com; 'Dale Bennett'; rgrogg@fkiengineers.com; dwells@jackarnold.com; jack@jackarnold.com; dcagle@jackarnold.com; 'CNF Signs-Wade Sanders'
Subject: RE: Grand Bank

Erik: Thanks for the preliminary input in your 4/15 4:12 p.m. e-mail below re: Grand Bank project. Attached you and all of the project team members will find an updated version of the Detail Site Plan sheet (in PDF and AutoCAD format) which I believe satisfactorily addresses your comments. Within the next couple of days we anticipate receipt of complete landscaping plan, lighting plan, and signage plan digital documents from the respective design consultants. Once we receive such documents, we will further review and final coordinate the project documentation with the design consultants in advance of our submittal of complete digital and hard-copy Detail Site Plan documentation to your office by the 4/22/13 cutoff date. Regards,

Darin L. Akerman, AICP
Director of Planning
Sisemore, Weisz & Associates, Inc.
Ph. 918.665.3600

152

From: Erik Enyart [mailto:eenyart@bixby.com]
Sent: Monday, April 15, 2013 4:12 PM
To: Darin Akerman
Cc: Jim Sweeden; 'Joey Wiedel (firemarshal@bixby.com)'; Greg Weisz; jstanton@jackarnold.com
Subject: RE: grand bank

Hi Darin:

I haven't had the time I would like to have had to review in more detail, but I am sending a few quick comments based on a cursory review of the 1-page PDF DSP.

The site plan is clear and the overall design is to be commended. The bank entry and formal east courtyard and informal west courtyard (with retaining wall) are nice touches. I'm saying this here because the staff reports maintain a more formal tone. The review will follow the process you may be familiar with, having done a PUD DSP for Sprouts Farmers Market in this same PUD 65. I have not examined that PUD for this cursory review.

Most of review comments tend to be generated by (1) landscape plan, (2) signage, and (3) parking. (1) and (2) are not included. I see from your email today the signage is being assembled, and appears to be as comprehensive as needed for a PUD DSP.

- For parking, we have a maximum parking number standard: 15% max over minimum number required. Per your calculations, the UU 11 bank and the retail occupancy will require 27 parking spaces. $27 + (15\% \text{ of } 27 =) 4 = 31$. The plan proposes 32. A PUD Major Amendment or the reduction of 1 parking space will be needed.
- There are two ADA parking spaces shown, 1 van. Numbers (1:25 ADA:non-ADA, 1:7 van-ADA:Regular-ADA) appear correct. The regular ADA space needs to comply with Bixby's 4" "hairpin" striping standard of Zoning Code 11-10-4.C Figure 3. This can be shown in the space as represented, or in a detail diagram. Alternatively, we allow exceptions for non-regular ADA spaces: Van-accessible designs and Universal designs.
- The 101st St. S. curblineline appears to be at an angle. The 10' parking lot setback / minimum landscaped strip width is dimensioned about mid-frontage, begging the question of whether the 10' is still maintained from the northwest corner of the north-westernmost parking space.
- Sidewalks need to be dimensioned. City Code: 4' widths. I think ADA calls for 5', but allows 4' with 5' X 5' turnaround areas every 200'.
- There is a dashed linetype paralleling west side of S. 83rd E. Ave. (perhaps suggesting an easement?), in which dumpster area is located. If a U/E, requires specific approval of City Engineer and PWD for construction in U/E.
- Parking lot strip along north line encroaches 17.5' U/E, and so requires specific approval of City Engineer and PWD for construction in U/E.

Thank you for giving us the opportunity to provide early review comments, which should serve to expedite the overall review process. Please call or email if you have any questions or need additional information.

Erik Enyart

From: Darin Akerman [<mailto:dakerman@sw-assoc.com>]
Sent: Thursday, April 11, 2013 3:01 PM
To: Erik Enyart
Cc: Jim Sweeden; 'Joey Wiedel (firemarshal@bixby.com)'; Greg Weisz; jstanton@jackarnold.com
Subject: RE: grand bank

Thanks Erik. Via this e-mail, I am forward the below comments along to Greg Weisz of our firm (project civil engineer) and Jim Stanton (project architect). Regards,

Darin L. Akerman, AICP
Director of Planning
Sisemore, Weisz & Associates, Inc.
Ph. 918.665.3600
Fax 918.663.9606

From: Erik Enyart [<mailto:eenyart@bixby.com>]
Sent: Thursday, April 11, 2013 1:37 PM
To: Darin Akerman
Cc: Jim Sweeden; 'Joey Wiedel (firemarshal@bixby.com)'
Subject: RE: grand bank

Hi Darin:

I'm completely swamped right now but hope to provide some cursory review comments by Monday.

Here is the Fire Marshal's review comments

"I will comment further when I receive more detailed plans.

- 1) Sprinkler System per NFPA 13.
- 2) ICC codes 2009
- 3) Ensure Fire Department Connections FDC is no further than 150' from a fire hydrant.
- 4) Minimum two (2) exits shall be provided, (in Grand Bank area)
- 5) Hard surface capable to handle the imposed load of 75,000 pounds, shall be in place before construction goes vertical.

Joey Wiedel/ Fire Marshal
City of Bixby Fire Dept.
116 W. Needles
Bixby, Ok 74008
PH: (918)366-0436
F: (918)366-4416"

Erik Enyart, AICP, City Planner
City of Bixby, PO Box 70
Bixby, OK 74008
Ph. (918) 366-0427
Fax (918) 366-4416
eenyart@bixby.com
www.bixby.com

154

From: Darin Akerman [<mailto:dakerman@sw-assoc.com>]
Sent: Thursday, April 11, 2013 10:49 AM
To: Erik Enyart
Subject: FW: grand bank

Erik: Attached you will find a "draft" version of the Grand Bank Detail Site Plan sheet in PDF and CAD format for your review & internal circulation, as needed. If you will please e-mail the city's review comments on or before next Monday, 4/15, we would greatly appreciate it. Should you have any questions, please feel free to contact me. Regards,

Darin L. Akerman, AICP
Director of Planning
Sisemore, Weisz & Associates, Inc.
Ph. 918.665.3600
Fax 918.663.9606

From: Darin Akerman
Sent: Thursday, April 11, 2013 10:23 AM
To: 'jstanton@jackarnold.com'
Cc: 'Dale Bennett'; 'rgrogg@fkiengineers.com'; 'dwells@jackarnold.com'; 'Greg Weisz'; 'james@cnfsigns.com'; 'jack@jackarnold.com'; 'dcagle@jackarnold.com'
Subject: RE: grand bank

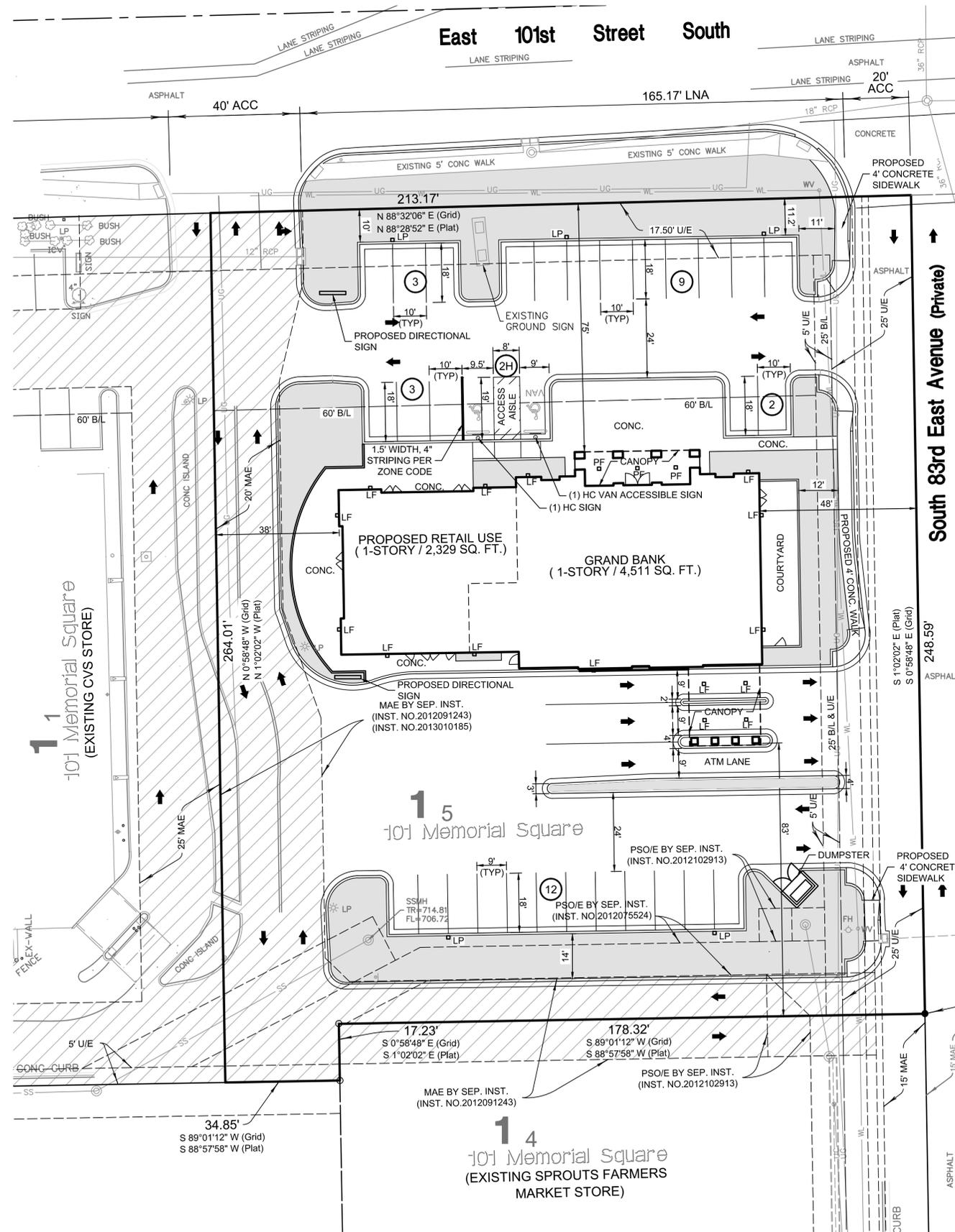
Jim: Attached is the updated site plan, per your requested modifications, in PDF and DWG format. We will e-mail these files to Erik Enyart this morning for his internal circulation, and the city's forthcoming *initial* review comments. By tomorrow or Monday, we should have such initial review comments back from city staff, which we will share with yourself and the other team members. Thanks.

Darin L. Akerman, AICP
Director of Planning
Sisemore, Weisz & Associates, Inc.
Ph. 918.665.3600
Fax 918.663.9606

No virus found in this message.
Checked by AVG - www.avg.com
Version: 2013.0.3272 / Virus Database: 3162/6238 - Release Date: 04/11/13

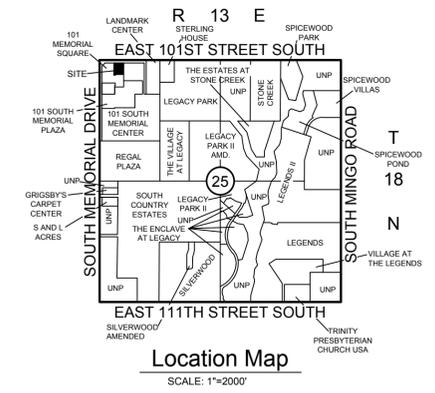
No virus found in this message.
Checked by AVG - www.avg.com
Version: 2013.0.3272 / Virus Database: 3162/6238 - Release Date: 04/11/13

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Checked by AVG - www.avg.com
Version: 2013.0.3272 / Virus Database: 3162/6246 - Release Date: 04/15/13



Legend

- (8) PARKING STALL COUNTS
- B/L = BUILDING SETBACK LINE
- U/E = UTILITY EASEMENT
- MAE = MUTUAL ACCESS EASEMENT
- SW/E = SIDEWALK EASEMENT
- RCP = REINFORCED CONCRETE PIPE
- PSO/E = PUBLIC SERVICE COMPANY OF OKLAHOMA EASEMENT
- WL = WATER LINE
- WW = WATER VALVE
- OE = OVERHEAD ELECTRIC
- LP = LIGHT POLE
- LF = LIGHT FIXTURE (WALL MOUNT OR UNDER CANOPY)
- PF = LIGHT FIXTURE (PENDANT STYLE)
- UC = UNDERGROUND CABLE
- UG = UNDERGROUND GAS
- SSMH = SANITARY SEWER MANHOLE
- UTC = UNDERGROUND TELEPHONE
- FH = FIRE HYDRANT
- SS = SANITARY SEWER
- G = GAS LINE



PUD 65-Detail Site Plan Land Area Summary & Development Standards

NET LAND AREA:
 (LOT 5, BLOCK 1, 101 MEMORIAL SQUARE);
 1.23 AC. (53,399 SF)

PERMITTED USES:
 THOSE USES PERMITTED AS A MATTER OF RIGHT IN THE CS COMMERCIAL SHOPPING DISTRICT, SUCH AS PROFESSIONAL AND MEDICAL OFFICES, RETAIL, RESTAURANTS, CONVENIENCE SERVICES AND USES CUSTOMARILY ACCESSORY TO PERMITTED USES. (ACTUAL USES = FINANCIAL INSTITUTION, AND RETAIL BUILDING)

MAXIMUM BUILDING FLOOR AREA:
 COMMERCIAL / OFFICE: NOT TO EXCEED 0.50 F.A.R. (ACTUAL F.A.R. = 0.128)

MINIMUM LOT FRONTAGE:
 ALL LOTS ALONG ARTERIAL STREET FRONTAGE OR MUTUAL ACCESS EASEMENT: 150 FT. (ACTUAL = 213.17 FT. / E. 101ST ST. S.; 248.59 FT. / S. 83RD E. AVE.)

MAXIMUM BUILDING HEIGHT:
 COMMERCIAL / OFFICE: 2 STORY (ACTUAL = 1 STORY)

OFF-STREET PARKING:
 OFF-STREET PARKING SHALL BE PROVIDED AS REQUIRED BY THE APPLICABLE USE UNIT OF THE BIXBY ZONING CODE. EACH SPACE WILL BE A MINIMUM OF 9' WIDTH AND 18' IN DEPTH. THE MINIMUM NUMBER OF PARKING SPACES REQUIRED FOR THE PROPOSED FINANCIAL INSTITUTION USE IS 16, BASED UPON THE 4,511 SF OF BUILDING FLOOR AREA AND PARKING SPACE REQUIREMENT OF 1 PARKING SPACE PER 300 SF OF BUILDING FLOOR AREA. THE MINIMUM NUMBER OF PARKING SPACES REQUIRED FOR THE PROPOSED RETAIL USE IS 11, BASED UPON THE 2,329 SF OF BUILDING FLOOR AREA AND PARKING SPACE REQUIREMENT OF 1 PARKING SPACE PER 225 SF OF BUILDING FLOOR AREA (ACTUAL NUMBER OF PARKING SPACES PROPOSED FOR SITE = 31).

MINIMUM BUILDING SETBACKS:
 FROM THE S. MEMORIAL DR. R/W: 70 FEET (ACTUAL = APPROX. 346 FT.)
 FROM THE E. 101ST ST. S. R/W: 60 FEET (ACTUAL = 75 FT.)
 FROM THE SOUTH BOUNDARY OF THE PUD: 40 FEET (ACTUAL = APPROX. 510 FT.)
 FROM THE EAST BOUNDARY OF THE PUD: 25 FEET (ACTUAL = 48 FT.)
 FROM INTERNAL SETBACKS / SIDE LOT LINES: 0 FT. (ACTUAL = 38 FT. FROM THE WEST SIDE LOT LINE)

LANDSCAPING:
 IN ADDITION TO MEETING CITY OF BIXBY ZONING CODE REQUIREMENTS, EACH DETAILED LANDSCAPE PLAN FOR LOTS 3, 4 AND 5, BLOCK 1, 101 MEMORIAL SQUARE SHALL INCORPORATE INTO THEIR DESIGN A MINIMUM 7.5 FOOT LANDSCAPE AREA ADJACENT TO THE PERIMETER, EXCEPT AT LOCATIONS OF DRIVEWAY ACCESS. (ACTUAL = 10 FT. ADJACENT TO E. 101ST ST. S., AND AVERAGES 10 FT. IN WIDTH ADJACENT TO S. 83RD E. AVE. R/W).

SIGNAGE:
 THE HEIGHT OF SIGNAGE IN THE SOUTH 150' OF 101 MEMORIAL SQUARE WILL BE DETERMINED AT THE TIME OF DETAIL SITE PLAN REVIEW. FOR THE REMAINDER OF THE PROPERTY, SIGNAGE SHALL BE LIMITED TO A HEIGHT OF 25 MEASURED AS DESCRIBED IN THE CITY OF BIXBY ZONING CODE. NO SIGN PERMITS SHALL BE ISSUED FOR SIGNS WITHIN 101 MEMORIAL SQUARE UNTIL A DETAIL SIGN PLAN HAS BEEN APPROVED BY THE BIXBY PLANNING COMMISSION.

NOTE: A DOUBLE-DISPLAY CABINET SIGN OF 25' IN HEIGHT WAS APPROVED (AS PART OF THE SPROUTS FARMERS MARKET PROJECT) NEAR THE NORTHERLY BOUNDARY OF THE GRAND BANK SITE (LOT 5, BLOCK 1). THIS SIGN HAS BEEN CONSTRUCTED AS SHOWN ON THIS PLAN AND SHALL ADVERTISE FOR THE GRAND BANK, AS WELL AS THE SPROUTS FARMERS MARKET STORE LOCATED IMMEDIATELY SOUTH OF THE GRAND BANK SITE.

LIGHTING:
 LIGHTING USED TO ILLUMINATE 101 MEMORIAL SQUARE SHALL BE A MAXIMUM HEIGHT OF 20 FEET. ALL LIGHTING SHALL BE ARRANGED TO SHIELD AND DIRECT LIGHT AWAY FROM ADJACENT RESIDENTIAL AREAS. (ACTUAL SITE LIGHTING PLAN MEETS THESE REQUIREMENTS AS SHOWN UPON THE SITE LIGHTING PLAN INCLUDED UNDER THIS APPLICATION).

TRASH, MECHANICAL AND EQUIPMENT AREAS:
 ALL TRASH, MECHANICAL AND EQUIPMENT AREAS (EXCLUDING UTILITY SERVICE TRANSFORMERS, PEDESTALS OR EQUIPMENT PROVIDED BY FRANCHISE UTILITY PROVIDER), INCLUDING BUILDING MOUNTED SHALL BE SCREENED FROM PUBLIC VIEW IN SUCH A MANNER THAT THE AREAS CANNOT BE SEEN BY PERSON STANDING AT GROUND LEVEL. (ACTUAL SCREENING HAS BEEN PROVIDED PER THESE REQUIREMENTS).

NOTES:

1. PROJECT LANDSCAPING, LIGHTING AND SIGNAGE PLAN DOCUMENTATION (BY OTHERS) INCLUDED WITHIN THIS DETAIL SITE PLAN APPLICATION SUBMITTAL.

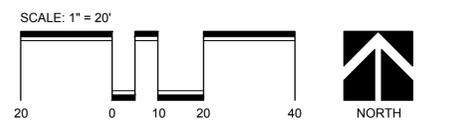
DETAIL SITE PLAN DSP-1
Grand Bank

WORK ORDER: 17098 FILE NUMBER: 1813.2540 DRAWING DATE: 4/22/13

OWNER:
 GRAND BANK
 4200 E. SKELLY DR. SUITE 200
 TULSA, OK 74135

Sisemore Weisz & Associates, Inc.
 6111 EAST 32ND PLACE
 TULSA, OKLAHOMA 74135
 C.A. NO. 2421
 PHONE (918) 666-3600
 FAX (918) 666-8668
 EXP. DATE 6/30/15

CIVIL ENGINEER:
 Sisemore Weisz & Associates, Inc.
 6111 East 32nd Place
 Tulsa, Oklahoma 74135



JA

THE PURCHASER OF THESE PLANS IS HEREBY LICENSED TO CONSTRUCT ONE HOUSE FROM THESE PLANS. ARNOLD ENTERPRISES IS THE OWNER OF THE HOUSE DESIGN ILLUSTRATED IN THESE DRAWINGS AND RESERVES ITS RIGHTS TO THESE PLANS. THESE PLANS MAY NOT BE USED AGAIN, REPRODUCED, SOLD OR ASSIGNED TO A THIRD PARTY WITHOUT THE WRITTEN PERMISSION OF ARNOLD ENTERPRISES. THE PURCHASER OF THESE PLANS ASSUMES ALL LIABILITY FOR ANY VIOLATIONS OF ANY APPLICABLE LOCAL, STATE OR FEDERAL LAWS WITH ANY AND ALL GOVERNING CODES, ORDINANCES AND COVENANTS HAVING JURISDICTION OVER THE SITE OF CONSTRUCTION AND DETERMINING ANY MODIFICATIONS NECESSARY TO MEET ACTUAL SITE CONDITIONS. IF CHANGES OR MODIFICATIONS ARE NECESSARY OR DESIRED, ONLY PERSONS QUALIFIED TO MAKE SUCH CHANGES SHOULD BE CONSULTED (I.E., PROFESSIONAL ENGINEER, ARCHITECT, BUILDING DESIGNER OR BUILDING CONTRACTOR). ARNOLD ENTERPRISES ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THESE PLANS.

A NEW BANK BUILDING FOR:

GRAND BANK

ADDRESS

NOT FOR CONSTRUCTION

DATE: 4/19/2013

JOB NO.: JOB

DRAWN BY: DRAWN

REVISED:

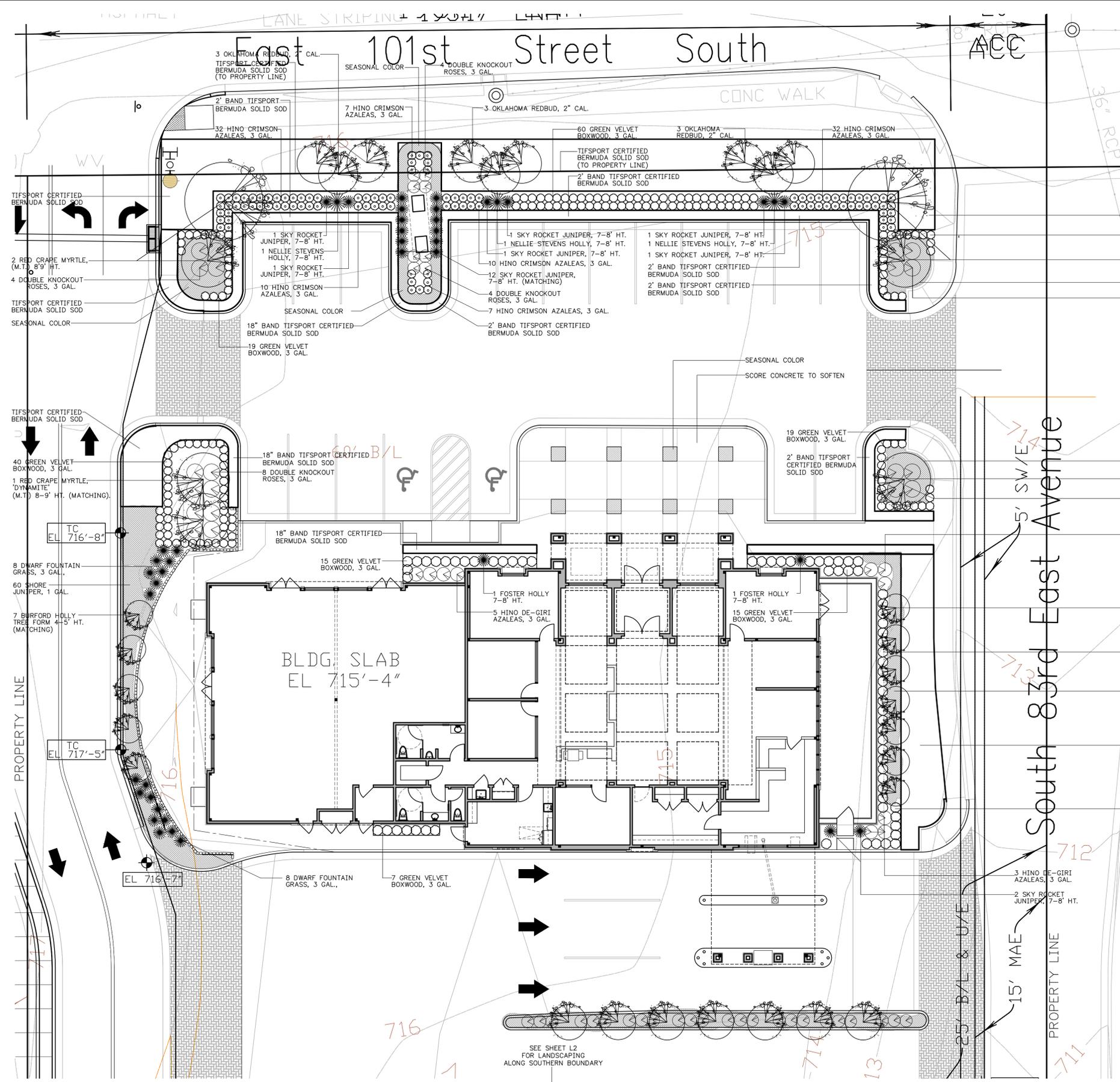
ARCHITECTURAL RESOURCES by

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Sheet:

L1



LANDSCAPE SUMMARY

8	Corpinus betulus European Hornbeam
9	Cercis reniformis 'Oklahoma' Oklahoma Redbud
2	Ilex x attenuata 'Fosteri' Fosters Holly
14	Ilex cornuta 'Burfordi' (Tree Form) Burford Holly (Tree Form)
STREET YARD AREA PER STREET FRONTAGE	
SOUTH 83RD EAST AVENUE	6,214.75 SF
LANDSCAPE AREA PER STREET YARD	REQUIRED 930 SF (15%) PROVIDED 1,084 SF (17%)
EAST 101ST STREET SOUTH	12,790 SF
LANDSCAPE AREA PER STREET YARD	REQUIRED 1,919 SF (15%) PROVIDED 2,590 SF (20%)
NUMBER OF TREES FOR PARKING AREAS 1 PER 10 STALLS	REQUIRED 3 PROVIDED 3

PLANT MATERIALS LIST

QUANTITY	NAME	SIZE	TYPE
368	Buxus microphylla var. Green Velvet Boxwood	3 gal.	Container
9	Cercis reniformis 'Oklahoma' Oklahoma Redbud	2" Cal.	B & B
2	Ilex x attenuata 'Fosteri' Fosters Holly	7-8' Ht. (Matching)	B & B
14	Ilex cornuta 'Burfordi' (Tree Form) Burford Holly (Tree Form)	4-5' Ht. (Matching)	B & B
13	Ilex x 'Nellie R. Stevens' Nellie Stevens Holly	7-8' Ht.	B & B
60	Juniperus conferta Shore Juniper	3 Gal.	Container
22	Juniperus scopulorum 'Sky Rocket' Sky Rocket Juniper	7-8' Ht. (Matching)	B & B
18	Lagerstromia indica 'Dynamite' Red Crapemyrtle 'Dynamite'	8-9' Ht. (Matching)	B & B
180	Lysimachia nummularia 'Area' Golden Moneywort	1 Gal.	Container
180	Ophiopogon japonicus Mondo Grass	1 Gal.	Container
16	Pennisetum alopecuroides 'Hameln' Dwarf Fountain Grass	3 Gal.	Container
98	Rhododendron kurume x 'Hino Crimson' Hino Crimson Azaleas	3 Gal.	Container
11	Rhododendron kurume x 'Hino De-giri' Hino De-giri Azaleas	3 Gal.	Container
73	Rosa 'Double Knockout' Double Knockout Roses	3 Gal.	Container
6,732	TIFSPORT CERTIFIED Bermuda Sod	S.F.	

NOTE:

THE MATERIAL LIST IS PROVIDED FOR THE CONTRACTOR'S CONVENIENCE. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FIGURING ALL QUANTITIES FROM THE PLANTING PLAN AND COVERAGES FOR ALL BED AREAS. WHEN DISCREPANCIES OCCUR BETWEEN THE MATERIAL LIST AND THE PLANTING PLAN, THE PLANTING PLAN SUPERSEDES THE MATERIAL LIST. THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR ALL PLANTS AND COVERAGE OF BED (I.E. MULCH, FERTILIZER AND SOIL AMMENDMENTS).

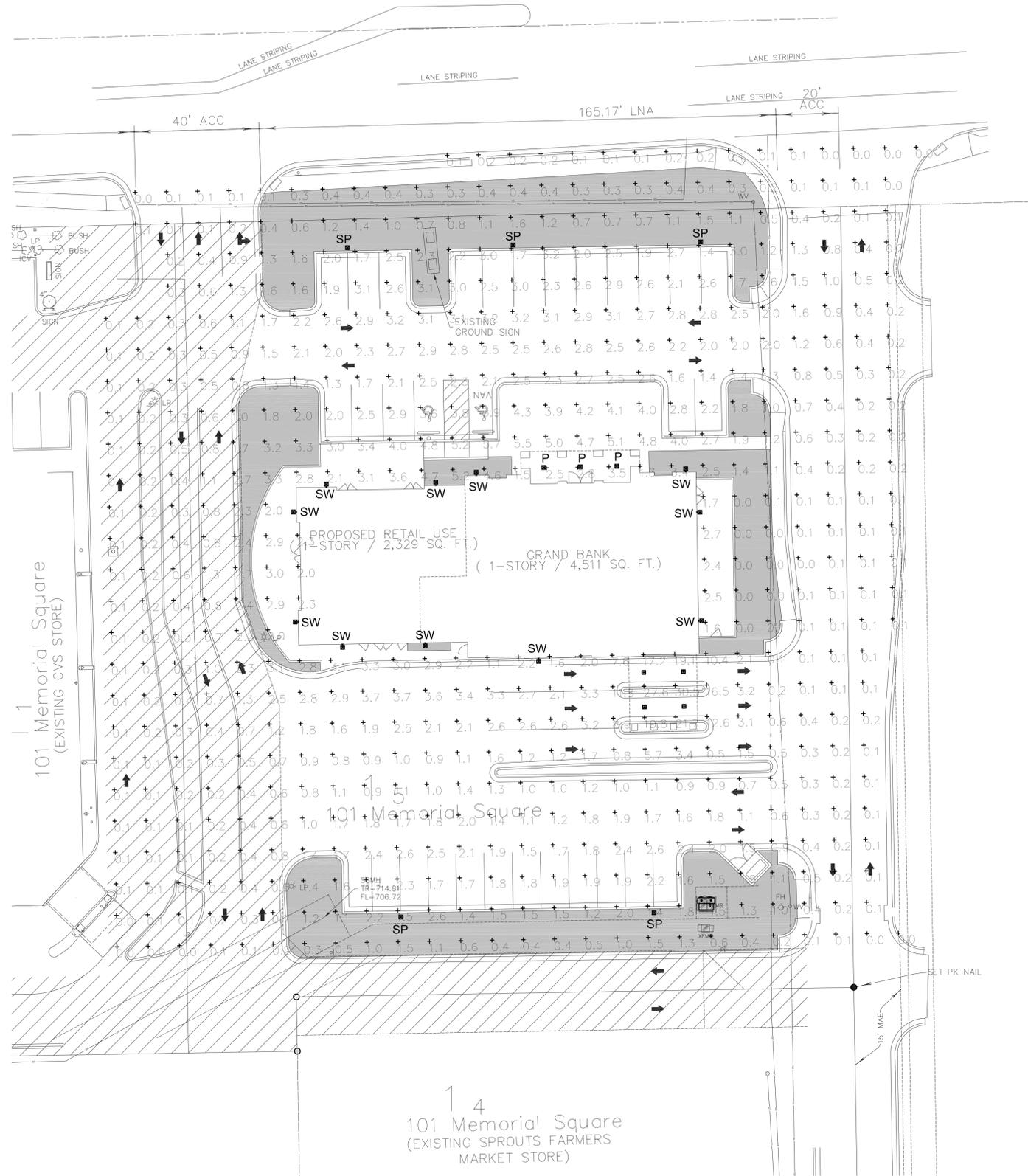
ALL GRASS AREAS WILL BE TIFSPORT CERTIFIED BERMUDA SOLID SOD
ALL BED AREAS ADJACENT TO LAWN AREAS WILL BE EDGED WITH APPROVED STEEL BED EDGING

ALL LANDSCAPE AREA REQUIRED BY THE LANDSCAPE ORDINANCE SHALL BE IRRIGATED BY AN UNDERGROUND SPRINKLER SYSTEM.

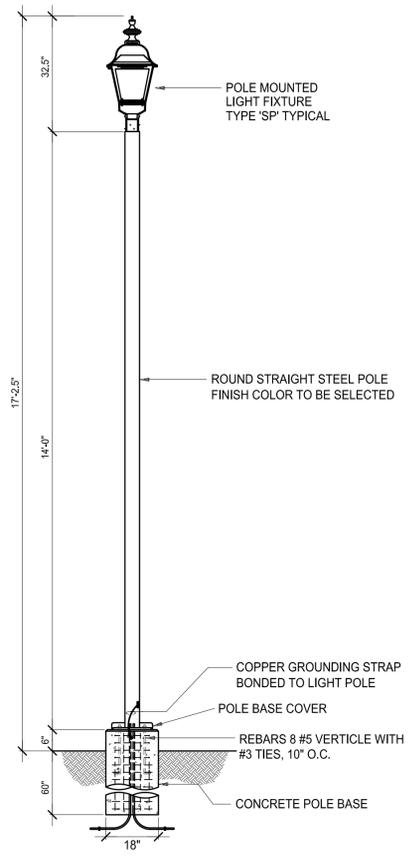
LANDSCAPE PLAN (NORTHERN PORTION)
SCALE: 3/32"=1'-0"



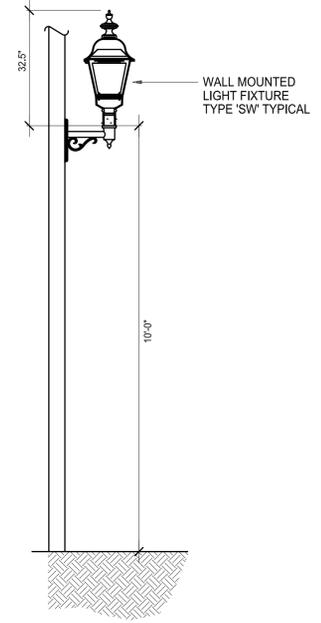
THE PURCHASER OF THESE PLANS IS HEREBY LICENSED TO CONSTRUCT ONE HOUSE FROM THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, COPIED, REPRODUCED, SOLD OR ASSIGNED TO ANY OTHER PARTY WITHOUT WRITTEN PERMISSION FROM ARCHITECTURAL RESOURCES BY JACKARNOLD. THESE PLANS MAY NOT BE USED AGAIN, REPRODUCED, SOLD OR ASSIGNED TO ANY OTHER PARTY WITHOUT WRITTEN PERMISSION FROM ARCHITECTURAL RESOURCES BY JACKARNOLD. THE PURCHASER OF THESE PLANS ASSUMES ALL RESPONSIBILITY FOR THEIR ACCURACY INCLUDING VERIFICATION OF ALL DIMENSIONS, COMPLIANCE WITH ANY AND ALL GOVERNING CODES, ORDINANCES, AND COVENANTS HAVING JURISDICTION OVER THE SITE OF CONSTRUCTION AND DETERMINING ANY MODIFICATIONS NECESSARY TO MEET ACTUAL SITE CONDITIONS. ARCHITECTURAL RESOURCES BY JACKARNOLD ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THESE PLANS.



A SITE LIGHTING PLAN
SCALE: 1" = 20'-0"



B POLE MOUNTED FIXTURE DETAIL
SCALE: 1/4"=1'-0"



C WALL MOUNTED FIXTURE DETAIL
SCALE: 1/4"=1'-0"

THE PURCHASER OF THESE PLANS IS HEREBY LICENSED TO CONSTRUCT ONE HOUSE FROM THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, COPIED, REPRODUCED, SOLD OR ASSIGNED TO ANY OTHER PARTY WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT ASSUMES ALL RESPONSIBILITY FOR THE ACCURACY OF THESE PLANS AND THE SITE OF CONSTRUCTION AND DETERMINING ANY MODIFICATIONS NECESSARY TO MEET ACTUAL SITE CONDITIONS. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THESE PLANS.

A NEW BANK BUILDING FOR:
GRAND BANK
 ADDRESS

DATE: 4/19/2013
 JOB NO.: JOB
 DRAWN BY: C.H.
 REVISED:

ARCHITECTURAL RESOURCES by
JACKARNOLD
 7310 South Yale • Tulsa, Oklahoma 74126 • 1-918-494-2730 • www.jackarnold.com

EXTERIOR LIGHTING FIXTURE SCHEDULE									
TYPE	QTY	MANUFACTURER	MODEL NUMBER	APPROVED		MOUNTING	FINISH	VOLT	REMARKS
				ALTERNATE MFGRS.	LAMPS				
				QTY.	REF.				
P	3	BEACON	TRA30/AS/24G-60-UNV/DIR55/PM/SWT/****	1	L9	PENDANT	T.B.D.	120	DECORATIVE EXTERIOR LED PENDANT W/ DUAL CHAIN SUSPENSION.
SP	5	BEACON	TRA30/AS/60G-150-UNV/DIR4/PT/SWT/****	1	L8	POLE	T.B.D.	120	DECORATIVE EXTERIOR LED POST TOP W/ VAN4(S or F)/14/4M/TN/**** POLE
SW	11	BEACON	TRA30/AS/24G-60-UNV/DIR4/PT/SWT/****	1	L9	WALL	T.B.D.	120	DECORATIVE EXTERIOR LED WALL MOUNT W/ AA-56/W/A/T/**** WALL BRACKET

LAMP SCHEDULE	
MARK	DESCRIPTION
L8	150W LED ARRAY 8700 LUMEN 5100K
L9	60W LED ARRAY 3800 LUMEN 5100K

BEACON PROJECTS

TRA30 (LED) (formerly AL-05530)
30" Traditional Luminaire

Weight: 35.0 lbs | EPA: 2.60kwh

rev: 06/16/2016 | C.H.

Project Information

Name / Location: GRAND BANK
 Type / Quantity: SW /
 Sold to:
 PO#: /

Approvals

Perspective

shown with FLAK "Flagler A/C" pole

Luminaire Details

LED direct

Top View

Style Options

Shown with LED direct

SWT NF

Ordering Example:
 TRA30 / AC / LED80-120 / T5R / 1PF / PM / NF / BB

TRA30 / A C / 24G-60 - UNV / DIR4 / / PT / SWT / TO BE SELECTED

Lens Material	60G-30 30W LED array	DIR2 direct type II	PM pendant mount	SS Finish
60G-30 30W LED array	60G-30 30W LED array	DIR3 direct type II	PT post top	BR Black
60G-30 30W LED array	60G-30 30W LED array	DIR4 direct type IV		CRN Chrome
60G-30 30W LED array	60G-30 30W LED array	DIR5 direct type V, rectangular		SW White
60G-30 30W LED array	60G-30 30W LED array	DIR5 direct type V, square		BY Bronze
60G-30 30W LED array	60G-30 30W LED array	DIR5V type V, wide round		SA Satin
OTHER		OTHER		RAL

2041 58th Avenue Circle East | Bradenton, FL 34203 | PH: 941.755.6694 | FX: 941.751.5535 | www.beaconproducts.com

BEACON PROJECTS

TRA30 (LED) (formerly AL-05530)
30" Traditional Luminaire

Weight: 35.0 lbs | EPA: 2.60kwh

rev: 06/16/2016 | C.H.

Project Information

Name / Location: GRAND BANK
 Type / Quantity: SP /
 Sold to:
 PO#: /

Approvals

Perspective

shown with FLAK "Flagler A/C" pole

Luminaire Details

LED direct

Top View

Style Options

Shown with LED direct

SWT NF

Ordering Example:
 TRA30 / AC / LED80-120 / T5R / 1PF / PM / NF / BB

TRA30 / A C / 60G-150 - UNV / DIR4 / / PT / SWT / TO BE SELECTED

Lens Material	60G-30 30W LED array	DIR2 direct type II	PM pendant mount	SS Finish
60G-30 30W LED array	60G-30 30W LED array	DIR3 direct type II	PT post top	BR Black
60G-30 30W LED array	60G-30 30W LED array	DIR4 direct type IV		CRN Chrome
60G-30 30W LED array	60G-30 30W LED array	DIR5 direct type V, rectangular		SW White
60G-30 30W LED array	60G-30 30W LED array	DIR5 direct type V, square		BY Bronze
60G-30 30W LED array	60G-30 30W LED array	DIR5V type V, wide round		SA Satin
OTHER		OTHER		RAL

2041 58th Avenue Circle East | Bradenton, FL 34203 | PH: 941.755.6694 | FX: 941.751.5535 | www.beaconproducts.com

BEACON PROJECTS

TRA30 (LED) (formerly AL-05530)
30" Traditional Luminaire

Weight: 35.0 lbs | EPA: 2.60kwh

rev: 06/16/2016 | C.H.

Project Information

Name / Location: GRAND BANK
 Type / Quantity: P /
 Sold to:
 PO#: /

Approvals

Specifications

CONSTRUCTION:
 All cast aluminum parts shall be low copper alloy A356. All extruded aluminum parts shall be alloy 6061-T6, 6063-T5 or equal. The upper chamber / lid shall be topped by a decorative cast aluminum fin / cap and mechanically fastened to the optical chamber. The cast cage shall accommodate UV stabilized acrylic or polycarbonate lenses (clear panels which shall be sealed for weather tight operation). The electrical chamber / filler shall be an aluminum, decorative filler designed to accommodate the ballast assembly and shall mount to 3"OD x 3"th and secured by with stainless steel screws.

HOUSING & LED THERMAL MANAGEMENT:
 All cast aluminum parts for the Beacon Urban series driver housing luminaire shall be ASTM 356 marine grade alloy. The drivers shall be located in the top cast housing and shall be accessible without tools by lifting the lower shade assembly. The driver and all electrical components shall be on a tray. The lower shade shall be made from a one-piece aluminum extrusion. The LED ballast assembly shall be attached to a one piece aluminum heat sink to provide direct heat exchange between the LED light engine and the cool outdoor air. The housing is designed for LED thermal management without the use of metallic screens, cages, or fans. The top cast shall be able to be pendant mounted in place with a stainless steel safety pin and then permanently held in place with four stainless steel bolts.

THERMAL REGULATION CIRCUIT:
 Thermal circuit shall protect the luminaire from excessive temperature by interfacing with its 0-10V dimmable drivers to reduce drive current as necessary. The factory-set temperature limits shall be designed to ensure maximum hours of operation to assure L70 rated lumen maintenance. The device shall activate at a specific, factory-set temperature, and progressively reduce power over a finite temperature range in recognition of the effect of reduced current on the thermal temperature and longevity of the LEDs and other components.

A luminaire equipped with the device may be reliably operated in any ambient temperature up to 39°C (101°F).

The thermal circuit will allow higher maximum voltages than would be permissible on an unregulated luminaire (if same variation in light output is permissible), without risk of premature LED failure. Operation shall be smooth and undetectable to the eye. Thermal circuit shall directly measure the temperature at the LED solder joint.

Thermal circuit shall consist of surface mounted components mounted on the LED engine (printed circuit board). For maximum efficiency and reliability, the device shall have no dedicated enclosure, circuit board, wiring harness, gaskets, or hardware. Devices shall have no moving parts, and shall operate silently at low voltage (NEC Class 2). The device shall be located in an area of the luminaire that is protected from the elements.

Thermal circuit shall be designed to "fall on", allowing the luminaire to revert to full power in the event of an interruption of its power supply, or faulty wiring connection to the drivers.

Devices shall be able to co-exist with other 0-10V control devices (occupancy sensors, external dimmers, etc.). The device will effectively control the solder joint temperature as needed otherwise it will allow the other control device(s) to function unimpeded.

Electrical:
 Luminaires are equipped with an LED driver that accepts 100V through 277V, 50 Hz to 60 Hz (UNLV), or a driver that accepts 347V or 480V input. Power factor is .92 at full load. All electrical components are rated at 60,000 hours at full load and 40°C ambient conditions per MIL-217F table 2, Column 5 to 10 with dimming drivers are available upon request. All driver components supplied are Component-Component within the luminaire will carry no more than 50% of rated current and is tested by us for use at 600VAC at 50°C or higher. Has UL approval for use at 600 VAC, USA or higher.

Surge Protection:
 The onboard surge protector shall be a UL recognized component for the United States and Canada and have a surge current rating of 10,000 Amper using the industry standard 8/20 pulse wave. The LSP shall have a clamping voltage of 330V and surge rating of 372J. The case shall be a high-temperature, flame resistant plastic enclosure.

Agency Certification:
 The luminaire shall bear a CSA label and be marked suitable for wet locations.

Warranty:
 Beacon luminaires feature a 5 year limited warranty. Beacon LED lamp assemblies feature a 5 year limited warranty covering the LED array. LED drivers are covered by a 5 year limited warranty. PIR sensors carry a 5 year limited warranty from the sensor manufacturer. See Warranty Information on www.beaconproducts.com or call 1-800-368-6890 for complete details and conditions.

Fasteners:
 All fasteners shall be stainless steel. When tamper resistant fasteners are required, spinner HD (hex) and/or style shall be provided (spaced tool required, consult factory).

Notes:
 Finish shall be Beacon III polyester powdercoat electrostatically applied and thermocured. Luminaires shall be subjected to ion phosphate chemical pre-treatment prior to painting by kemonon process.

2041 58th Avenue Circle East | Bradenton, FL 34203 | PH: 941.755.6694 | FX: 941.751.5535 | www.beaconproducts.com

BEACON PROJECTS

TRA30 (LED) (formerly AL-05530)
30" Traditional Luminaire

Weight: 35.0 lbs | EPA: 2.60kwh

rev: 06/16/2016 | C.H.

Project Information

Name / Location: GRAND BANK
 Type / Quantity: P /
 Sold to:
 PO#: /

Approvals

Perspective

shown with FLAK "Flagler A/C" pole

Luminaire Details

LED direct

Top View

Style Options

Shown with LED direct

SWT NF

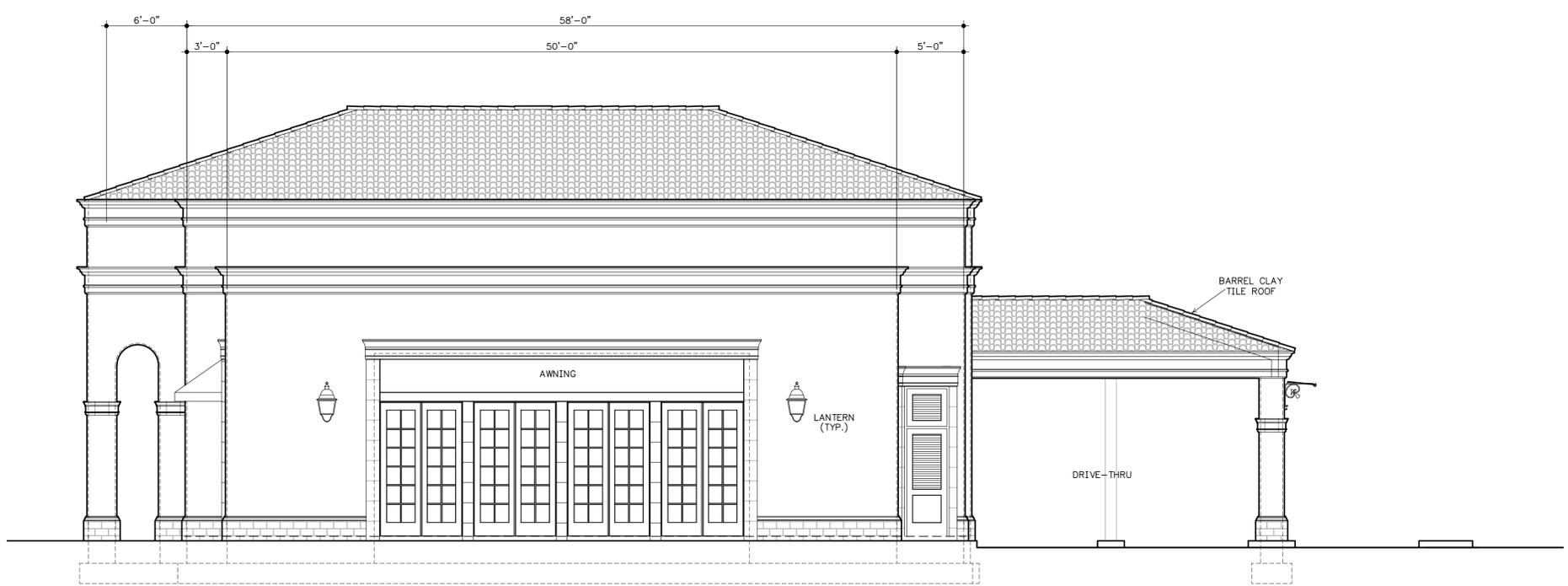
Ordering Example:
 TRA30 / AC / LED80-120 / T5R / 1PF / PM / NF / BB

TRA30 / A C / 24G-60 - UNV / DIR4 / / PM / SWT / TO BE SELECTED

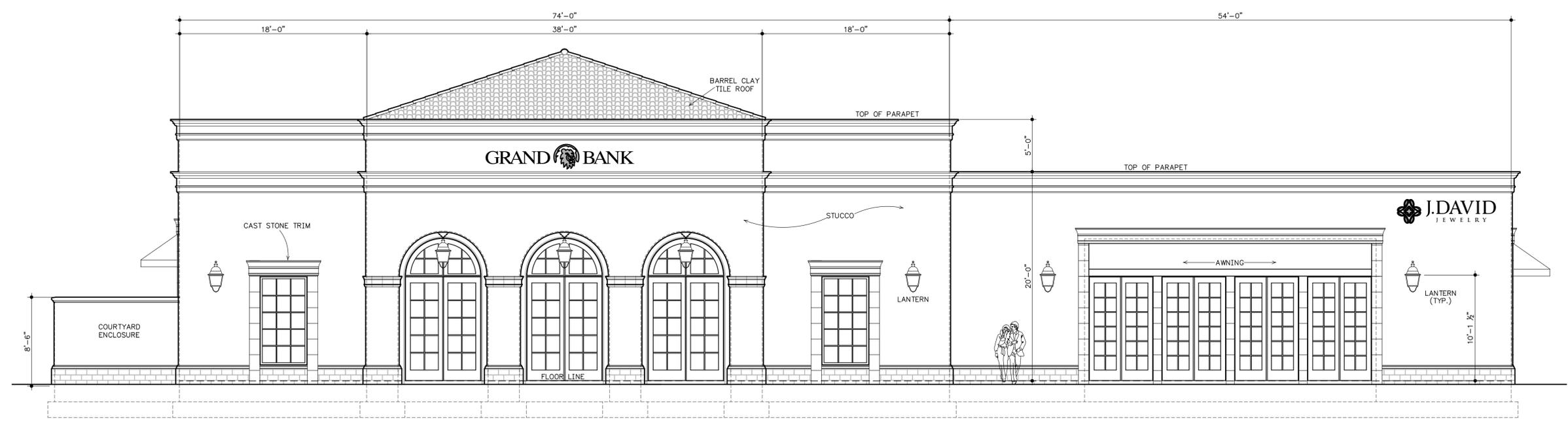
Lens Material	60G-30 30W LED array	DIR2 direct type II	PM pendant mount	SS Finish
60G-30 30W LED array	60G-30 30W LED array	DIR3 direct type II	PT post top	BR Black
60G-30 30W LED array	60G-30 30W LED array	DIR4 direct type IV		CRN Chrome
60G-30 30W LED array	60G-30 30W LED array	DIR5 direct type V, rectangular		SW White
60G-30 30W LED array	60G-30 30W LED array	DIR5 direct type V, square		BY Bronze
60G-30 30W LED array	60G-30 30W LED array	DIR5V type V, wide round		SA Satin
OTHER		OTHER		RAL

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B RIGHT (WEST) ELEVATION
SCALE: 3/16"=1'-0"



A FRONT (NORTH) ELEVATION
SCALE: 3/16"=1'-0"

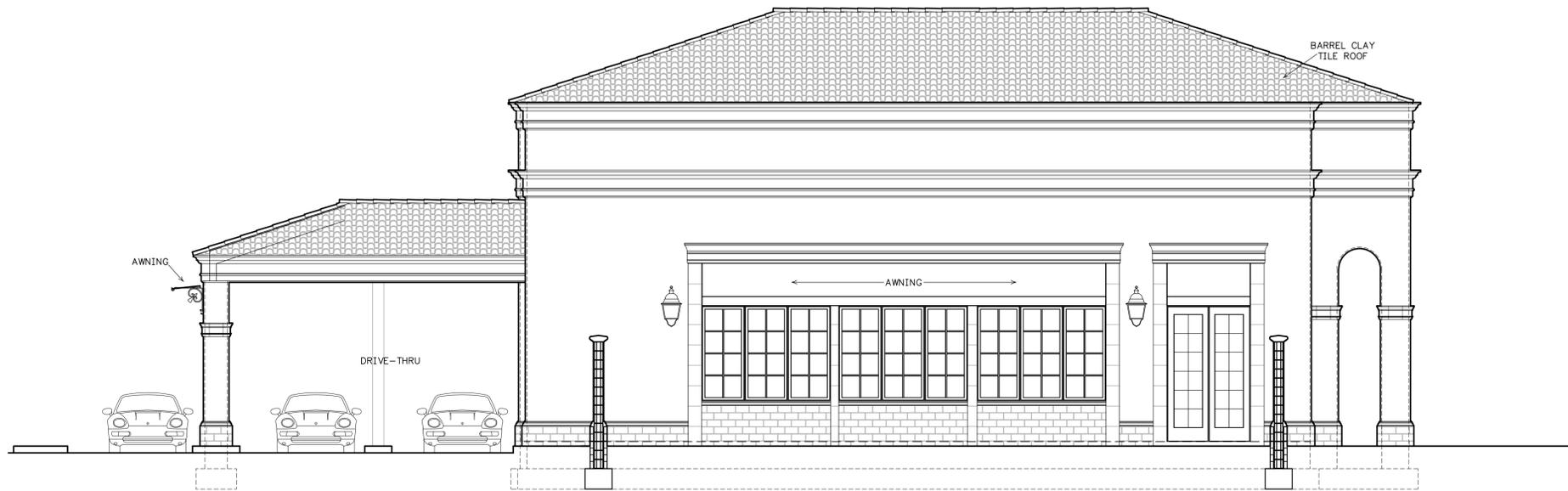
A NEW BANK BUILDING FOR:
GRAND BANK
ADDRESS



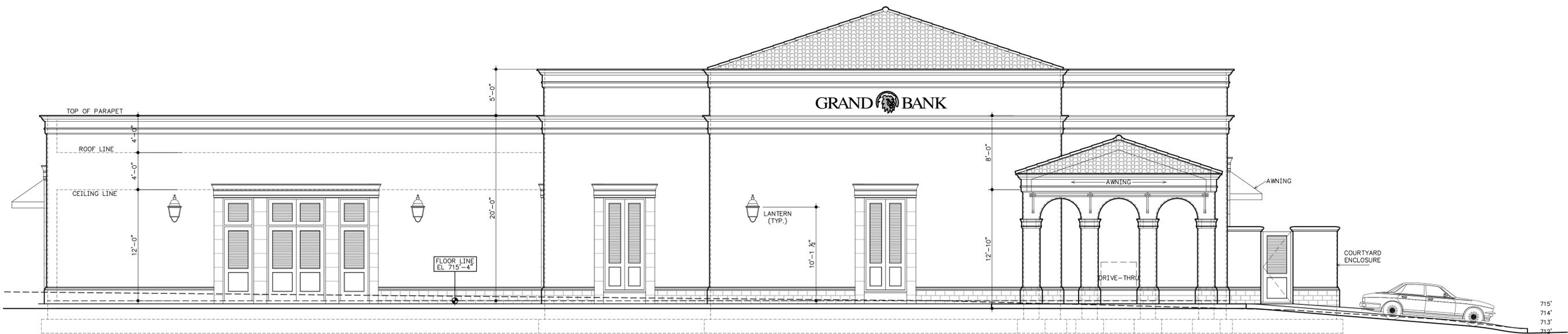
NOT FOR CONSTRUCTION
DATE: 4/19/2013
JOB NO.: JOB
DRAWN BY: DRAWN
REVISED:

ARCHITECTURAL RESOURCES by
JACKARNOLD
7310 South Yale • Tulsa, Oklahoma 74136 • 1-918-494-2730 • www.jackarnold.com

Sheet:
A6



(B) LEFT (EAST) ELEVATION
SCALE: 3/16"=1'-0"



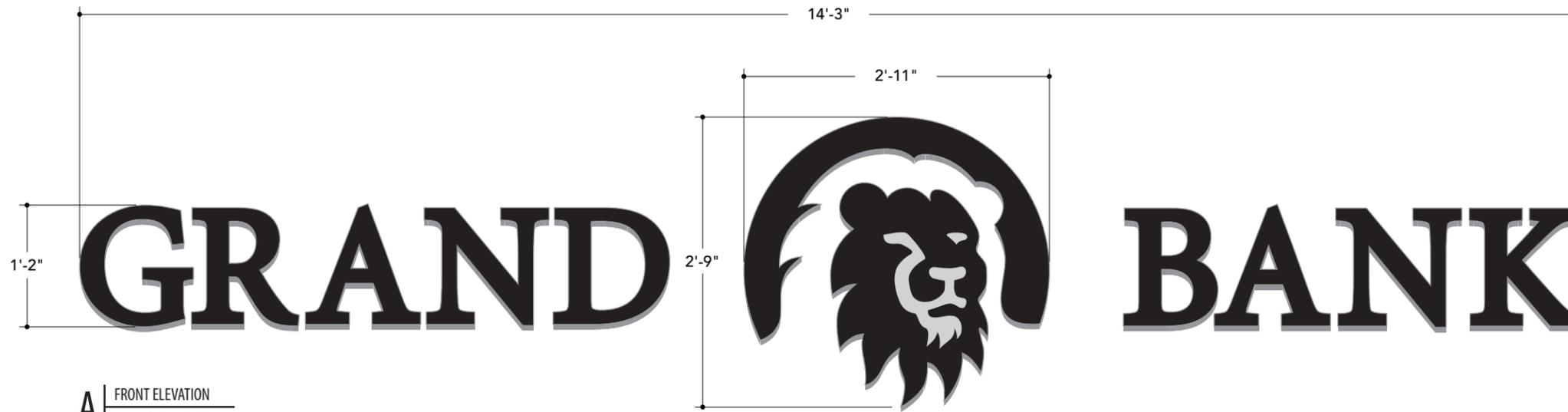
(A) REAR (SOUTH) ELEVATION
SCALE: 3/16"=1'-0"

A NEW BANK BUILDING FOR:
GRAND BANK
ADDRESS



NOT FOR CONSTRUCTION
DATE: 4/19/2013
JOB NO.: JOB
DRAWN BY: DRAWN
REVISED:

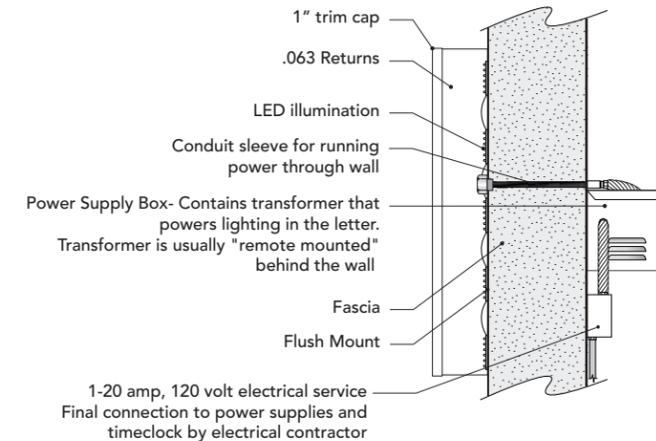
ARCHITECTURAL RESOURCES by
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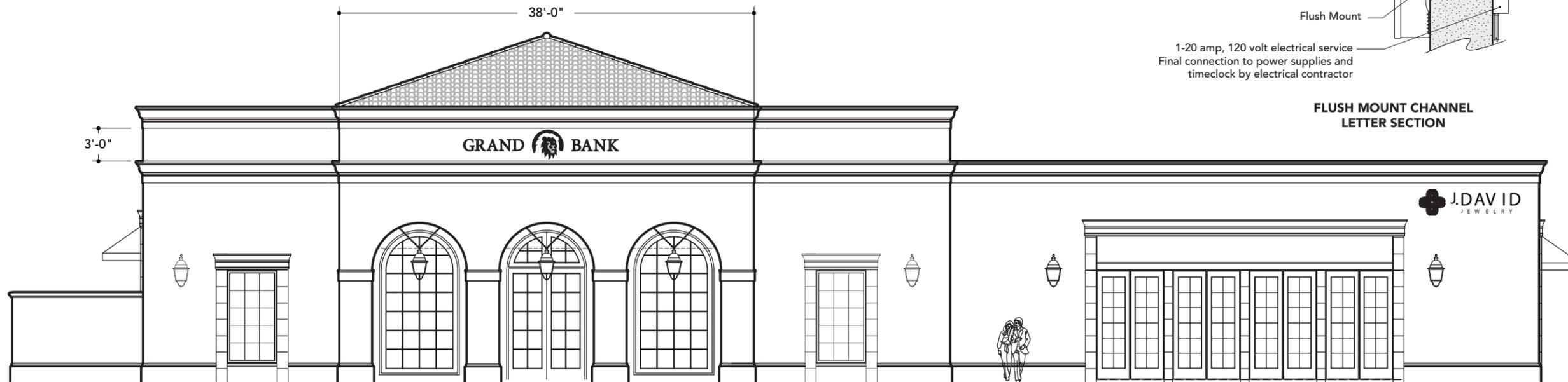
A FRONT ELEVATION
scale: 3/4" = 1'-0"

Manufacture and install

.040 p/f white aluminum with 5" returns and .063 white backs.
(returns paint silver metallic)
3/16" white acrylic faces with perforated black vinyl overlay
1" silver trimcap.
White LED illumination.



FLUSH MOUNT CHANNEL LETTER SECTION



scale: 3/32" = 1'-0"

These drawings are the exclusive property of Claude Neon Federal Signs, Inc. and are the result of original work by its employees. They are submitted for the sole purpose of your consideration of whether to purchase these plans, or to purchase from CNF, signage manufactured in accordance to these plans. Distribution or exhibition of these plans to others is expressly forbidden. © 2012 CNF Signs

CNF
CLAUDE NEON FEDERAL SIGNS
1225 North Lansing Avenue
Tulsa, Oklahoma 74106
ph: 918.587.7171
fax: 918.587.7176
web: cnfsigns.com

I hereby give my approval to proceed with fabrication of the signage depicted in these drawings in order to meet the project deadline in a timely fashion. I understand that any changes (additions, deletions, or modifications) to the fundamental structure, underlying design, or the specific features of this signage may result in slippage of the completion date, additional resource requirements or additional cost.

Approved as shown Approved as noted
X
Client Name _____
Date _____

PROJECT/CLIENT NAME:
GRAND BANK

LOCATION:
101ST & S. MEMORIAL
TULSA, OK
ACCOUNT EXECUTIVE:
JAMES ADDAIR

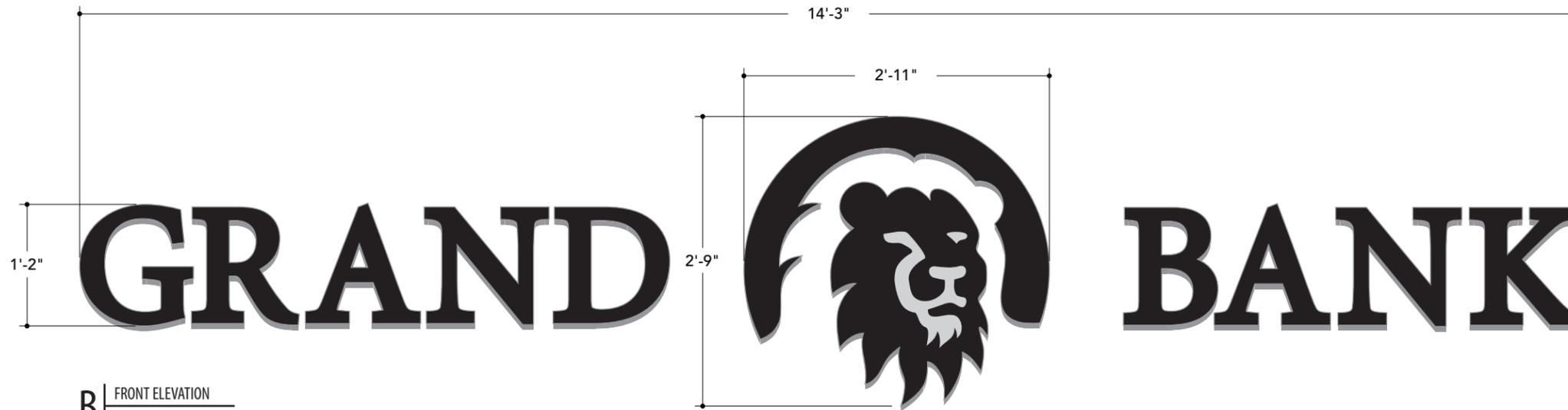
DESIGNER:
WADE SANDERS
DATE OF ORIGINAL DWG:
APRIL 16, 2013

REVISION HISTORY:
04.16.13 REVIEW

SHOP USE ONLY:	WORK ORDER #:	DUE DATE:
	DEPT: METAL FAB	PAINT: NEON
	COPY: RUT/VINYL	

SIGN TYPE/DESCRIPTION:
CHANNEL LETTERS W/
LOGO CABINET

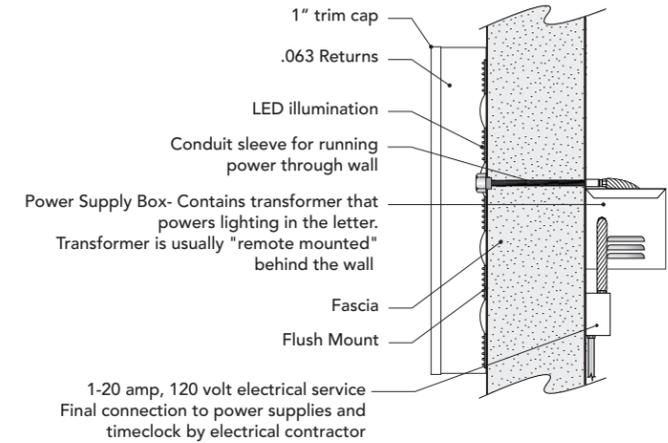
SHEET NAME:
ST-1.0



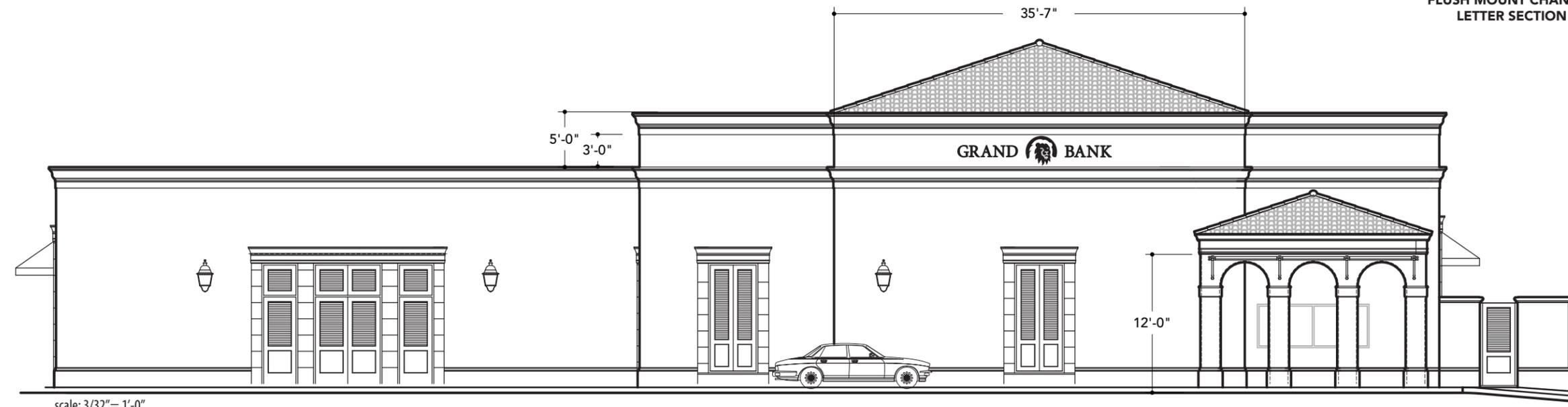
B FRONT ELEVATION
scale: 3/4" = 1'-0"

Manufacture and install

.040 p/f white aluminum with 5" returns and .063 white backs.
(returns paint silver metallic)
3/16" white acrylic faces with perforated black vinyl overlay
1" silver trimcap.
White LED illumination.



FLUSH MOUNT CHANNEL LETTER SECTION



scale: 3/32" = 1'-0"

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Approved as shown Approved as noted

X Client Name _____
Date _____

PROJECT/CLIENT NAME:
GRAND BANK

LOCATION:
101ST & S. MEMORIAL
TULSA, OK
ACCOUNT EXECUTIVE:
JAMES ADDAIR

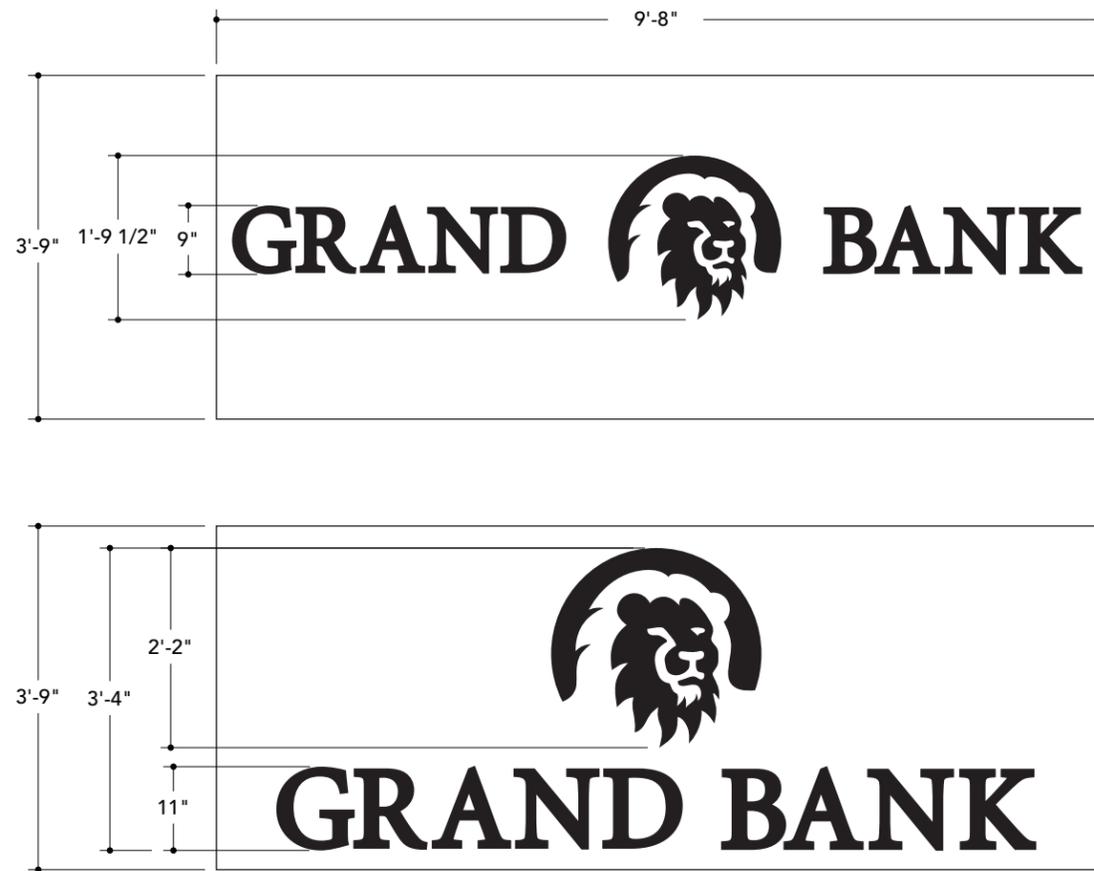
DESIGNER:
WADE SANDERS
DATE OF ORIGINAL DWG:
APRIL 16, 2013

REVISION HISTORY:
04.16.13 REVIEW

SHOP USE ONLY: WORK ORDER #: DEPT COPY:	METAL FAB	PAINT	FINAL ASSEMBLY
	ROUT/VINYL	NEON	INSTALLATION

SIGN TYPE/DESCRIPTION:
CHANNEL LETTERS W/
LOGO CABINET

SHEET NAME:
ST-2.0



D ELEVATION
scale: 1/2" = 1'-0"

Manufacture and install black vinyl graphics to existing pylon acrylic inserts.
(x4)



scale: 1/4" = 1'-0"

Layout options for two identical pylon signs

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Tulsa, Oklahoma 74106
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Approved as shown Approved as noted
X Client Name _____
Date _____

PROJECT/CLIENT NAME:
GRAND BANK

LOCATION:
101ST & S. MEMORIAL
TULSA, OK
ACCOUNT EXECUTIVE:
JAMES ADDAIR

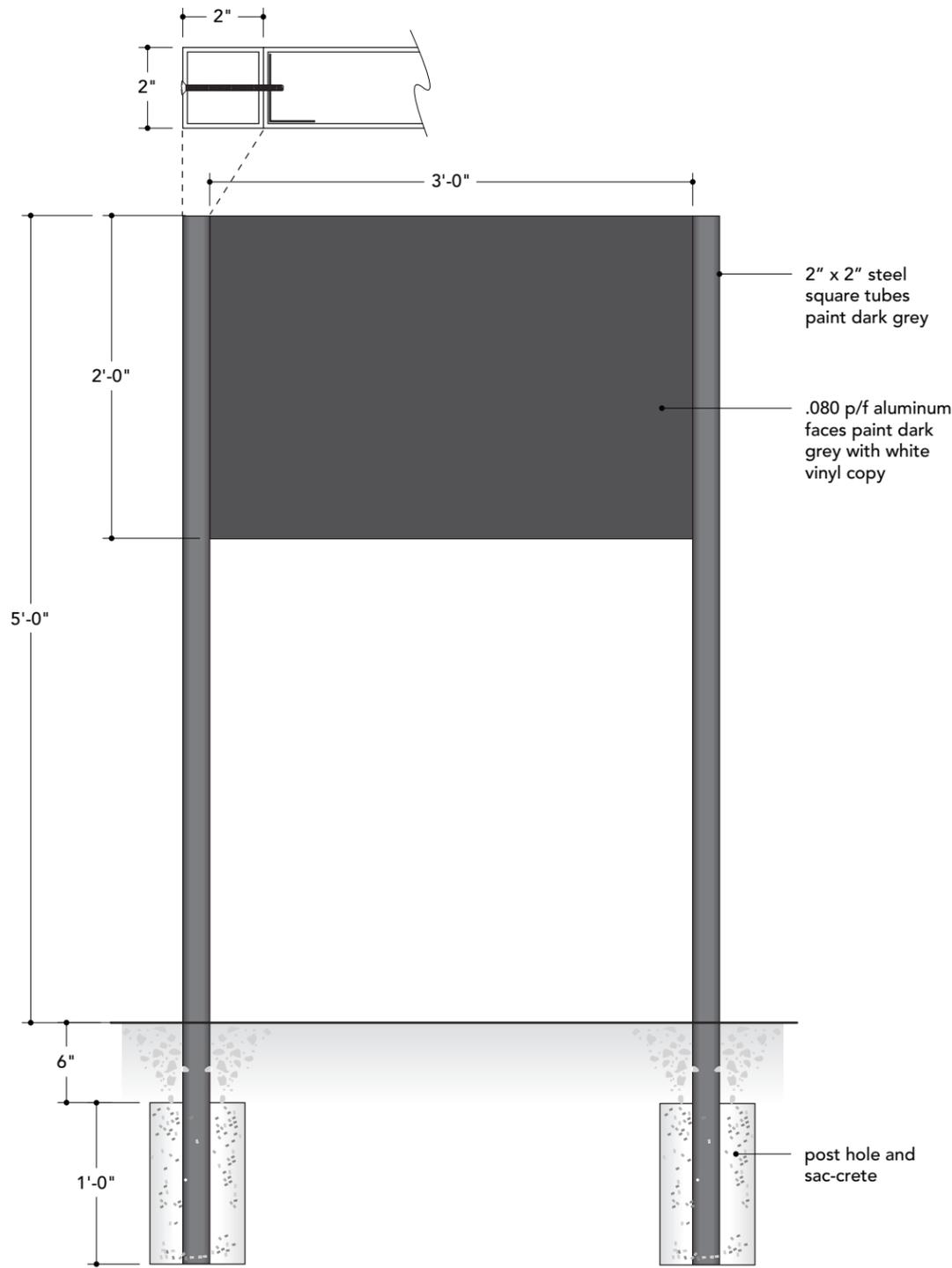
DESIGNER:
WADE SANDERS
DATE OF ORIGINAL DWG:
APRIL 17, 2013

REVISION HISTORY:
04.17.13 REVIEW

SHOP USE ONLY:	WORK ORDER #:	DUE DATE:	
	DEPT COPY:	METAL FAB RUT/VINYL	PAINT NEON

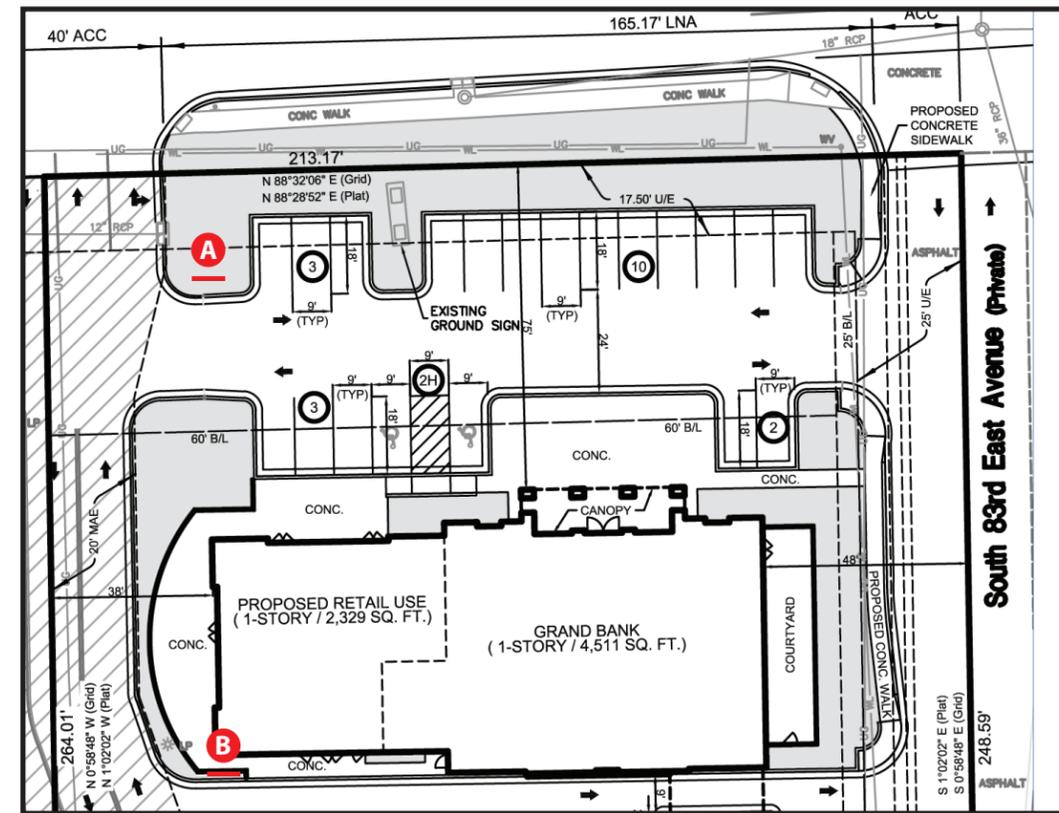
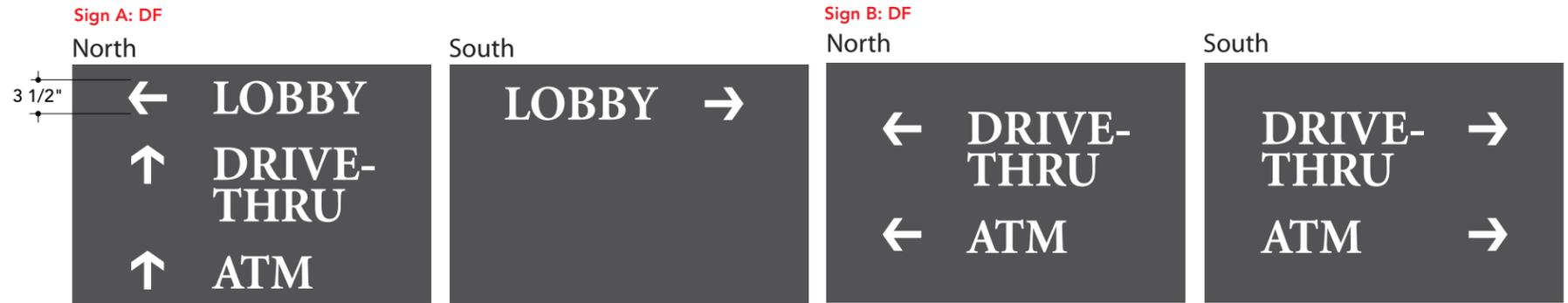
SIGN TYPE/DESCRIPTION:
TENANT GRAPHICS

SHEET NAME:
ST-4.0



ELEVATION
scale: 1" = 1'-0"

Manufacture and install 2 new DF post and panel directional signs with white vinyl copy each side.



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Approved as shown Approved as noted
X Client Name
Date

PROJECT/CLIENT NAME:
GRAND BANK

LOCATION:
101ST & S. MEMORIAL
TULSA, OK
ACCOUNT EXECUTIVE:
JAMES ADDAIR

DESIGNER:
WADE SANDERS
DATE OF ORIGINAL DWG:
APRIL 17, 2013

REVISION HISTORY:
04.17.13 REVIEW

SHOP USE ONLY:	WORK ORDER #:	DUE DATE:
	DEPT: METAL FAB	PAINT: NEON
	COPY: ROUT/VINYL	

SIGN TYPE/DESCRIPTION:
PROPERTY DIRECTIONALS

SHEET NAME:
ST-3.0