

**AGENDA**  
**PLANNING COMMISSION**  
**116 WEST NEEDLES**  
**BIXBY, OKLAHOMA**  
**September 15, 2014**                      **6:00 PM**

CALL TO ORDER

ROLL CALL

CONSENT AGENDA

- ③ 1. Approval of Minutes for the August 18, 2014 Regular Meeting

PUBLIC HEARINGS

- ② 2. **BCPA-12 – Conrad Farms Holdings, LLC** Public Hearing to receive Public review and comment, and Planning Commission recommendations regarding the adoption of a proposed amendment to the Comprehensive Plan of the City of Bixby, Oklahoma, specifically to modify or remove the “Special District # 4” designation.  
Property Located: 7400 E. 151<sup>st</sup> St. S.

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3. **PUD 85 – “Conrad Farms” – Conrad Farms Holdings, LLC** Public Hearing, discussion, and consideration of a rezoning request for approval of a Planned Unit Development (PUD) for approximately 136.48 acres in Section 23, T17N, R13E.  
Property Located: 7400 E. 151<sup>st</sup> St. S.
4. **BZ-377 – Conrad Farms Holdings, LLC** Public Hearing, discussion, and consideration of a rezoning request from AG Agricultural District to RS-3 Residential Single-Family District for approximately 136.48 acres in Section 23, T17N, R13E.  
Property Located: 7400 E. 151<sup>st</sup> St. S.

PLATS

- ⑥ 5. (Continued from 07/21/2014 and 08/18/2014)  
**Preliminary Plat of “Bricktown Square” – Sisemore Weisz & Associates, Inc. (PUD 31-A)**. Discussion and consideration of a Preliminary Plat and certain Modifications/Waivers for “Bricktown Square” for 4.547 acres in part of the SW/4 NW/4 of Section 01, T17N, R13E.  
Property Located: 12409 S. Memorial Dr.

OTHER BUSINESS

6. (Continued from 07/21/2014 and 08/18/2014)

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**PUD 31-A – Bricktown Square – Minor Amendment # 1.** Discussion and possible action to approve Minor Amendment # 1 to PUD 31-A for 4.547 acres in part of the SW/4 NW/4 of Section 01, T17N, R13E, with underlying zoning CS Commercial, OL Office, and RS-1 Residential, which amendment proposes reducing the minimum Land Area per Dwelling Unit standard and making certain other amendments.

Property Located: 12409 S. Memorial Dr.

7. **BSP 2014-03 – “Brisbane Office Park” – Matt Means of StoreTulsa.com (PUD 60).**

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Discussion and possible action to approve a PUD Detailed Site Plan and building plans for “Brisbane Office Park,” a Use Unit 11 office park and Use Unit 16 ministorage development for approximately 10 acres in part of the W. 10 Ac. of the E. 20 Ac. of Government Lot 1, Section 31, T18N, R14E.

Property Located: 9910, 9920, & 9930 E. 111<sup>th</sup> St. S.

OLD BUSINESS

NEW BUSINESS

ADJOURNMENT

Posted By: Enyark

Date: 08/20/2014

Time: 3:55 PM

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**MINUTES**  
**PLANNING COMMISSION**  
**116 WEST NEEDLES**  
**BIXBY, OKLAHOMA**  
**August 18, 2014** **6:00 PM**

In accordance with the Oklahoma Open Meeting Act, Title 25 O.S. Section 311, the agenda for this meeting was posted on the bulletin board in the lobby of City Hall, 116 W. Needles Ave., Bixby, Oklahoma on the date and time as posted thereon, a copy of which is on file and available for public inspection, which date and time was at least twenty-four (24) hours prior to the meeting, excluding Saturdays and Sundays and holidays legally declared by the State of Oklahoma.

**STAFF PRESENT:**

Erik Enyart, AICP, City Planner  
Patrick Boulden, Esq., City Attorney

**OTHERS ATTENDING:**

See attached Sign-In Sheet

**CALL TO ORDER:**

Chair Thomas Holland called the meeting to order at 6:07 PM.

**ROLL CALL:**

Members Present: Larry Whiteley, Jerod Hicks, Steve Sutton, Lance Whisman, and Thomas Holland.  
Members Absent: None.

**CONSENT AGENDA:**

1. Approval of Minutes for the July 14, 2014 Special Meeting
2. Approval of Minutes for the July 21, 2014 Regular Meeting

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Chair Thomas Holland introduced the Consent Agenda item and asked to entertain a Motion. Larry Whiteley made a MOTION to APPROVE the Minutes of the July 14, 2014 Special Meeting and the July 21, 2014 Regular Meeting as presented by Staff. Steve Sutton SECONDED the Motion. Roll was called:

**ROLL CALL:**

AYE: Holland, Sutton, Whiteley, Hicks, and Whisman  
NAY: None.  
ABSTAIN: None.  
MOTION PASSED: 5:0:0

PUBLIC HEARINGS

3. **BZ-376 – Joseph Guy Donohue for J.C. & Lila Morgan.** Public Hearing, Discussion, and consideration of a rezoning request from IL Industrial Light District to CH Commercial High Intensity District for approximately 1 acre in part of the NE/4 NW/4 of Section 23, T17N, R13E.  
Property located: 6636 E. 151<sup>st</sup> St. S. (to be re-addressed 7108 and 7110 E. 151<sup>st</sup> St. S.)

Chair Thomas Holland introduced the item and asked Erik Enyart for the Staff Report and recommendation. Mr. Enyart summarized the Staff Report as follows:

**To:** Bixby Planning Commission  
**From:** Erik Enyart, AICP, City Planner  
**Date:** Wednesday, August 13, 2014  
**RE:** Report and Recommendations for:  
BZ-376 – Joseph Guy Donohue for J.C. & Lila Morgan

**LOCATION:** – 6636 E. 151<sup>st</sup> St. S. (to be re-addressed 7108 and 7110 E. 151<sup>st</sup> St. S.)  
– Part of the NE/4 NW/4 of Section 23, T17N, R13E

**LOT SIZE:** 1 acre, more or less

**EXISTING ZONING:** IL Industrial Light District

**EXISTING USE:** Single family house

**REQUESTED ZONING:** CH Commercial High Intensity District

**SUPPLEMENTAL ZONING:** Corridor Appearance District

**SURROUNDING ZONING AND LAND USE:**

**North:** (Across 151<sup>st</sup> St. S.) AG; Vacant/wooded and agricultural land.

**South:** CH & RMH; The "Spectrum Plaza" trade center zoned CH and the Shadow Valley Mobile Home Park zoned RMH.

**East:** CH, RMH, and AG; The "Spectrum Plaza" trade center zoned CH, the Shadow Valley Mobile Home Park zoned RMH, and the former Conrad Farms' farmland further to the east and southeast.

**West:** CS, AG, & RS-1; The Applicant's property containing the Bethesda Girls Home at 7106 E. 151<sup>st</sup> St. S. and another nonresidential building (former location of the Living Water Family Church) at 7102 E. 151<sup>st</sup> St. S., Bixby Chiropractic at 7100 E. 151<sup>st</sup> St. S., and vacant/wooded and agricultural land at the southeast corner of 151<sup>st</sup> St. S. and Sheridan Rd. Across 151<sup>st</sup> St. S. to the northwest is rural residential along 68<sup>th</sup> E. Ave. and 149<sup>th</sup> / 148<sup>th</sup> St. S. in an unplatted subdivision possibly known as "Abbett Acres" zoned AG, the Leonard & Marker Funeral Home zoned CS and AG, a house on a 0.81-acre tract zoned RS-1 at 15015 S. Sheridan Rd., a church campus on a 1-acre tract zoned RS-1 (the new location of Living Water Family Church) at 15025 S. Sheridan Rd., and agricultural land zoned AG.

**COMPREHENSIVE PLAN:** Corridor + Industrial Area + Development Sensitive + Regional Trail + Community Trail

**PREVIOUS/RELATED CASES:** (not necessarily a complete list)

**BZ-81 – Jerry Green** – Request for rezoning from RMH to IL for approximately 4.8 acres, which included subject property and the (now) 3.4-acre "Spectrum Plaza" property abutting subject property to the south – PC Recommended Approval 03/31/1980 and City Council Approved 04/21/1980 (Ord. # 395).

**BL-107 – Jerry Green** – Request for Lot-Split approval to separate the subject property and the (now) 3.4-acre "Spectrum Plaza" property abutting subject property to the south – PC Approved 10/28/1985 and City Council Approved 11/12/1985 per case notes.

**RELEVANT AREA CASE HISTORY:** (not necessarily a complete list)

**BBOA-70 – Luther Metcalf for Melvin Skaggs** – Request for Special Exception to allow a single family dwelling (site built) in an RMH district for property of approximately 3 ¼ acres abutting

subject property to the west and now addressed 7100, 7102, and 7106 E. 151<sup>st</sup> St. S. – BOA Approved 01/08/1980.

BBOA-137 – Lee Fox – Request for Special Exception to allow a mobile home on a previously 10.3-acre tract located to the northwest of subject property at 15015 S. Sheridan Rd. – BOA Denied 12/10/1984.

BBOA-230 – Twilah A. Fox, M.D. – Request for Special Exception per Zoning Code Section 310 to allow a Use Unit 5 church (now known as the Living Water Family Church at 15025 S. Sheridan Rd.) on the Southwest approximately 1.16 acres of a previously 10.3-acre tract located to the northwest of subject property at 15015 S. Sheridan Rd. – BOA Approved 09/04/1990.

BZ-199 – Dan Stilwell – Request for rezoning from RMH to CG for approximately 3 ¾ acres abutting subject property to the west and now addressed 7100, 7102, and 7106 E. 151<sup>st</sup> St. S. – PC recommended Approval 05/18/1992 and City Council Approved 05/25/1992 (Ord. # 667). However, the legal description used may not have closed and the ordinance did not contain the approved Zoning District. The official Zoning Map reflects CS instead of CG. Any interested property owner may petition the City of Bixby to reconsider a CG designation as an amendment to Ordinance # 667 per BZ-199, subject to the recommendations and instructions of the City Attorney.

BBOA-252 – Dan Stilwell – Request for Special Exception to allow horses as a Use Unit 20 use in the (then requested) CG district for property of approximately 3 ¾ acres abutting subject property to the west and now addressed 7100, 7102, and 7106 E. 151<sup>st</sup> St. S. – BOA Approved 06/01/1992.

BBOA-293 – Lee & Twila[h] Fox – Request for Variance from the minimum size and width bulk and areas standards of the AG district, to allow a Lot-Split (BL-184) on a previously 10.3-acre tract located to the northwest of subject property at 15015 S. Sheridan Rd. – BOA Approved 04/17/1995.

BL-184 – Joe Donelson for Lee & Twilah A. Fox – Request for Lot-Split approval to separate a 1-acre tract at 6668 E. 148<sup>th</sup> St. S. from an original tract of 10.3 acres located to the northwest of subject property at 15015 S. Sheridan Rd. – PC Approved 04/17/1995.

BBOA-345 – Twilah Fox – Request for “Special Exception” from Zoning Code Section 310 to allow a Use Unit 9 mobile home to be temporarily placed in the AG district for a formerly 9-acre tract located to the northwest of subject property at 15015 S. Sheridan Rd. – BOA Conditionally Approved 07/06/1999.

BZ-283 – Mike Marker – Request for rezoning from AG to CS for a 1.3-acre tract to the west of subject property and containing the Leonard & Marker Funeral Home main building at 6521 E. 151<sup>st</sup> St. S. – PC Recommended Approval 02/19/2002 and City Council Approved 03/11/2002 (Ord. # 848).

BBOA-381 – Mike Marker – Request for Variance from the parking standards of Zoning Code Chapter 10 Section 1011.4 for a 1.3-acre tract to the west of subject property and containing the Leonard & Marker Funeral Home main building at 6521 E. 151<sup>st</sup> St. S. – BOA Approved Variance, to include requiring 62 parking spaces, 05/06/2002.

BBOA-389 – Joe Donelson for Mike & Pam Marker – Request for Variance from the sign setback requirement of Zoning Code Chapter 2 Section 240.2(e) for a 1.3-acre tract to the west of subject property and containing the Leonard & Marker Funeral Home main building at 6521 E. 151<sup>st</sup> St. S. – BOA Approved 08/05/2002.

BZ-287 – Randy King – Request for rezoning from AG to CG for a 4-acre tract to the northwest of subject property at 6825 E. 151<sup>st</sup> St. S. – PC (09/16/2002) Recommended Denial and suggested that the item be brought back as a PUD; denial recommendation evidently not appealed to City Council.

AC-05-01-01 – Commercial buildings for the 3.4-acre “Spectrum Plaza” property abutting subject property to the south approved by the Architectural Committee on 01/27/2005.

BZ-325 – The Porter Companies, Inc. for Claxton/Clayton Broach Trust – Request for rezoning from AG to CS for a 150-acre tract located to the north of subject property in the 6900 : 7700-block of E. 151<sup>st</sup> St. S. – PC Recommended Approval 01/16/2007. Withdrawn by Applicant by letter dated 02/05/2007 (letter requested the application be “postponed... until such time that the Porter Companies take title to the property).”

AC-07-08-06 – Architectural Committee (08/20/2007) reviewed the building plans for a proposed new building for the 3.4-acre “Spectrum Plaza” property abutting subject property to the south and Continued the case pending the resolution of Zoning issues. AC took no action on 09/17/2007 due to discovery of lack of jurisdiction (building not within 300’ Corridor Appearance District).

BBOA-460 – JR Donelson for Oman Guthrie – Request for Special Exception per Zoning Code Section 11-11-8 for an alternative compliance plan to parking and screening requirements in the CH

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*Commercial High Intensity District for the 3.4-acre "Spectrum Plaza" property abutting subject property to the south – BOA Approved 10/01/2007.*

*BZ-335 – JR Donelson for Oman Guthrie – request for rezoning from IL to CH for the 3.4-acre "Spectrum Plaza" property abutting subject property to the south – PC Recommended Approval 10/15/2007 and City Council Approved 11/12/2007 (Ord. # 982).*

*BLPAC-1 – JR Donelson for Oman Guthrie – Landscaping Plan Alternative Compliance plan per Zoning Code Section 11-12-4.D for the 3.4-acre "Spectrum Plaza" property abutting subject property to the south – PC Conditionally Approved 11/19/2007.*

*BZ-356 – K.S. Collins for Lee & Twilah A. Fox – Request for rezoning from AG to RS-1 for a 0.81-acre tract section of a former 9-acre tract located to the northwest of subject property at 15015 S. Sheridan Rd. which 0.81-acre tract was then created per BL-384 – PC Recommended Approval 05/21/2012 and City Council Approved 06/11/2012 (Ord. # 2084).*

*BL-384 – K.S. Collins for Lee & Twilah A. Fox – Request for Lot-Split approval to separate a 0.81-acre tract from a then 9-acre tract located to the northwest of subject property at 15015 S. Sheridan Rd. – PC Conditionally Approved 05/21/2012.*

*BZ-369 – Lee & Twilah A. Fox – Request for rezoning from AG to RS-1 for a proposed 1-acre tract (containing a church campus at 15025 S. Sheridan Rd., which church is now known as the Living Water Family Church) section of a former 9-acre tract located to the northwest of subject property at 15015 S. Sheridan Rd. – PC Recommended Approval 12/16/2013 and City Council Approved 01/13/2014 (Ord. # 2125).*

*BL-389 – Lee & Twilah A. Fox – Request for Lot-Split to separate a 1-acre tract (containing a church campus, which church is now known as the Living Water Family Church at 15025 S. Sheridan Rd.) proposed for rezoning to RS-1 per BZ-369 – PC consideration pending 12/16/2013.*

**BACKGROUND INFORMATION:**

*The Applicant has expressed to Staff that the property would be used as an expansion of, or otherwise a use similar to the Bethesda Girls Home at 7106 E. 151<sup>st</sup> St. S. (abutting on the Applicant's property to the west). During the review of Site Plan and Building Permit applications for a building expansion on that property, Staff determined the Bethesda Girls Home was a Use Unit 5 "Residential Treatment Center" group home, permitted by right in the CS district per Zoning Code Section 11-7D-2 Table 1. A Residential Treatment Center is defined in Bixby Zoning Code Section 11-2-1 thus:*

*"RESIDENTIAL TREATMENT CENTER: A community based residential facility providing diagnostic or therapeutic services and long term room and board in a highly structured environment for its residents for alcoholism and drug abuse, mental illness or behavioral disorders."*

*The purpose of the application is to allow the proposed Use Unit (UU) 5 use of the subject property. UU 5 is not permitted by right in the existing IL district, but would be permitted by right in the requested CH district.*

*The Applicant, on the application form, stated that the use would be "home for youth addition to house," but specified Use Unit 2. This does not appear to be apt, since the closest potentially-matching Use Unit 2 uses<sup>1</sup> are housed in institutional buildings, not residential structures, and their residency and treatment are compulsory and invariably or typically imposed by the justice system.*

*The application is styled "BZ-376 – Joseph Guy Donohue for J.C. & Lila Morgan" because the Applicant was not yet in title to the property at the time of application. Per Tulsa County Assessor's records, the Applicant acquired the property by deed recorded July 30, 2014.*

*The current address is 6636 E. 151<sup>st</sup> St. S., but this address is inappropriate, as it suggests the property is immediately east of Sheridan Rd., but it is in fact located about 1/3 of a mile east of Sheridan Rd. and a few blocks east of 68<sup>th</sup> E. Ave. Prior to coming into title to the property, the Applicant expressed interest in having the buildings on the property re-addressed 7108 and 7110 E. 151<sup>st</sup> St. S. The first building number will be associated with the house, and the latter with the storage building on the property. Staff will perform the address reassignment shortly.*

**ANALYSIS:**

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<sup>1</sup> Such uses include "Adult detention center," "Convict prerelease center," "Correctional community treatment center," "Jail," "Juvenile delinquency center," and "Prison."

Subject Property Conditions. The subject property is an unplatted tract of land zoned IL and contains a single family dwelling. The subject property is a rectangular lot with approximately 188' of frontage on 151<sup>st</sup> St. S. and 211.25' of depth, and so contains approximately 1 acre.

The subject property is relatively flat and appears to drain to the east and/or south, ultimately to Bixby Creek.

Comprehensive Plan. The Comprehensive Plan designates the subject property as (1) Corridor (2) Industrial Area, (3) Development Sensitive, (4) Regional Trail, and (5) Community Trail.

The "Matrix to Determine Bixby Zoning Relationship to the Bixby Comprehensive Plan" ("Matrix") on page 27 of the Comprehensive Plan provides that the requested CH district May Be Found In Accordance with the Corridor and Development Sensitive designations of the Comprehensive Plan Land Use Map.

Page 7, item numbered 1 of the Comprehensive Plan states:

"The Bixby Comprehensive Plan map depicts desired land uses, intensities and use and development patterns to the year 2020. Intensities depicted for undeveloped lands are intended to develop as shown. Land uses depicted for undeveloped lands are recommendations which may vary in accordance with the Intensities depicted for those lands." (emphasis added)

This language is also found on page 30, item numbered 5.

This text introduces a test to the interpretation of the Comprehensive Plan Land Use Map, in addition to the Matrix: (1) If a parcel is within an area designated with a specific "Land Use" (other than "vacant, agricultural, rural residences, and open land," which cannot be interpreted as permanently-planned land uses), and (2) if said parcel is undeveloped, the "Land Use" designation on the Map should be interpreted to "recommend" how the parcel should be zoned and developed. Therefore, the "Land Use" designation of the Comprehensive Plan Land Use Map should also inform/provide direction on how rezoning applications should be considered by the Planning Commission and City Council.

The site is developed, and so this test does not appear to apply. Staff notes that the requested CH district and commercial use should not be considered substantially inconsistent with the Industrial Area land use designation of the Comprehensive Plan Land Use map, recognizing that the Zoning Code commonly permits commercial uses in industrial districts.

The Comprehensive Plan Land Use Map designates a Regional Trail along 151<sup>st</sup> St. S. between Memorial Dr. and Harvard Ave. It is shown on the north side of 151<sup>st</sup> St. S. until it crosses to the south side approximately where the subject property is located, and continuing on this south side to Harvard Ave. The Land Use Map also designates a Community Trail more or less along paralleling Bixby Creek from the old Railroad line south of 141<sup>st</sup> St. S. to its former (pre-channelized) confluence with the Arkansas River. This trail appears to cross 151<sup>st</sup> St. S. at or near the northeast corner of the subject property. The Matrix only includes, and the Zoning Code only requires consistency with the land use elements for rezoning purposes, not the Public Facilities / Urban Design Elements such as trails.

Surrounding Zoning and Land Use Compatibility. Surrounding zoning is primarily CS, CH, RMH, AG, and RS-1, as depicted on the case map and as described in further detail in the paragraphs that follow.

Across 151<sup>st</sup> St. S. to the north is vacant/wooded and agricultural land zoned AG.

The 3.4-acre "Spectrum Plaza" trade center property, zoned CH, abuts to the south and east. Further south and east is the Shadow Valley Mobile Home Park zoned RMH. Beyond this to the east and southeast is the former Conrad Farms' farmland.

Abutting to the west is approximately 3 ¼ acres of CS zoning consisting of the Applicant's property containing the Bethesda Girls Home at 7106 E. 151<sup>st</sup> St. S. and another nonresidential building (former location of the Living Water Family Church) at 7102 E. 151<sup>st</sup> St. S. and the Bixby Chiropractic at 7100 E. 151<sup>st</sup> St. S. A large vacant/wooded and agricultural acreage is located further west at the southeast corner of 151<sup>st</sup> St. S. and Sheridan Rd.

Across 151<sup>st</sup> St. S. to the northwest is rural residential along 68<sup>th</sup> E. Ave. and 149<sup>th</sup> / 148<sup>th</sup> St. S. in an unplatted subdivision possibly known as "Abbett Acres" zoned AG, the Leonard & Marker Funeral Home zoned CS and AG, a house on a 0.81-acre tract zoned RS-1 at 15015 S. Sheridan Rd., a church campus on a 1-acre tract zoned RS-1 (the new location of Living Water Family Church) at 15025 S. Sheridan Rd., and agricultural land zoned AG.

The requested CH zoning would be a logical extension of the established 3.4-acre CH district ("Spectrum Plaza" property) abutting subject property to the south. This CH district was relatively-recently approved, in 2007. Further, the requested CH zoning would be consistent with the approximately

3 3/4-acre CS district (possibly approved or intended for approval for CG) abutting subject property to the west and now addressed 7100, 7102, and 7106 E. 151<sup>st</sup> St. S.

In Staff's opinion, the subject property of 1 acre is not used for industrial, is not an industrial property in fact, and is too small and inappropriately located for industrial use. The area is not conducive to industrial development or use. CH zoning is somewhat similar to IL zoning, but permits more commercial uses by right and requires, for example, Special Exception approval for a Use Unit 25 Light Manufacturing and Industry uses. Therefore, the requested zoning would be considered a 'downzoning,' as it would further restrict the intensity of land uses permitted.

The surrounding zoning and land use patterns appear to support the requested rezoning to CH. Staff Recommendation. For the reasons outlined above, Staff is supportive of CH zoning, but with a PUD if determined necessary by the City Council upon Planning Commission recommendation.

Amended Zoning Code Section 11-5-2, per Ordinance # 2137 approved July 14, 2014, includes a new paragraph as follows:

*"Within areas designated "Corridor" and "Commercial Area" or "Vacant, Agricultural, Rural Residences, and Open Land" on the Comprehensive Plan Land Use Map, it is City policy to require that a Planned Unit Development (PUD) application be processed along with any application for rezoning to commercial, provided, however, that the City Council may Waive this requirement upon finding of sufficient good cause."*

*The subject property is designated Corridor, but not "Commercial Area" or "Vacant, Agricultural, Rural Residences, and Open Land." Therefore, neither the land use policy amendment to the Comprehensive Plan nor the requirement for a PUD per Zoning Code Section 11-5-2 apply to the subject property. However, it would still be appropriate to request the rezoning be done with a PUD per the City's longstanding practice to request PUDs for intensive rezonings, in order to allow the City to control the land uses, land use intensities, and development and land use standards, for the sake of compatibility.*

Upon questioning, Erik Enyart stated that there were two (2) methods to seek Zoning approval for the proposed land use, (1) a Special Exception for a Use Unit 5 community service, 'group home' type use in the IL district, or (2) a rezoning to a commercial district. Mr. Enyart noted that, although the requested CH zoning was appropriate from a Comprehensive Plan and surrounding zoning and land use standpoint, he believed the City Council should address land use question, and he therefore had counseled the Applicant to go this route.

Steve Sutton confirmed with Erik Enyart that, two (2) meetings prior, the Planning Commission had held a Public Hearing and gave a recommendation to the City Council, and the City Council approved a policy change doing two (2) things within areas designated "Corridor" and "Commercial Area" or having no specific land use designation on the Comprehensive Plan Land Use Map: (1) recommending retail use where appropriate in context, and (2) requiring a PUD. Mr. Enyart noted that retail sales taxes were critical for cities, to allow them to provide municipal services like police and fire and for capital improvements like streets and utilities. Mr. Enyart confirmed that the subject property was not technically subject to the requirement to do a PUD, because it was designated "Industrial" on the Comprehensive Plan Land Use Map. Mr. Enyart stated that, even though not required, it has been past policy, whenever rezoning to an intensive district, to recommend a PUD.

Chair Thomas Holland recognized Applicant Guy Donohue of 6809 E. 115<sup>th</sup> St. S. from the Sign-In Sheet. Mr. Donohue stated that he [now] owned the subject property, along with the property to the west, totaling 450' of frontage "down that corridor." Mr. Donohue stated that this was an "extremely good property for" [retail commercial uses] "that you want, when it is time to do so." Mr. Donohue stated, "I'm betting on Bixby." Mr. Donohue stated that he was [leasing the property to the Bethesda organization] "in the interim." Mr. Donohue stated that he was bringing in the

facilities for the girls and boys “to help pay for the property till a really good” [commercial business] is proposed. Mr. Donohue stated that he was going “with the potential it has.” Mr. Donohue stated, [depending on the development outcome of the Conrad Farms land,] “in a few years,” he would “move that facility off the corridor and develop that land.” Mr. Donohue stated that the “property next door was a parsonage,” and “the City of Bixby was not getting [sales] taxes for I don’t know how many years.” Mr. Donohue stated, “We’re making steps in the right direction – to advance the City coffers,” and that it was his “goal to capitalize on this.”

Steve Sutton clarified with Guy Donohue that he owned the properties and leased to the *Bethesda Girls Home*.

Guy Donohue stated that his properties were for lease or sale, but he would rather lease them. Mr. Donohue stated, “I’m sitting in a good position,” and stated that he had a three (3)-year lease with the *Bethesda Girls Home*, starting one (1) year ago, but had a working agreement with them that, “if something happens to the property, and I can move them to a better property, I can move them.”

Steve Sutton asked Guy Donohue how many girls resided at the *Bethesda Girls Home* facility, and Mr. Donohue responded 16. Larry Whiteley asked how many boys [would reside at the house on the subject property], and Mr. Donohue responded 12, but up to 16 in time.

Steve Sutton confirmed with Guy Donohue that the boys home could be considered an extension of the *Bethesda Girls Home*. Mr. Donohue stated that the home was for those with health issues, not through the penal system.

Jerod Hicks asked Guy Donohue, “Do you think it would be advantageous to have them next door to each other?” Mr. Donohue indicated agreement, and noted that the *Bethesda* boys home was told by the City of Sapulpa that they would have to move out. Steve Sutton asked why, and Mr. Donohue responded, “The City [of Sapulpa] wants [the property owner] to bring it up to code, and [the property owner] said he won’t spend the money.”

Guy Donohue introduced Trisha Pratt of 7106 E. 151<sup>st</sup> [St.] S. to discuss the *Bethesda* operations. Ms. Pratt introduced herself and her position, described her responsibility and tenure, and described the *Bethesda* operations, including the existing boys and girls home facilities in Bixby and Sapulpa, and answered several questions from the Commissioners and Staff. Ms. Pratt described treatment programs, eligibility, rules and restrictions, lengths of stay, resident to staff ratios, community projects, relationship to the public schools, school attendance, law enforcement records, including Bixby police records, common issues involving law enforcement including “self harm” and “running away,” one incident in Bixby involving a “runaway with a theft,” issues prevention efforts, program successes, and other such matters.

Lance Whisman noted that he had received a phonecall, and had researched the organization and found out its relationship to Bethesda Family Services of Pennsylvania. Mr. Whisman stated that he had checked and had reported to him the number of incidents recorded by the Bixby Police pertaining to the *Bethesda Girls Home* since January, 2014. Mr. Whisman stated that [the person who called him] had asked if [the number of incidents] would be worse with boys added to the subject property, and had expressed concern that this would cause more trouble. Mr. Whisman

asked Trisha Pratt if she had “ever had [the boys and girls homes] close by,” and Ms. Pratt responded, “No, never that close together.” Ms. Pratt stated, “I understand your trepidation,” and described the mentioned incident as an “isolated incident.” Ms. Pratt stated, “I can’t give any guarantees, but I can make sure they stay safe and have a safe environment, and promote civic duty for the clients.” Ms. Pratt stated that the program emphasizes following rules and codes, which turn into laws as one grows up, and then following laws. Ms. Pratt stated that “all [clients] are victims; none are offenders. Offenders don’t qualify for that program.” Mr. Whisman confirmed with Ms. Pratt that this would be “a trial—never before” attempted elsewhere [to her knowledge].

Larry Whiteley asked what the CH zoning would allow [in addition to the ‘group home’], and Erik Enyart responded that it would allow all retail uses and some heavy commercial uses, such as “trades and contractors.”

Trisha Pratt described timelines and the program’s small recidivism rate.

Chair Thomas Holland asked about the two (2) facilities’ plans for resources, and Trisha Pratt responded that they would be two (2) separate facilities and would not overlap the ratio of supervisors, that it would have “two (2) staffs, two (2) program directors,” and they “don’t overlap.”

Jerod Hicks noted that the organization seemed to be in a bit of a time crunch to get a new facility, to relocate from Sapulpa, and asked Trisha Pratt, if she could design it from the beginning, would she see this as a good idea or would red flags be raised. Ms. Pratt responded that she believed it would be a good idea, as she would see this as a “campus” and as the two (2) programs could have more resources. Ms. Pratt noted that there would be a basketball court and more things like this [which could be shared in tandem]. Ms. Pratt compared [the subject property and the *Bethesda Girls Home* property] to their other location, and stated that this one had a better setback from the street for outdoor activities. Ms. Pratt confirmed that, if she could plan the facilities from the beginning, she would still put them together. Ms. Pratt stated that the clients would only live at the homes, and the only interaction [between the boy and girl residents] would be at school. Ms. Pratt stated that the clients cannot disclose where they or other residents live, or they would be in trouble and have consequences. Ms. Pratt stated that the other residents “will tell if others” disclose their residency.

Patrick Boulden asked where the residents would go to school, and Trisha Pratt responded that they would all go to Bixby Public Schools. Ms. Pratt stated that she had worked with all of the principals and administration. Ms. Pratt clarified that the residents “come from all over but go [to school] here;” that their previous “school was someplace else.” Mr. Boulden clarified with Ms. Pratt that, upon their return, they go back to their original home school. Mr. Boulden confirmed with Ms. Pratt that the residents are voluntarily placed in these facilities. Ms. Pratt stated that some are referred by Shadow Mountain or Parkside, but 80% are voluntarily placed there by a parent. Ms. Pratt stated that the programs were funded by SoonerCare, and they must have a medical need to be there.

Lance Whisman asked if there was anyone else to speak on the item, and Chair Thomas Holland stated that there were no others signed up to speak.

Larry Whiteley made a MOTION to RECOMMEND APPROVAL of CH with the recommendations of the City Planner.

Erik Enyart addressed Chair Thomas Holland and stated that he had not had opportunity to discuss the PUD recommendation specifically with the Applicant.

Guy Donohue asked what a PUD was. Erik Enyart explained that a PUD was a special zoning district, and was essentially an agreement between the Applicant and the City, and spelled out what land uses were permitted, under what use conditions, and, when developed, what development standards would apply. Mr. Donohue stated that he was "okay with the City's requirements." Mr. Enyart stated that the PUD would take more time. Steve Sutton recommended Guy Donohue get with Mr. Enyart the next day [and before the City Council meeting], as the PUD was more than Mr. Enyart could explain in 60 seconds.

Chair Thomas Holland declared that the Motion had failed for lack of a Second. Erik Enyart questioned whether the Motion had died for lack of a Second [based on the tone of the discussion and recognizing that he had interrupted the process]. Discussion ensued.

Steve Sutton recommended Larry Whiteley reiterate his Motion, and Mr. Whiteley agreed to do so.

Patrick Boulden stated that the application could go to the City Council[, upon appeal,] without a recommendation. Discussion ensued.

Responding to a question, Erik Enyart stated that, in order for the application to get to the City Council, it required an "up or down vote" from the Planning Commission. Patrick Boulden consulted the Zoning Code and indicated agreement.

Steve Sutton made a MOTION to RECOMMEND DENIAL and addressed Guy Donohue with the reasoning: "so you can get to the Council."

Patrick Boulden advised the Motion should be amended to "recommend denial absent a PUD."

Steve Sutton Amended his Motion to be as follows: MOTION to RECOMMEND DENIAL absent a PUD. Larry Whiteley SECONDED the Motion. Roll was called:

ROLL CALL:

AYE:	Holland, Sutton, Whiteley, Hicks, and Whisman
NAY:	None.
ABSTAIN:	None.
MOTION PASSED:	5:0:0

Chair Thomas Holland declared an approximately five (5) minute recess at 6:53 PM.

After all members had reassembled, Chair Thomas Holland called the meeting back to order at 7:00 PM.

PLATS

4. **Final Plat – “Brisbane Office Park” – JR Donelson, Inc. (PUD 60).** Discussion and consideration of a Final Plat and certain Modifications/Waivers for “Brisbane Office Park” for approximately 10 acres in part of the W. 10 Ac. of the E. 20 Ac. of Government Lot 1, Section 31, T18N, R14E.  
Property Located: 10422 E. 111<sup>th</sup> St. S.

Chair Thomas Holland introduced the item and asked Erik Enyart for the Staff Report and recommendation. Mr. Enyart summarized the Staff Report as follows:

**To:** Bixby Planning Commission  
**From:** Erik Enyart, AICP, City Planner  
**Date:** Wednesday, August 13, 2014  
**RE:** Report and Recommendations (Revised 08/18/2014 to reflect the revised plat and information received 08/15/2014) for:  
Final Plat of “Brisbane Office Park” (PUD 60)

**LOCATION:** – 10422 E. 111<sup>th</sup> St. S.  
– Part of the W. 10 Ac. of the E. 20 Ac. of Government Lot 1, Section 31, T18N, R14E

**SIZE:** 9.87 acres, more or less

**EXISTING ZONING:** OL Office Low Intensity District, AG Agricultural District, & PUD 60

**SUPPLEMENTAL** PUD 60 “Brisbane Office Park”

**ZONING:**

**EXISTING USE:** A house and vacant/wooded land

**REQUEST:** Final Plat approval

**SURROUNDING ZONING AND LAND USE:**

**North:** (Across 111<sup>th</sup> St. S.) CG & R-2; Vacant/wooded land zoned R-2 and CG (perhaps pending residential development), and to the northeast, the Evergreen Baptist Church on a 40-acre campus at 6000 W. Florence St. in Broken Arrow (perhaps also addressed 10301 E. 111<sup>th</sup> St. S., “Bixby” per its website, [www.evergreenbc.org](http://www.evergreenbc.org)), all in the City of Broken Arrow.

**South:** RS-2; Single-family residential in Southwood East.

**East:** AG & RS-3; An agricultural/rural residential 10-acre tract and single-family residential in The Park at Southwood 3rd.

**West:** AG & CS; Unplatted vacant and rural residential tracts fronting along S. Mingo Rd., the Cedar Ridge Kingdom Hall of Jehovah’s Witnesses at 11355 S. Mingo Rd., and the City’s water tower.

**COMPREHENSIVE PLAN:** Low Intensity + Vacant, Agricultural, Rural Residences, and Open Land

**PREVIOUS/RELATED CASES:**

**BBOA-38 – Kenny Gibson** – Request for Special Exception to allow Use Unit 4 utility building (Bixby Telephone) in the AG District on a 75’ X 75’ tract from and within the northeast corner of the subject property – BOA Approved with Conditions 01/14/1985.

**BL-98 – Kenny Gibson** – Request for Lot-Split to separate a 75’ X 75’ tract from and within the northeast corner of the subject property for a utility building (Bixby Telephone) – PC Approved with Conditions 01/28/1985.

**PUD 60 – Riverside Group – Randy Pickard** – Request to rezone from AG to CS and OL and approve PUD 60 for a ministorage and office development for subject property – replaced by an amended application for PUD 60 and rezoning application BZ-337.

**Zoning Code Text Amendment** – Applicant in PUD 60 proposed to the City Council that it amend the Zoning Code to allow ministorage in OL and OM office zoning districts by Special Exception / PUD. City Council directed Staff to prepare amendment 10/22/2007. PC reviewed 12/17/2007, 01/21/2008, 01/28/2008, 02/11/2008, 02/18/2008, and 03/06/2008, and recommended Approval of specific amendment on 03/17/2008. City Council Approved amendment 04/14/2008 (Ord. # 994). PC

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recommended City Council make changes to amendment 05/19/2008 but City Council struck from agenda 07/14/2008 per City Attorney.

PUD 60 & BZ-337 – Riverside Group – Randy Pickard (Amended Application) – Request to rezone from AG to OL and AG and to approve an amended application for PUD 60 for a ministorage and office development for subject property – PC Continued from 12/17/2007 to 01/21/2008 to 02/18/2008 to 05/19/2008. On 05/19/2008, PC voted 3:2:0 on a Motion to recommend approval of OL zoning per BZ-337, and failed to pass a Motion to recommend Conditional Approval of PUD 60 (Amended Application) by 2:3:0 vote. PC chose not to take a subsequent vote on the possible denial recommendation, choosing instead to allow the case to be taken to the City Council absent a recommendation. City Council Conditionally Approved by 3:2:0 vote 06/23/2008 (Ord. # 1001). Additional Condition of Approval by City Council was “8ft wall, and stucco or masonry finish.”

PUD 60 Major Amendment # 1 “Riverside Group” – Matt Means of Landmark Constructive Solutions – Request for approval of Major Amendment # 1 to Planned Unit Development (PUD) # 60 for subject property – PC recommended Conditional Approval 06/16/2014 and City Council Conditionally Approved application 06/23/2014 and Approved by ordinance with Emergency Clause 08/11/2014 (Ord. # 2140).

Preliminary Plat of Brisbane Office Park – Request for approval of a Preliminary Plat and Modification/Waiver to allow Lot 2, Block 1, to have no frontage on a private or public street for subject property – PC recommended Conditional Approval 07/21/2014 and City Council Conditionally Approved plat and Modification/Waiver 08/11/2014.

#### BACKGROUND INFORMATION:

For the sake of efficiency, Staff has replaced the Deed of Dedication and Restrictive Covenants filed with the Final Plat application, received July 21, 2014, with those attached to the latest Preliminary Plat, received August 11, 2014. There still remain corrections to be made to these, as listed in the recommendations below.

#### ANALYSIS:

Subject Property Conditions. The subject property consists of the West 10 Acres of the East 20 Acres of Government Lot 1 (NW/4 NW/4) of Section 31, T18N, R14E, Less and Except a 75' X 75' tract from its northeast corner which belongs to BTC Broadband and contains a fenced communications building. The subject property contains an old house and accessory building(s) toward its northwestern lot corner, and is otherwise vacant and wooded. The subject property is moderately sloped and, per the Preliminary Plat and, contains a ridgeline oriented north-south along the west side of the tract, apparently roughly coterminous with the property's westerly line. This ridgeline forms a watershed (drainage divide) separating the Fry Creek Ditch # 1 and the Haikey Creek drainage basins. Per the elevation contours on the Preliminary Plat, all or almost all of the subject property naturally drains to the east and south to the Haikey Creek drainage basin. Upon completion of grading, paving, stormwater drainage and detention, and masonry screening wall improvements, all of the property will drain to the east and south.

The subject property appears to be presently served by the critical utilities (water, sewer, electric, etc.).

Comprehensive Plan. The Comprehensive Plan designates the subject property as (1) Low Intensity and (2) Vacant, Agricultural, Rural Residences, and Open Land/Residential Area.

The “Matrix to Determine Bixby Zoning Relationship to the Bixby Comprehensive Plan” (“Matrix”) on page 27 of the Comprehensive Plan provides that the existing AG district is In Accordance and the existing OL district May Be Found In Accordance with the Low Intensity designation of the Comprehensive Plan Land Use Map. Since OL zoning was approved by ordinance of the City Council, it has been recognized as being In Accordance with the Low Intensity designation of the Comprehensive Plan.

Page 7, item numbered 1 of the Comprehensive Plan states:

“ The Bixby Comprehensive Plan map depicts desired land uses, intensities and use and development patterns to the year 2020. Intensities depicted for undeveloped lands are intended to develop as shown. Land uses depicted for undeveloped lands are recommendations which may vary in accordance with the Intensities depicted for those lands.” (emphasis added)

This language is also found on page 30, item numbered 5.

This text introduces a test to the interpretation of the Comprehensive Plan Land Use Map, in addition to the Matrix: (1) If a parcel is within an area designated with a specific “Land Use” (other than “Vacant, Agricultural, Rural Residences, and Open Land,” which cannot be interpreted as permanently-planned land uses), and (2) if said parcel is undeveloped, the “Land Use” designation on the Map should

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be interpreted to "recommend" how the parcel should be zoned and developed. Therefore, the "Land Use" designation of the Comprehensive Plan Land Use Map should also inform/provide direction on how rezoning applications should be considered by the Planning Commission and City Council.

The Matrix does not indicate whether or not the existing OL or AG districts would be in accordance with the Vacant, Agricultural, Rural Residences, and Open Land Land Use designation of the Plan Map. However, this Vacant, Agricultural, Rural Residences, and Open Land designation cannot be interpreted as permanently-planned land uses, and so the specific land use designation test as indicated on Page 7, item numbered 1 and page 30, item numbered 5 of the Comprehensive Plan, would not apply here.

Per the Matrix, PUDs (as a zoning district) May Be Found In Accordance with the Low Intensity designation of the Comprehensive Plan Land Use Map. Since PUD 60 and PUD 60 Major Amendment # 1 were both approved by ordinances of the City Council, PUD 60 has been recognized as being In Accordance with the Comprehensive Plan as a zoning district.

Therefore, Staff believes that the office park and ministorage development anticipated by this plat would not be inconsistent with the Comprehensive Plan.

General. This subdivision of 9.87 acres, more or less, proposes two (2) lots, one (1) block, and one (1) reserve area, to be known as "Reserve A." Lot 1, Block 1, is proposed to be for the office park, and Lot 2, Block 1, is proposed to be the ministorage business. Reserve A will serve as the development's stormwater detention facility.

With the exception(s) as outlined elsewhere herein, the Final Plat appears to conform to the Zoning Code, Subdivision Regulations, and PUD 60 as amended by Major Amendment # 1.

The Technical Advisory Committee (TAC) reviewed this application on August 06, 2014. The Minutes of the meeting are attached to this report.

The Fire Marshal's, City Engineer's, and City Attorney's memos are attached to this Staff Report (if received). Their comments are incorporated herein by reference and should be made conditions of approval where not satisfied at the time of approval.

Access & Circulation. The subject property has approximately 330' of frontage on 111<sup>th</sup> St. S., and the site plan proposes two (2) driveway connections thereto. Mutual Access Easement (MAE) drives would provide a connection and legal access to the street for the "back" Lot 2 and Reserve A.

With the Preliminary Plat, on August 11, 2014, the City Council approved a Modification/Waiver from Subdivision Regulations Section 12-3-4.B to allow Lot 2, Block 1, to have no frontage on a private or public street. This was requested by letter received August 11, 2014, and was described as being justified by citing the configuration of the subject property and the Approved PUD 60 and PUD 60 Major Amendment # 1, which specifically designed the development in this manner and provided that the frontage requirement was set aside.

No new streets, public or private, would be constructed. Thus, the stub-out street requirements of SRS Section 12-3-2.C is not applicable.

Plans for access can be further inferred from the proposed plat and the site plans for PUD 60 Major Amendment # 1.

Sidewalks are required along 111<sup>th</sup> St. S. by the Subdivision Regulations.

Limits of No Access (LNA) are currently proposed along 111<sup>th</sup> St. S. except for access point(s), which must be approved by the City Engineer and Fire Marshal.

Staff Recommendation. Staff recommends Approval of the Final Plat with the following corrections, modifications, and Conditions of Approval:

1. Subject to compliance with all Fire Marshal, City Attorney, and City Engineer recommendations and requirements.
2. Limits of No Access (LNA) and Access Openings subject to City Engineer and Fire Marshal approval.
3. ~~The Minimum 17.5' Perimeter Utility Easement, as required by Subdivision Regulations Section 12-3-3.A, appears to be missing from Reserve A, which does not appear to also be dedicated as a U/E.~~
4. ~~Please identify "right of way dedicated by this plat" to 26.9' of right of way to be dedicated.~~
5. ~~Please restore 26.9' of right of way to be dedicated from in front of the BTC Broadband parcel, or otherwise identify if the latter has already been dedicated, along with Book/Page or Document # citation.~~
6. ~~Please clarify the arrows pointing to (rather than the extents of) the Minimum 17.5' Perimeter Utility Easement, as required by Subdivision Regulations Section 12-3-3.A, especially in areas~~

~~of significant linework congestion and where missing around the BTC Broadband parcel. It may be better that all arrows point out the extents of the U/Es, and not point to them. A line with double arrows can sometimes be more spatially efficient.~~

7. Per SRs Section 12-4-2.A.5, please correct Location Map as follows:
  - a. ~~Cypress Pointe (misspelled)~~
  - b. Southwood East, Southwood East Second, The Park at Southwood, The Park at Southwood 2nd, The Park at Southwood 3rd, Shannondale, and Shannondale South (misrepresented as to configuration)
  - c. ~~Southwood East Second (misspelled)~~
8. Please add missing underlying zoning district boundaries as required by SRs Section 12-4-2.B.3.
9. ~~Please add proposed addresses to Lot 2 and Reserve A. 10422 E. 111th St. S. should not be retained for Lot 1, as it is over 1,000' west of 103rd E. Ave. A more accurate address would be in the 9900 block of E. 111th St. S.~~
10. ~~Plat missing notes pertaining to monumentation (reference SRs Section 12-1-8).~~
11. Please restore solid black line around the northeast corner of the subject property indicating plat boundaries. The area to become Reserve A is zoned AG, and the balance of the property is zoned OL.
12. Subdivision statistics: ~~Claims two (2) Reserve Areas but only one (1) observed.~~
13. Please resolve text/linework conflicts at the 51.90' proposed lot line.
14. 15' U/E abutting to the south in Southwood East – please label width and citation (“per Plat # \_\_\_\_\_”) if/as may be the case. Southwood East is Plat # 3679.
15. Please add different linetypes to the Legend for the sake of clarity and/or consider using shading or hatching to differentiate areas currently congested with multiple linetypes. In any event, please use different linetypes for different features if/where presently shared.
16. Please supplement Legend with any missing linetypes, abbreviations, and symbols used (e.g. CenterLine, “WL-ESMT,” [certain manhole] circle symbols, B/L linetype, etc.).
17. DoD/RCs: DoD/RCs Section 3 now provides for the formation of a Property Owners’ Association (POA), such as would be made responsible for the stormwater detention pond in Reserve A, the MAEs, and any other common features developed within the addition, such as the balance of the stormwater drainage system. Consider updating DoD/RCs 3.A.2 to assign perpetual maintenance responsibility to the POA, if/as appropriate, rather than StoreTulsa.com. Staff recommends a formula for the respective maintenance responsibilities of Reserve Area A and the MAEs (the latter, e.g.: only responsible for that part located within lot boundaries, or an equal share between the two (2) lot owners, or a proportional share based on lot areas or planned impervious surface, etc.). Please add clear and immutable formula language on the face of the plat in addition to the appropriate section(s) of the DoD/RCs (which may be fairly easily amended and commonly without City approval). DoD/RCs Section 1.D.4, regarding stormsewerlines, is explicit in this matter, but consistency should be used if forming a POA or using a formula for other common elements. Response: “17. Owner doesn’t want a POA. Language taken out of DOD.” Acknowledged. Review item updated accordingly.
18. DoD/RCs: Please advise if landscaping, screening fences, or other potentially-common elements will be owned/maintained commonly. If so, please amend appropriate part(s) of DoD/RCs accordingly.
19. ~~DoD/RCs: Consider updating to incorporate language requested by AEP PSO by email on August 06, 2014, regarding overhead electrical lines along 111th St. S. Done.~~
20. DoD/RCs Preamble: Owner, StoreTulsa.com, LLC, must be in title to the subject property prior to Final Plat recording.
21. DoD/RCs Section 1.H: Does not appear to provide for passive recreational uses (such as walking trails or simply “open space”) in Reserve Area A. PUD 60 suggested this possibility by use of term “open space.”
22. DoD/RCs Section 2: Please update with final PUD language upon City Council approval by ordinance.
23. DoD/RCs Section 3.A.3: Appears to correspond to the required “Maintenance Covenant” of PUD 60, but is not titled as such and does not appear to correspond entirely to the language used in the PUD for the “Maintenance Covenant.” Please title appropriately and reconcile

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language. This section was removed, and needs to be restored and then reconciled with the item as written.

24. DoD/RCs Section 4.[B]: Since the DoD/RCs were renumbered, please add to list of sections requiring City of Bixby concurrence "all of Section 4." Section 3 may be removed as it was originally intended.
25. DoD/RCs Section 4.[D]: May have a redundancy – please check and address if/as needed.
26. DoD/RCs Section 4.[D]: Final paragraph should be restored and should likely have a subsection number. i.e. "Any successor(s) in title to the lots within..."
27. ~~DoD/RCs Section 1.D.3: Reference to Reserve B added, which Reserve B is not represented on the plat. Done.~~
28. DoD/RCs Section 3.B converted to Section 4. However, subsection "[A]" retained, and titles should be reconciled. Subsections 1 through 4, inclusive, should be renumbered consistent with the balance of the DoD/RCs, i.e. A, B, C, and D.
29. ~~DoD/RCs Section 5.A provides "StoreTulsa.com, LLC has formed the "BRISBANE OFFICE PARK PROPERTY OWNERS ASSOCIATION, Inc..." If this has occurred or will have occurred prior to plat recording, please submit a copy of the Secretary of State incorporation documents for placement in the permanent file and for notification to the Bixby Neighborhood Coordinator. If otherwise, the wording may more appropriately be tensed "...shall form or cease to be formed..." Please also reconcile balance of section. Response: "Removed." Done.~~
30. ~~DoD/RCs Section 5.C: Please check Oklahoma law to see if delinquent assessment liens can be made a "personal obligation." Response: "Removed." Done.~~
31. ~~DoD/RCs Section 5.D: Please check Oklahoma law to see if delinquent assessment liens can be made a "personal obligation" which "shall not pass through to successors in title." Response: "Removed." Done.~~
32. Please provide release letters from all utility companies serving the subdivision as per SRs Section 12-2-6.B.
33. Copies of the Preliminary Plat, including all recommended corrections, modifications, and Conditions of Approval, shall be submitted for placement in the permanent file (1 full size, 1 11" X 17", and 1 electronic copy).
34. Copies of the Final Plat, including all recommended corrections, modifications, and Conditions of Approval, shall be submitted for placement in the permanent file (1 full size, 1 11" X 17", and 1 electronic copy).
35. 37.5' dimension appears to be artifact pointing to the house on the PP version and can be removed; otherwise, please identify or explain.
36. The "IP" abbreviation used in the Legend does not match the symbol used.
37. Numbering system in DoD/RCs Section 3 appears to have been corrupted.

Erik Enyart noted that he had provided the Commissioners a revised Staff Report and revised Final Plat prior to the meeting. Mr. Enyart stated that the new version satisfied a number of the review comments, but there remained a few. Mr. Enyart stated that the most substantive change was to remove the provisions for a Property Owners Association and make all of the maintenance the responsibility of the lot owners, but that this arrangement still required explicitly outlining what proportions of which improvements would be shared between the lot owners.

Steve Sutton asked JR Donelson if he would be able to resolve the outstanding issues, and Mr. Donelson responded, "Yes, hopefully before the City Council meeting." Mr. Donelson stated that he had met with Erik Enyart earlier that day and had a better understanding of certain issues. Mr. Donelson stated that they were "minor and cosmetic" and could probably be resolved within 15 minutes. Mr. Donelson stated that he had given the first submittal to the City Engineer, so that he could review the drainage plans. Mr. Donelson noted that Joe Daniels [representing the owner of the property abutting to the east] was present and indicated he was working with Mr. Daniels. Mr. Donelson presented and described development plans to the Commissioners. Others in the audience

approached the dais and inspected the plans as well. Mr. Donelson noted the location of an inlet he said the City of Bixby wanted replaced. Mr. Donelson stated that there would be 8'-high walls, which would "contain the water on" the property and would be "basically retaining walls." Mr. Donelson described the stormsewer plans for the property, and noted that the property naturally drains from west to east. Mr. Donelson stated that, when the Daniels' property develops, it "needs a 17.5'[-wide] Utility Easement," and stated that [he and his client were] negotiating with [the Daniels family] for a 20'[-wide] U/E. Mr. Donelson stated that the stormwater and water systems would be private. Mr. Donelson stated that there would be a small lift station [per the current plans], with a forcemain sewerline to transfer to [the existing system in] Southwood East.

Chair Thomas Holland recognized Matt Means of 10865 S. 94<sup>th</sup> E. Ave. from the Sign-In Sheet. Mr. Means referred to Erik Enyart's earlier statement and stated that he had the Property Owners Association provisions removed [from the Deed of Dedication and Restrictive Covenants], as it was [just an unnecessary complication] since he would own all the lots.

JR Donelson indicated he understood Erik Enyart's recommendation on this matter that, [although Matt Means will own it for a long time,] the recommendation was "to assure 10:15 years down the line successors or assigns are responsible as well."

A question was asked whether the wall would be the developer's maintenance responsibility, and Matt Means and JR Donelson responded, "Yes."

Chair Thomas Holland recognized Carl Snow of 11227 S. Mingo Rd. from the Sign-In Sheet. Mr. Snow noted that the stormwater runoff would all be to the east and indicated he was satisfied at this time.

Chair Thomas Holland recognized Joe Daniels of 10234 E. 111<sup>th</sup> Pl. S. from the Sign-In Sheet. Mr. Daniels expressed concern for drainage water against a wooden fence. JR Donelson stated that the fence would be masonry, and Erik Enyart indicated agreement. Mr. Daniels indicated he was satisfied with this response.

Chair Thomas Holland recognized Janet Dyer of 11305 S. Mingo Rd. from the Sign-In Sheet. Ms. Dyer expressed concern that the masonry wall would stop in the middle of her backyard. Erik Enyart stated that the stormwater detention pond in Reserve A was not subject to the screening requirement, that it applied to the "built facility but not the pond."

JR Donelson noted that the stormwater detention pond should be fenced for liability reasons and to keep people from getting into [the ministorage area] and stealing.

At the dais, discussion ensued between JR Donelson, Matt Means, the Commissioners, Staff, and interested abutting property owners regarding which boundaries of the proposed Reserve A would or should have the masonry wall applied. Ultimately, Matt Means agreed to place it along the east and south lines and the northerly end of the west line, to the southeast corner of the Janet Dyer property, with the balance of the westerly line occupied by an existing fence, serving the City of Bixby's water tower property, to remain.

JR Donelson stated that his client would like to propose acquiring the water tower property, after it would have been declared surplus. Matt Means rhetorically demurred in response to a question as to what he would use it for. Patrick Boulden stated that this was an "interesting proposal." Mr. Means was advised to submit a formal proposal for the City to respond to.

There being no further discussion, Steve Sutton made a MOTION to RECOMMEND APPROVAL of the Final Plat of "Brisbane Office Park" subject to all of the corrections, modifications, and Conditions of Approval as recommended by Staff. Jerod Hicks SECONDED the Motion. Roll was called:

**ROLL CALL:**

AYE: Holland, Sutton, Whiteley, Hicks, and Whisman  
NAY: None.  
ABSTAIN: None.  
MOTION PASSED: 5:0:0

5. (Continued from 07/21/2014)

**Preliminary Plat of "Bricktown Square" – Sisemore Weisz & Associates, Inc. (PUD 31-A).** Discussion and consideration of a Preliminary Plat and certain Modifications/Waivers for "Bricktown Square" for 4.547 acres in part of the SW/4 NW/4 of Section 01, T17N, R13E.

Property Located: 12409 S. Memorial Dr.

**OTHER BUSINESS**

6. (Continued from 07/21/2014)

**PUD 31-A – Bricktown Square – Minor Amendment # 1.** Discussion and possible action to approve Minor Amendment # 1 to PUD 31-A for 4.547 acres in part of the SW/4 NW/4 of Section 01, T17N, R13E, with underlying zoning CS Commercial, OL Office, and RS-1 Residential, which amendment proposes reducing the minimum Land Area per Dwelling Unit standard and making certain other amendments.

Property Located: 12409 S. Memorial Dr.

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Chair Thomas Holland introduced related Agenda Item #s 5 and 6 and confirmed with Erik Enyart that the Applicant had requested a Continuance to the next meeting.

Larry Whiteley made a MOTION to CONTINUE PUD 31-A Minor Amendment # 1 and the Preliminary Plat of "Bricktown Square" to the September 15, 2014 Regular Meeting as requested by the Applicant. Steve Sutton SECONDED the Motion. Roll was called:

**ROLL CALL:**

AYE: Holland, Whiteley, Hicks, Sutton, and Whisman  
NAY: None.  
ABSTAIN: None.  
MOTION PASSED: 5:0:0

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OLD BUSINESS:

Chair Thomas Holland asked if there was any Old Business to consider. Erik Enyart stated that he had none. No action taken.

NEW BUSINESS:

Chair Thomas Holland asked if there was any Old Business to consider. Erik Enyart stated that he had none. No action taken.

ADJOURNMENT:

There being no further business, Chair Thomas Holland declared the meeting Adjourned at 7:20 PM.

APPROVED BY:

\_\_\_\_\_

Chair

\_\_\_\_\_

Date

\_\_\_\_\_

City Planner/Recording Secretary

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BIXBY PLANNING COMMISSION  
SIGN IN SHEET  
DATE: August 18, 2008

NAME	ADDRESS	ITEM
1. JR Danelson		4
2. Gary Dondrop	6809 E. 115 <sup>th</sup> ST.	37
3. Trishia Pratt	7106 E. 151 <sup>st</sup> P.S.	37
4. Matt MEANS	10865 S 9 <sup>th</sup> E. PL	4
5. Carl Snow	11227 S Mingo	4
6. JOE DANIELS	10234 E. 111 <sup>th</sup> PL - 5c	4
7. JANET Dyer	11305 S MINGO	4
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CITY OF BIXBY  
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## STAFF REPORT

**To:** Bixby Planning Commission  
**From:** Erik Enyart, AICP, City Planner *EE*  
**Date:** Thursday, September 11, 2014  
**RE:** Report and Recommendations for:  
PUD 12 – Conrad Farms Holdings, LLC &  
PUD 85 – “Conrad Farms” – Conrad Farms Holdings, LLC &  
BZ-377 – Conrad Farms Holdings, LLC

**LOCATION:** – 7400 E. 151<sup>st</sup> St. S.  
– Part of Section 23, T17N, R13E

**SIZE:** – 200.6 acres, more or less (parent tracts aggregate)  
– 136.48 acres, more or less (applications area)

**EXISTING ZONING:** AG Agricultural District; there is some CS zoning on a parent tract parcel at the northwest corner of 161<sup>st</sup> St. S. and Memorial Dr., but not within the area concerned by the applications

**EXISTING USE:** Former Conrad Farms agricultural land; there is a communications tower on a parent tract parcel, but not within the area concerned by the applications

**REQUESTED ZONING:** RS-3 Single-Family Dwelling District & PUD 85

**SUPPLEMENTAL ZONING:** None; there is Corridor Appearance District supplemental zoning on two (2) parent tract parcels which front on 151<sup>st</sup> St. S. and Memorial Dr., but not within the area concerned by the applications

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SURROUNDING ZONING AND LAND USE:

North: (Across 151<sup>st</sup> St. S.) AG; An approximately 150-acre tract of agricultural land.

South: (Across 161<sup>st</sup> St. S.) AG; Agricultural land.

East: (to Memorial Dr.) AG, CG, IL, RS-2, RD, CS, and RM-2; A 3.7-acre rural residential and agricultural tract belonging to the Conrad family, commercial and industrial uses in *Bixby Industrial Park* zoned CG and IL, and Bixby Creek and its attendant easements and rights-of-way primarily zoned AG; further east are single-family residential homes and one (1) duplex in and around the *Jim King Addition* neighborhood zoned AG, RS-2, and RD and several businesses, churches, homes, agricultural areas, and vacant areas along the west side of Memorial Dr. zoned AG, CG, CS, and RM-2.

West: (to Sheridan Rd) RMH, CH, IL, CS, and AG; The Shadow Valley Mobile Home Park zoned RMH, the "Spectrum Plaza" trade center zoned CH, a single-family house on 1-acre zoned IL, and a CS district containing the *Bethesda Girls Home* at 7106 E. 151<sup>st</sup> St. S., another nonresidential building (former location of the *Living Water Family Church*) at 7102 E. 151<sup>st</sup> St. S., and the *Bixby Chiropractic* at 7100 E. 151<sup>st</sup> St. S. Further west along the east side of Sheridan Rd. are several vacant/wooded, agricultural, and rural residential tracts of land zoned AG.

COMPREHENSIVE PLAN: Development Sensitive + Vacant, Agricultural, Rural Residences, and Open Land + Special District # 4 + Community Trails (BCPA-12 requests removal or amendment of Special District # 4 designation)

PREVIOUS/RELATED CASES:

BZ-41 – Chester Conrad – Request for rezoning from AG to CS for the E/2 SE/4 SE/4 of this Section (20 acres), including part of a subject property parent tract – PC Recommended Approval on 11/24/1975 and City Council Approved 01/20/1976 (Ord. # 305).

BBOA-112 – Chester Conrad – Request for Special Exception to allow oil well drilling for the SE/4 of this Section (40 acres), including part of subject property parent tracts – BOA Conditionally Approved 12/13/1982.

BBOA-368 – Sprint PCS/Wireless – Request for Special Exception to allow up to 150' in aggregate height as measured at grade for an antenna supporting structure (communications tower) on a 0.229-acre lease site within a subject property parent tract at approximately the 7600-block of E. 161<sup>st</sup> St. S. (perhaps, inappropriately, addressed 7997 E. 161<sup>st</sup> St. S.) – BOA Approved 07/01/2001.

RELEVANT AREA CASE HISTORY: (not a complete list; cases east of Bixby Creek and Memorial Dr. not included here)

BBOA-70 – Luther Metcalf for Melvin Skaggs – Request for Special Exception to allow a single family dwelling (site built) in an RMH district for property of approximately 3 ¾ acres to the west of subject property and now addressed 7100, 7102, and 7106 E. 151<sup>st</sup> St. S. – BOA Approved 01/08/1980.

BZ-81 – Jerry Green – Request for rezoning from RMH to IL for approximately 4.8 acres, which included a house on 1 acre and the (now) 3.4-acre "Spectrum Plaza" property to the west of subject property at 7220/7222/7224 E. 151<sup>st</sup> St. S. – PC Recommended Approval 03/31/1980 and City Council Approved 04/21/1980 (Ord. # 395).

BZ-120 – Calvin Tinney – Request for rezoning from AG to RS-3 for the E/2 of the SW/4 of this Section (80 acres) to the west of subject property – PC Recommended Approval 08/30/1982 and City Council Approved 09/07/1982 (Ord. # 460).

BZ-126 – Georgina Landman and/or W.S. Atherton – Request for rezoning from RS-3 to RS-1 for approximately 80 acres (E/2 SW/4 Section 22, T17N, R13E) to the west of subject property – Applicant did not own the property requested for downzoning – PC Recommended Approval 12/27/1982 and City Council Denied 01/03/1983 upon recommendation of City Planner and City Attorney.

BBOA-133 – Lendell Hall – Request for Special Exception to allow a mobile home on the NE/4 of the NW/4 of Section 26, T17N, R13E (40 acres) abutting subject property to the southwest – BOA Conditionally Approved 10/09/1984.

BBOA-145 – J. S. Peerson – Request for Special Exception to allow oil and gas well drilling for the NE/4 of Section 26, T17N, R13E (160 acres) abutting subject property to the south – BOA Conditionally Approved 06/10/1985.

BBOA-151 – Joe Peerson – Request for Special Exception to allow oil and gas well drilling for the N/2 of the SE/4 of Section 26, T17N, R13E (80 acres) to the south of subject property – BOA Conditionally Approved 10/09/1985.

BZ-181 – W.S. Atherton – Request for rezoning from AG & RS-3 to CG, RM-3, and RE for approximately 240 acres located to the west of subject property, the SE/4 and the E/2 of the SW/4 of Section 22, T17N, R13E, for an “Atherton Farms Equestrian Estates” residential subdivision (never built) – Approved by City Council 06/23/1987 (Ord. # 562).

BBOA-190 – W.S. Atherton – Request for “Use Variance” to allow the keeping of horses on individual lots as an accessory use for approximately 240 acres located to the west of subject property, the SE/4 and the E/2 of the SW/4 of Section 22, T17N, R13E, for an “Atherton Farms Equestrian Estates” residential subdivision (never built) – Approved by BOA 07/13/1987.

BBOA-218 – Marthell Laster – Request for Variance from the bulk and area requirements in the AG district for a former 5-acre tract to the southwest of subject property at 6800/6802 E. 161<sup>st</sup> St. S. to allow for a Lot-Split – BOA Approved 11/19/1989.

BZ-199 – Dan Stilwell – Request for rezoning from RMH to CG for approximately 3 ¾ acres to the west of subject property and now addressed 7100, 7102, and 7106 E. 151<sup>st</sup> St. S. – PC recommended Approval 05/18/1992 and City Council Approved 05/25/1992 (Ord. # 667). However, the legal description used may not have closed and the ordinance did not contain the approved Zoning District. The official Zoning Map reflects CS instead of CG. Any interested property owner may petition the City of Bixby to reconsider a CG designation as an amendment to Ordinance # 667 per BZ-199, subject to the recommendations and instructions of the City Attorney.

BBOA-252 – Dan Stilwell – Request for Special Exception to allow horses as a Use Unit 20 use in the (then requested) CG district for property of approximately 3 ¾ acres to the west of subject property and now addressed 7100, 7102, and 7106 E. 151<sup>st</sup> St. S. – BOA Approved 06/01/1992.

BBOA-307 – Bobby & Karrie Applegarth – Request for Special Exception to allow a mobile home on a 6.4-acre tract to the southwest of subject property at 6710 E. 161<sup>st</sup> St. S. – BOA Conditionally Approved 11/16/1995.

PUD 20 – Atherton Farms Equestrian Estates – Phillip Faubert – Request for rezoning from AG & RS-3 to CG, RM-3, and RE for approximately 240 acres located to the west of subject property, the SE/4 and the E/2 of the SW/4 of Section 22, T17N, R13E, for an

“Atherton Farms Equestrian Estates” residential subdivision (never built) – Recommended for Approval by PC 01/20/1998. However, this case was evidently never presented to the City Council, as it did not appear on any agenda from January 26, 1998 to April 27, 1998, no Ordinance was found relating to it, and there are no notes in the case file suggesting it ever went to City Council. Further, PUD 20 does not exist on the official Zoning Map. An undated application signed by Phillip Faubert from circa March, 2001 was found in the case file requesting to “rescind PUD 20,” but no records or notes were found to determine the eventual disposition of this request, if any.

BZ-238 – W.S. Atherton – Request for rezoning from AG to RE for approximately 10 acres located to the west of subject property for part of an “Atherton Farms Equestrian Estates” residential subdivision (never built), part of 240 acres located to the west of subject property, the SE/4 and the E/2 of the SW/4 of Section 22, T17N, R13E – Approved by City Council 02/23/1998 (Ord. # 768).

BZ-287 – Randy King – Request for rezoning from AG to CG for a 4-acre tract to the northwest of subject property at 6825 E. 151<sup>st</sup> St. S. – PC (09/16/2002) Recommended Denial and suggested that the item be brought back as a PUD; denial recommendation evidently not appealed to City Council.

BBOA-423 – Karen Johnson – Request for Floodplain variance “to allow fill in the floodplain without providing compensatory storage (Engineering Design Standards Section E)” for property to the northeast of subject property at 7580 E. 151<sup>st</sup> St. S., a former *NAPA* auto parts store that had been destroyed by fire – BOA Denied 07/13/2004.

AC-05-01-01 – Commercial buildings for the 3.4-acre “Spectrum Plaza” property to the west of subject property at 7220/7222/7224 E. 151<sup>st</sup> St. S. – Architectural Committee Approved 01/27/2005.

PUD 48 – “Pecan Meadows” –Tanner Consulting – Request for rezoning from AG to RS-2 and PUD approval for approximately 40 acres to the southwest of subject property, the SW/4 of the NW /4 of Section 26, T17N, R13E for a residential subdivision (never built) – PC Recommended Approval 11/21/2005 and City Council Approved 12/12/2005 (Ord. # 927).

BZ-325 – The Porter Companies, Inc. for Claxton/Clayton Broach Trust – Request for rezoning from AG to CS for a 150-acre tract located to the north of subject property in the 6900 : 7700-block of E. 151<sup>st</sup> St. S. – PC Recommended Approval 01/16/2007. Withdrawn by Applicant by letter dated 02/05/2007 (letter requested the application be “postponed... until such time that the Porter Companies take title to the property).”

AC-07-08-06 – Architectural Committee (08/20/2007) reviewed the building plans for a proposed new building for the 3.4-acre “Spectrum Plaza” property to the west of subject property at 7220/7222/7224 E. 151<sup>st</sup> St. S. and Continued the case pending the resolution of Zoning issues. AC took no action on 09/17/2007 due to discovery of lack of jurisdiction (building not within 300’ Corridor Appearance District).

BZ-334 – Jack Byers – Request for rezoning from AG to RE for approximately 3.5 acres tract to the southwest of subject property at 16101 S. Sheridan Rd. to facilitate a Lot-Split application (BL-349) – Withdrawn by Applicant prior to PC meeting 09/17/2007.

BBOA-460 – JR Donelson for Oman Guthrie – Request for Special Exception per Zoning Code Section 11-11-8 for an alternative compliance plan to parking and screening requirements in the CH Commercial High Intensity District for the 3.4-acre “Spectrum Plaza” property to the west of subject property at 7220/7222/7224 E. 151<sup>st</sup> St. S. – BOA Approved 10/01/2007.

BZ-335 – JR Donelson for Oman Guthrie – request for rezoning from IL to CH for the 3.4-acre “Spectrum Plaza” property to the west of subject property at 7220/7222/7224 E. 151<sup>st</sup> St. S. – PC Recommended Approval 10/15/2007 and City Council Approved 11/12/2007 (Ord. # 982).

BLPAC-1 – JR Donelson for Oman Guthrie – Landscaping Plan Alternative Compliance plan per Zoning Code Section 11-12-4.D for the 3.4-acre “Spectrum Plaza” property to the west of subject property at 7220/7222/7224 E. 151<sup>st</sup> St. S. – PC Conditionally Approved 11/19/2007.

Plat Waiver for Downtown Bixby Church of Christ – Request for Waiver of the platting requirement per Zoning Code Section 11-8-13 (formerly 260) for a church on approximately 6 acres to the east of subject property at 15802 S. Memorial Dr. – City Council Conditionally Approved 11/26/2007.

AC-07-12-01 – Downtown Bixby Church of Christ – Request for Architectural Committee Detailed Site Plan approval for a church on approximately 6 acres to the east of subject property at 15802 S. Memorial Dr. – Architectural Committee Conditionally Approved 12/17/2007 and Conditionally Approved Minor Amendments thereto 02/17/2009.

BBOA-485 – Phillip Faubert – Request for Special Exception per Zoning Code Section 11-7D-2 Table 1 to allow a Use Unit 6 single-family dwelling and customary accessory structures in the CG district for a 2.7-acre tract located to the west of subject property located within 240 acres, the SE/4 and the E/2 of the SW/4 of Section 22, T17N, R13E, previously proposed to be the “Atherton Farms Equestrian Estates” residential subdivision (never built) – BOA Approved 08/04/2008.

BBOA-486 – Phillip Faubert – Request for Variance from certain bulk and area requirements of Zoning Code Section 11-7D-4 Table 2, including, but not necessarily limited to: The setback from an abutting R district and the 100-foot minimum street frontage requirement, to allow a Use Unit 6 single-family dwelling and customary accessory structures in the CG district for a 2.7-acre tract located to the west of subject property located within 240 acres, the SE/4 and the E/2 of the SW/4 of Section 22, T17N, R13E, previously proposed to be the “Atherton Farms Equestrian Estates” residential subdivision (never built) – BOA Approved 08/04/2008.

BBOA-503 – Brandon & Elisha Long – Request for (1) A Variance from the Zoning Code to allow a garage accessory structure as a principal use prior to the construction and occupancy of the principal dwelling, and (2) A Variance from the Zoning Code to allow said accessory structure to be used as a residence, including after such time as the primary residence is constructed and occupied, all in the AG Agricultural District, for a 6.4-acre tract to the southwest of subject property at 6710 E. 161<sup>st</sup> St. S. – BOA Conditionally Approved 04/06/2009.

BBOA-514 – Jerry & Mary Ezell – Request for (1) A Variance from the minimum public street frontage standard of Zoning Code Section 11-8-4, and (2) a Variance from certain other bulk and area standards of the AG Zoning District as per Zoning Code Section 11-7A-4 Table 3, all to allow for the construction of a house on an existing lot of record in the AG Agricultural District for approximately 2.04 acres to the southwest of subject property at 16315 S. Sheridan Rd. – BOA Approved 12/07/2009.

BCPA-8, PUD 75 “LeAnn Acres,” & BZ-359 – JR Donelson, Inc. / Roger & LeAnn Metcalf – request to (1) amend the Comprehensive Plan Land Use Map to redesignate those parts of the property presently designated “Low Intensity” and/or “Special District # 4” to “Medium Intensity” and remove the “Special District # 4” designation, (2) rezone from AG to RM-2,

and (3) approve PUD 75 for a multifamily development on approximately 25 acres abutting the subject property to the west at 15329 S. Sheridan Rd. – PC Recommended Conditional Approval 01/21/2013 and City Council Conditionally Approved 01/28/2013. However, ordinance not approved because the PUD package presented was not in its final form / did not incorporate the required Conditions of Approval. To date, the final PUD package has not been received. All applications were recognized as “inactive” and filed away on 04/29/2014.

BZ-376 – Joseph Guy Donohue for J.C. & Lila Morgan – request for rezoning from IL to CH for a 1-acre tract to the west of subject property at 6636 E. 151<sup>st</sup> St. S. (to be re-addressed 7108 and 7110 E. 151<sup>st</sup> St. S.) – PC Recommended Denial absent a PUD 08/18/2014. Not appealed to City Council.

#### BACKGROUND INFORMATION:

The Nature and Value of the Comprehensive Plan. Comprehensive Plans are the result of intensive study, broadly garnered and comprehensive information, professional analysis and coordination, public input, and general consensus of the City’s staff, Planning Commission, and City Council. They bring together all planning functions (e.g., housing, land use, transportation, physical environment, energy, infrastructure and community facilities, demographics, etc.), analyze and compare them all on the community-wide scale, relate them to specific geographical areas within the community (i.e. the Land Use Map), and consider all this with a long-range time perspective (e.g., 15-20 years into the future).

The Comprehensive Plan is a thorough, complete, and well researched policy document used to inform the Planning Commission, City Council, and the Public at large how land can best be developed and used (among other things), and so how rezoning applications should be accepted or rejected. Comprehensive Plans, when followed, prevent arbitrary, unreasonable, or capricious exercise of the legislative power resulting in haphazard or piecemeal rezonings (read: rezoning decisions legally indefensible in a court of law).

Comprehensive Plans can be highly prescriptive, prescribing specific land uses and land use intensities to specific parcels of land, or can be highly generalized, merely mapping out large swaths of land which may be suitable for certain intensities of development, and including a broad range of zoning districts which may be authorized therein. Bixby’s Comprehensive Plan falls somewhere in between, specifically designating certain areas with specific land uses, and others more generally (e.g. the “Corridor” designation.).

Zoning Code Section 11-5-2 prohibits rezonings which would conflict with the Comprehensive Plan, and requires that such rezonings “must be processed along with a request to amend the land use map and a PUD in order to be accepted and considered.” The Applicant has requested PUD 85 in support of BCPA-12 and the rezoning application.

Procedure for Comprehensive Plan Amendments. Certain passages in the Comprehensive Plan text (page 30, 55, etc.) suggest the anticipation of amendments to the Plan. However, the Comprehensive Plan does not provide, nor do State Statutes, a definite procedure or method for the City or property owners to request to amend the Comprehensive Plan. The City of Broken Arrow regularly (quarterly, etc.) considers applications to amend their Comprehensive Plan, for

cases where a rezoning application would not be consistent with the Plan, but the plan amendment and rezoning application may be appropriate.

After receiving the first two (2) requests in mid-2008 (BCPA-1 and BCPA-2), Staff consulted the City of Broken Arrow to determine how that community goes about facilitating applications for Comprehensive Plan amendments, and followed the same method, which was supported by the Applicant's attorney in those cases, which was to advertise the public hearing in the same manner used for a rezoning application: By sign posting on the property, newspaper publication, and mailing a notice to all property owners within a 300' radius of the subject property. This method was used in applications BCPA-3 and BCPA-4 in 2009, BCPA-5 and BCPA-6 in 2011, BCPA-7 and BCPA-8 in 2012, and BCPA-9 and BCPA-10 in 2013/2014, and all of these have been done in this amendment case as well. BCPA-11 was an amendment to the Comprehensive Plan text, approved by Ordinance # 2136 on July 14, 2014.

Scale of Development. With up to 500 lots legally entitled, as proposed by this PUD, the "Conrad Farms" development may be the largest purely single-family residential development in Bixby. As of now, the largest exclusively single-family residential subdivision is *South Country Estates*, with 260 lots, platted in 1979. "Willow Creek" (PUD 78) has been approved for up to 291 lots, which will likely be platted and developed in phases. Platted between 1997 and 2001, all of the "The Park at Southwood" subdivisions (*The Park at Southwood*, *The Park at Southwood 2nd*, and *The Park at Southwood 3rd*) together total 438 lots. Platted between 1999 and 2004, all of the "Twin Creeks" subdivisions (*Twin Creeks*, *Twin Creeks II*, *Twin Creeks III*, *Twin Creeks III Extended*, and *Twin Creeks Villas*) together total 406 lots. Several subdivisions have used the "Southwood" and "Southern Memorial Acres" names, but these were often separated by time period and location (sometimes in different Sections of land), they often contained significantly different design patterns (including lot sizes), and they may also have been developed by different developers, even when using these keywords. Developed with single-family homes, downtown "storefront" commercial buildings, and other uses, often covering multiple lots per structure, the *Midland Addition* was platted in 1911 with 660 typically 25' X 130' lots and a railroad. A multifamily development, *The Links at Bixby*, platted in 1996, contains 504 apartment dwelling units and a 9-hole golf course.

#### ANALYSIS:

Subject Property Conditions. The subject property parent tracts are composed of four (4) parcels of land:

1. The SE/4 of the NW/4 and the NW/4 of the SE/4 and the W/2 of the SW/4 of the NE/4 and part of the N/2 of the N/2: The largest tract, approximately 125.5 acres, contains the former Conrad Farms retail facility (partially damaged by the July 23:24, 2013 "derecho" / "bow echo" event; greenhouses since removed) and a house, perhaps both addressed 7400 E. 151<sup>st</sup> St. S., and approximately seven (7) on-site labor houses east of the southeast corner of the Shadow Valley Mobile Home Park, Tulsa County Assessor's Parcel # 97323732315260,
2. The SW/4 of the SE/4: Approximately 40 acres, contains a communications tower on a 0.229-acre lease site at approximately the 7600-block of E. 161<sup>st</sup> St. S. (perhaps,

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inappropriately, addressed 7997 E. 161<sup>st</sup> St. S.), Tulsa County Assessor's Parcel # 97323732354360,

3. The SW/4 of the NE/4 of the SE/4, less that part sold to Downtown Bixby Church of Christ: Approximately 8.8 acres, contains the confluence of Bixby Creek and an unnamed, upstream tributary thereof, Tulsa County Assessor's Parcel # 97323732353160,
4. The SE/4 of the SE/4, less those parts owned by Downtown Bixby Church of Christ, City of Bixby, and ODOT: Approximately 26.3 acres located at the northwest corner of the intersection of 161<sup>st</sup> St. S. and Memorial Dr., zoned AG and CS, Tulsa County Assessor's Parcel # 97323732358360.

Altogether, the subject property parent tracts total approximately 200.6 acres, and the area contained by the three (3) applications total 136.48 acres. The applications area excludes (A) that part located in the N/2 of the N/2 of this Section (along 151<sup>st</sup> St. S.), (B) that part located east of the tributary to Bixby Creek (along Memorial Dr.), and (3) those parts lying east of the westerly Bixby Creek right-of-way / easement line "per Corps of Engineers Right-Of-Way Plans." The site plan and/or survey should be updated to specify whether the area to the east of the line is right-of-way (fee simple ownership) or a "right-of-way easement," and should cite Book/Page or Document # reference where the instrument conveying right-of-way or easement interest is recorded with the Tulsa County Clerk.

The subject property is relatively flat but appears to slope downward to the east and south, ultimately draining to Bixby Creek.

The subject property is presently served by the critical utilities (water, sewer, electric, etc.), or otherwise will be served by line extensions as required.

Comprehensive Plan. The Comprehensive Plan designates all of the subject property as (1) Development Sensitive, (2) Vacant, Agricultural, Rural Residences, and Open Land, (3) Special District # 4, and (4) Community Trails. BCPA-12 requests amendment or removal of the Special District # 4 designation, to allow the subject property to be rezoned to RS-3 and be developed with a housing addition.

The Bixby Comprehensive Plan provides, on Pages 20 and 21, the following pertaining to Special District # 4:

- "d. Special District 4 is that area previously designated In the 1991 Bixby Comprehensive Plan in which a majority of the land is located within the 100 year flood plain. This development sensitive area is located approximately from one-quarter mile south of S. H. 67, west of S. Memorial Drive, north of 171" Street South, and east of the upland area along S. Sheridan Road. The majority of this land is used for agricultural purposes. This [is] prime farm land and contributes strongly to the "green theme" characteristic of Bixby . Preservation of those Special District areas should continue with AG zoning the primary designation. Certain select areas adjacent to major roadway intersections may be appropriate for different zoning designations in

accordance with the other Urban Design Development Guidelines. Any change in use in this area should be designed to integrate continuing agribusiness uses, provide onsite drainage control solutions, it should provide appropriate buffers between adjoining land uses on the upland area along S. Sheridan Road, south of 171<sup>st</sup> Street South, and along S. Memorial Drive.” (emphasis added)

Special District # 4 calls for areas within to “continue with AG zoning the primary designation,” but that “[c]ertain select areas adjacent to major roadway intersections may be appropriate for different zoning designations...” The intent appears to be that the subject property (application area), to the extent located within Special District # 4, “should continue with AG zoning,” as it is not within a reasonable distance of a major street intersection. The “Matrix to Determine Bixby Zoning Relationship to the Bixby Comprehensive Plan” (“Matrix”) on page 27 of the Comprehensive Plan provides that the only residential districts which *May Be Found In Accordance* with Special District # 4 are the RE, RM-1, and RM-2 districts; none of the RS districts can be found in accordance.

At the time Conrad Farms announced, in mid-2013, that it would close and put the property up for sale in late 2013, it was widely reported that developers were interested in the Conrad Farms land. In a July 23, 2013 *Tulsa World* article entitled “Farming in Oklahoma must be a labor of love,” owner Vernon Conrad was quoted as saying “I don’t think you could buy us out and make a living [by farming].” It stands to reason that the land value, the likely price upon sale, would make continued farming economically untenable. Further, when the Comprehensive Plan first designated the Conrad Farms land as “Special District # 4,” or similarly, with the intent of it remaining farmland, more of the subject property was in the 100-year Regulatory Floodplain. Indeed, much of the balance of the land to the south of the subject property remains in the 100-year Regulatory Floodplain. However, since then, more recent mapping has shown the subject property applications area as primarily out of the 100-year Regulatory Floodplain. Thus, current events and improved floodplain conditions have changed the likely land use outcomes for the subject property.

BCPA-12 proposes to amend or remove the “Special District #4” designation. The Special District # 4 was Conditionally Approved for removal from a southerly portion of the 25-acre development property abutting to the west per BCPA-8/PUD 75 “LeAnn Acres” in January, 2013. Rather than amending the PUD Text that pertains to Special District # 4, which should still be applicable to the balance of the special district, Staff recommends that any approval take the form of simple removal of the subject property application area from the Land Use Map. This would leave Special District # 4 in place for the low-lying, agricultural areas south of 161<sup>st</sup> St. S. to the 17300-block of S. Memorial Dr., the two (2) agricultural/rural residential tracts at the 15400-block of S. Sheridan Rd., parts of the SW/4 of this Section, being 160 acres of vacant/wooded and agricultural land under different ownership, and certain areas along Bixby Creek north of 161<sup>st</sup> St. S.

The “Matrix to Determine Bixby Zoning Relationship to the Bixby Comprehensive Plan” (“Matrix”) on page 27 of the Comprehensive Plan provides that RS-3 zoning *May Be Found In Accordance* with the Development Sensitive designation of the Comprehensive Plan Land Use Map.

Page 7, item numbered 1 of the Comprehensive Plan states:

“ The Bixby Comprehensive Plan map depicts desired land uses, intensities and use and development patterns to the year 2020. Intensities depicted for undeveloped lands are intended to develop as shown. Land uses depicted for undeveloped lands are recommendations which may vary in accordance with the Intensities depicted for those lands.” (emphasis added)

This language is also found on page 30, item numbered 5.

This text introduces a test to the interpretation of the Comprehensive Plan Land Use Map, in addition to the Matrix: (1) If a parcel is within an area designated with a specific “Land Use” (other than “Vacant, Agricultural, Rural Residences, and Open Land,” which cannot be interpreted as permanently-planned land uses), and (2) if said parcel is undeveloped, the “Land Use” designation on the Map should be interpreted to “recommend” how the parcel should be zoned and developed. Therefore, the “Land Use” designation of the Comprehensive Plan Land Use Map should also inform/provide direction on how rezoning applications should be considered by the Planning Commission and City Council.

The Matrix does not indicate whether or not the RS-3 zoning district would be in accordance with the Vacant, Agricultural, Rural Residences, and Open Land Land Use designation of the Plan Map. However, this Vacant, Agricultural, Rural Residences, and Open Land designation cannot be interpreted as permanently-planned land uses, and so the specific land use designation test as indicated on Page 7, item numbered 1 and page 30, item numbered 5 of the Comprehensive Plan, would not apply here.

Per the Matrix, PUDs (as a zoning district) *May Be Found In Accordance* with the Development Sensitive designation of the Comprehensive Plan Land Use Map, and thus PUD 85 *May Be Found In Accordance* with the Comprehensive Plan as a zoning district.

Due to all of the factors listed and described above, Staff believes that the proposed RS-3 zoning and residential development proposed per PUD 85 should be found *In Accordance* with the Comprehensive Plan, provided they are approved together and along with BCPA-12 and the recommended modifications and Conditions of Approval pertaining to the PUD listed in the recommendations below.

General. The PUD proposes a single-family residential subdivision development with a maximum of 500 lots, per PUD Development Standards. However, the PUD Concept Development Plan (herein, sometimes referred to as “Site Plan” or “site plan”) shows 452 lots and the PUD text specifies 480 lots. The Development Standards are the controlling figure. At this scale, it should be expected to see a variance between the conceptual site plan and the Development Standards, but the number specified in the PUD Text should be reconciled with that in the Development Standards.

The submitted site plan exhibits a suburban-style subdivision design, but with a relatively urban, grid street pattern, but with several long blocks. Only one (1) cul-de-sac street is

indicated. Based on relative proportions, what appears to be a collector street would extend from 161<sup>st</sup> St. S. northerly toward the northern end of the subject property applications area. What appear to be alleys bisect certain blocks, all oriented east-west. One "Proposed Common Area" is indicated, and a large "Proposed [Stormwater] Detention Pond" occupies an easterly acreage of the site plan, corresponding to the area just upstream of the confluence of Bixby Creek and its tributary here. Other miscellaneous odd pieces are mostly found along the irregular geometries formed by the southwesterly line of the Bixby Creek right-of-way/easement.

Per the PUD Development Standards, the minimum lot width would be 65', and minimum lot area would be 6,900 square feet. The Site Plan notes that 289 (64%) of the lots shown will be (typically) 65' X 110' (7,150 square feet), and the balance are (typically) 75' X 125' (9,375 square feet). Based on dimensions provided and proportions observed, Staff's findings upon inspection are roughly consistent with the figures provided.

The density/intensity proposed, 500 lots, is consistent with the Zoning Code, which would yield more than this number with straight RS-3 zoning on 136.48 acres, and the PUD provisions of the Zoning Code would enable even more.

Because the review methodology is similar, and all three (3) applications are essentially rezoning-related and propose to prepare the subject property for the same single-family residential subdivision development, this review will, for the most part, include all three (3) applications simultaneously, and not attempt to differentiate between the analyses pertaining to each of the different applications.

In the interest of efficiency and avoiding redundancy, regarding PUD particulars for needed corrections and site development considerations, please refer to the recommended Conditions of Approval as listed at the end of this report.

The Fire Marshal's, City Engineer's, and City Attorney's review correspondence are attached to this Staff Report (if received). Their comments are incorporated herein by reference and should be made conditions of approval where not satisfied at the time of approval.

The Technical Advisory Committee (TAC) discussed BCPA-12 and PUD 85 at its regular meeting held September 03, 2014. Minutes of that meeting are attached to this report.

Access and Internal Circulation. Plans for access and internal circulation are described in the "Access and Circulation" Section 4.0 of the PUD Text as follows:

"Vehicular access to the development will be provided from 161<sup>st</sup> Street. The required 161<sup>st</sup> R/W (50' half street) will be dedicated with the plat. Internal streets will be 26' wide and located within 50' R/W's per City of Bixby Engineering Design Criteria Manual."

Plans for access can be further inferred from the site plans.

By review memo and per the discussion at the September 03, 2014 TAC meeting, the Fire Marshal has observed that the Fire Code requires a minimum separation between access roads based on a formula using the diagonal width of the development tract. The Fire Marshal has

stated that, due to existing geometries, the required separation cannot be achieved solely on 161<sup>st</sup> St. S. as proposed. The Fire Marshal's memo recommends the additional access come from 151<sup>st</sup> St. S. This route would appear to be more easily attainable, as the property owner owns land through which such a connection could be made. A connection to Sheridan Rd. would require acquiring easement or right-of-way from a different property owner. Unless allowed to utilize the private drive serving the Shadow Valley Mobile Home Park (which is in the 100-year Floodplain), connecting to 151<sup>st</sup> St. S. or Memorial Dr. would require bridging Bixby Creek or its tributary. The additional accessway, as may be required, should be out of the 100-year Floodplain.

Due to the scale of this development (see Background Information), Staff has recognized a need to consider the number and formats of points of access in proportion to the number of dwelling units served. This ratio matter was discussed for the "Willow Creek" and "The Trails at White Hawk" developments proposed and approved most recently in 2013 and 2014. The Subdivision Regulations do not contain a ratio schedule for the number of required points of access to a subdivision based on the number of lots within it. Recommendations as to adequacy of the three (3) means of ingress and egress in ratio to the number of lots proposed should and have previously come from the City Planner, Fire Marshal, and Police Chief. In the case of "Willow Creek" in 2008, when 254 lots were proposed, all considered and expressed that the three (3) points of access should be considered adequate, two (2) of which points of access consisted of a Collector Street connecting 131<sup>st</sup> St. S. to Mingo Rd. All three (3) verbally indicated that the three (3) were still adequate when that number was increased to 276 lots in 2009. Once more, all three (3) indicated that the three (3) were still adequate when that number was increased to 291 lots in 2013. In the case of "The Trails at White Hawk," City Staff concurred that three (3) points of access would be acceptable for the 261 residential lots planned behind a commercial frontage development area, including a Collector Street connecting 151<sup>st</sup> St. S. to Lakewood Ave. in *The Ridge at South County*, which in turn connects to 141<sup>st</sup> St. S. The third access serving "The Trails at White Hawk" is an emergency access drive connection to Kingston Ave.

In this case, City Staff is considering whether three (3) points of access will be acceptable for the proposed 500 lots, which recommendation will likely ultimately include that at least one (1) Collector Street connecting two (2) arterial streets. The City Planner and Fire Marshal have called for a third point of access, and the Police Chief has been consulted for recommendation, which will be provided at the Planning Commission meeting if available at that time.

The existing PUD Text should be enhanced to specify that at least one (1) collector street, for which Subdivision Regulations Section 9.2.2 requires a minimum of 60' of right-of-way and 36' of paving width, will serve the development and connect 161<sup>st</sup> St. S. to at least one other arterial street.

It may be possible to structure the language in the PUD flexibly, providing that the two (2) points of access now proposed will allow development only up to a certain development area boundary (consistent with the Fire Code formula) and maximum number of lots, until the Collector Street is extended to the second arterial street. This formula for staging would be subject to City Staff recommendation and City Council approval.



The site plan should be updated to reflect street configuration changes pursuant to the connectivity recommendations provided elsewhere herein.

The City of Bixby has the responsibility to ensure that development properties are not hampered by lack of planning and access provision when abutting properties are developed. Avoiding the stub-out requirement would require a Waiver of the Subdivision Regulations. The PUD site plan indicates stub-out streets will be provided to three (3) of the four (4) tracts abutting to the west and having frontage on Sheridan Rd. The Subdivision Regulations require stub-out street provision to all adjoining unplatted tracts. This could be achieved for the fourth by relocating the stub-out street to center at the southeast corner of the N/2 of the N/2 of the SW/4 of this section, allowing two (2) tracts to be served. Stub-out streets are also technically required to the unplatted properties including and along Bixby Creek, and to the excluded portions of the Applicant's property fronting on 151<sup>st</sup> St. S. and Memorial Dr. In the case of the former, the PUD Text should note that a Modification/Waiver from this requirement will be requested with the Preliminary Plat application for those areas which correspond to Bixby Creek (unless a Collector Street bridge to another arterial street will be planned). In the latter case, the PUD Text should be amended to state, alternatively as the case may be, that a collector street will be extended through the excluded area to connect 161<sup>st</sup> St. S. to another arterial street, or otherwise a Modification/Waiver will be requested to not connect this residential development to a likely future nonresidential development. In that case, the Text may observe that these area(s) are designated Corridor on the Comprehensive Plan, and so may not be appropriate to provide access to if developed non-residentially.

Recognizing the Comprehensive Plan designates Community Trails along Bixby Creek and westerly toward Sheridan Rd., Staff requests the developer consider (1) improving or otherwise describing plans to utilize existing access drives along the southwesterly side of Bixby Creek as a walking trail amenity for the development, and (2) incorporating pedestrian / trail elements within the development consistent with the intent of the Comprehensive Plan. If the developer would be willing to make such improvement(s), appropriate language should also be added to the PUD Text Section 4.0 "Access and Circulation" and the PUD site plan should be updated accordingly.

The PUD Text should specify that required sidewalks shall be constructed by the subdivision developer along 161<sup>st</sup> St. S., and contain customary language regarding homebuilder construction of sidewalks along internal streets.

The Text and Exhibits indicate a proposed 50' dedication for 161<sup>st</sup> St. S. as required for this Secondary Arterial street.

The Site Plan reflects what may be considered a greater share of streets in proportion to number of lots served. A redesign may result in a more efficient street network pattern and a reduction in instances of double-frontage.

Surrounding Zoning and Land Use. Surrounding zoning is a mixture of AG, CS, CG, CH, IL, RS-2, RD, RMH, and RM-2. See the case map for illustration of existing zoning patterns, which are described in the following paragraphs.

North across 151<sup>st</sup> St. S. and south across 161<sup>st</sup> St. S. are agricultural areas zoned AG.

To the east (up to Memorial Dr.), clockwise, include a 3.7-acre rural residential and agricultural tract belonging to the Conrad family, commercial and industrial uses in *Bixby Industrial Park* zoned CG and IL, and Bixby Creek and its attendant easements and rights-of-way primarily zoned AG. Further east are single-family residential homes and one (1) duplex in and around the *Jim King Addition* neighborhood zoned AG, RS-2, and RD and several businesses, churches, homes, agricultural areas, and vacant areas along the west side of Memorial Dr. zoned AG, CG, CS, and RM-2.

Counterclockwise to the west (up to Sheridan Rd) are the Shadow Valley Mobile Home Park zoned RMH, the "Spectrum Plaza" trade center zoned CH, a single-family house on 1-acre zoned IL, and a CS district containing the *Bethesda Girls Home* at 7106 E. 151<sup>st</sup> St. S., another nonresidential building (former location of the *Living Water Family Church*) at 7102 E. 151<sup>st</sup> St. S., and the *Bixby Chiropractic* at 7100 E. 151<sup>st</sup> St. S. Further west along the east side of Sheridan Rd. are several vacant/wooded, agricultural, and rural residential tracts of land zoned AG.

Since the Comprehensive Plan did not specify "highest and best" land uses for the subject property, which was to remain agricultural in zoning [and land use], BCPA-12 provides the opportunity to so specify. Throughout Bixby, developable areas that are interior to Sections of land and areas along non-commercial arterial streets, single-family residential use predominates. Thus, it is logical to expect single-family use on the subject property. It is not necessary, however, to specify a land use upon the removal of Special District # 4, if approved. The Development Sensitive and Vacant, Agricultural, Rural Residences, and Open Land designations would allow for RS-3 zoning and PUD 85 as proposed. To keep the matter simple and flexible, if approved, Staff recommends that the Special District # 4 designation simply be removed. This would also be consistent with the removal of the Special District # 4 as Conditionally Approved for the 25-acre development tract abutting to the west per BCPA-8/PUD 75 "LeAnn Acres."

For all the reasons outlined above, Staff believes that RS-3 zoning, PUD 84, and BCPA-12 would not be inconsistent with the surrounding zoning, land use, and development patterns and are appropriate in recognition of the available infrastructure and other physical facts of the area.

PUD 85 does not propose reducing lot widths, lot size, or setbacks as required in the RS-3 district. PUD 85 was requested as required in order to amend the Comprehensive Plan.

Zoning Code Section 11-7I-8.C requires PUDs be found to comply with the following prerequisites:

1. Whether the PUD is consistent with the comprehensive plan;
2. Whether the PUD harmonizes with the existing and expected development of surrounding areas;

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3. Whether the PUD is a unified treatment of the development possibilities of the project site; and

4. Whether the PUD is consistent with the stated purposes and standards of this article.

Regarding the fourth item, the “standards” refer to the requirements for PUDs generally and, per Section 11-7I-2, the “purposes” include:

A. Permit innovative land development while maintaining appropriate limitation on the character and intensity of use and assuring compatibility with adjoining and proximate properties;

B. Permit flexibility within the development to best utilize the unique physical features of the particular site;

C. Provide and preserve meaningful open space; and

D. Achieve a continuity of function and design within the development.

Subject to certain design issues being resolved as recommended herein, Staff believes that the prerequisites for PUD approval per Zoning Code Section 11-7I-8.C are met in this application.

Staff Recommendation. For all the reasons outlined above, Staff believes that the surrounding zoning and land uses and the physical facts of the area weigh in favor of all three (3) requests generally. Therefore, Staff recommends Approval of all three (3) requests, subject to the following corrections, modifications, and Conditions of Approval:

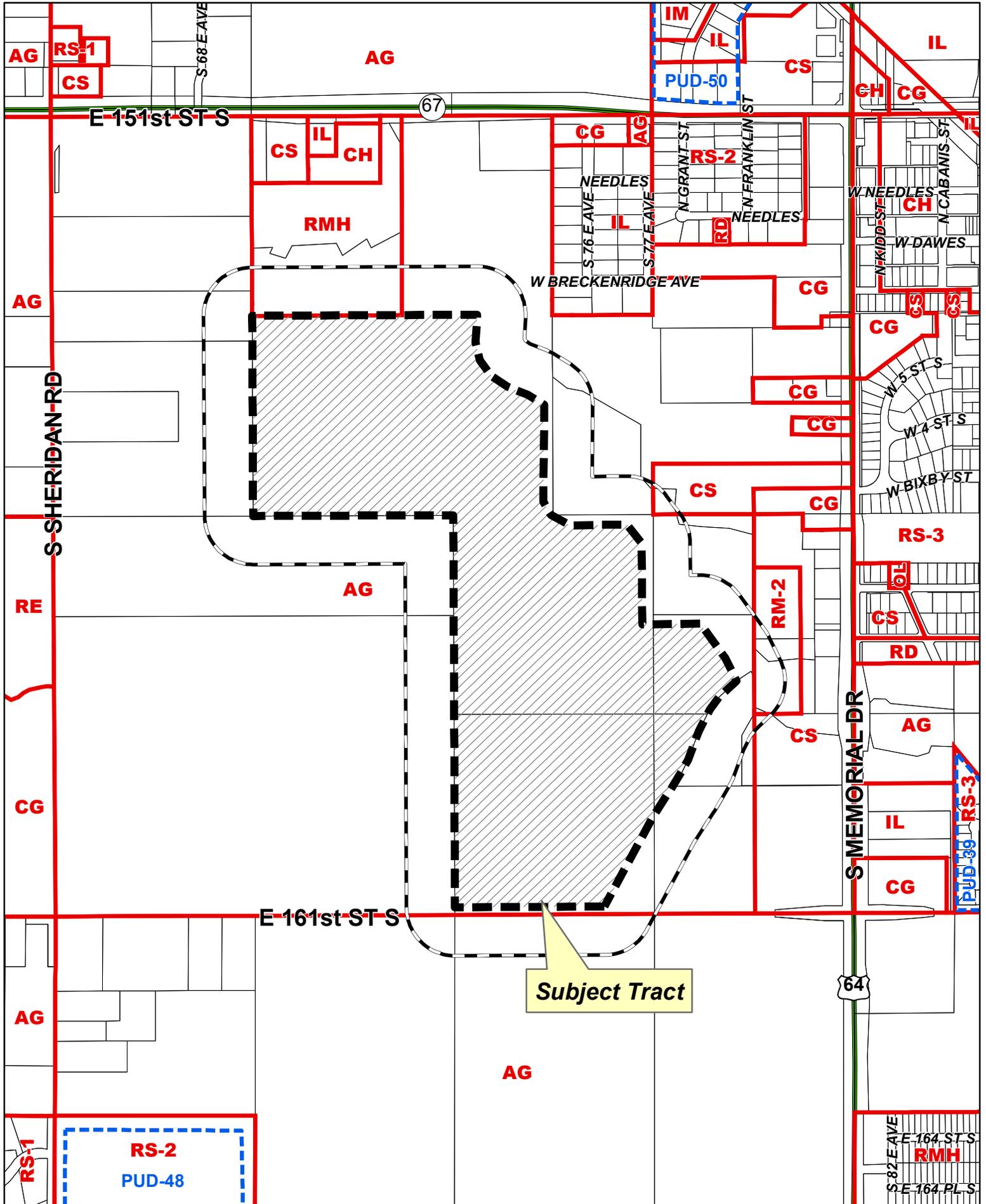
1. The approval of RS-3 zoning, PUD 85, and BCPA-12 are each and all subject to the final approval of all others.
2. Subject to the satisfaction of all outstanding Fire Marshal, City Engineer, and City Attorney recommendations. This item will be addressed by PUD Text Section 8.0 entitled “Standard Requirements.”
3. Subject to City Engineer curb cut approval for street intersections with 161<sup>st</sup> St. S. and/or Sheridan Rd., and ODOT curb cut / driveway permit for any street intersections with State Hwy 67 (151<sup>st</sup> St. S.) and/or U.S. Hwy 64 (Memorial Dr.), and the Fire Marshal’s approval of locations, spacing, widths, and curb return radii. This item will be adequately addressed by the section in the PUD Text entitled “Standard Requirements.”
4. Regarding Bixby Creek, the site plan and/or survey should be updated to specify whether the area to the east of the line is right-of-way (fee simple ownership) or a “right-of-way easement,” and should cite Book/Page or Document # reference where the instrument conveying right-of-way or easement interest is recorded with the Tulsa County Clerk.
5. PUD Text Section 1.0 Introduction: Please specify that the rezoning change corresponds to application BZ-377 and acknowledge that a change to the Comprehensive Plan is proposed per BCPA-12.

6. PUD Text Section 1.0 Introduction: Please clarify that the PUD contains one (1) Development Area (DA), as shown on Exhibit A, label the one (1) DA on Exhibit A, and list in the Development Standards (e.g. "Development Area A"). If necessary and allowed, per other recommendations herein, to define a smaller developable area to be served by the two (2) points of access now proposed, and before the third connection is established, such area may be identified in the Text and on the Site Plan as Development Area A-1, with the balance to be defined as Development Area A-2, or similarly.
7. PUD Text Section 1.0 Introduction: Please reconcile the number of lots specified here with that in the Development Standards.
8. PUD Text Section 3.0 Development Standards: Permitted Uses: Consider whether a UU 5 neighborhood amenity will be planned, such as is common in such large developments (e.g. pool/clubhouse/etc.). If so, it should be specified as such, with language that its approval will attach only to the Reserve Areas, lot, or lots on which such is/are built, and the same is/are subject to Planning Commission site plan approval. The location(s) should be indicated on the conceptual site plan, if planned and if known.
9. PUD Text Section 3.0 Development Standards: Minimum Lot Width: Please remove the 30' lot width line item and add an asterisk to the 65' line item with asterisk text such as "Cul-de-sac or irregular lots must have a minimum of 20' of frontage and 30' of lot width at the front building line, in addition to 65' average lot width."
10. PUD Text Section 3.0 Development Standards: Please specify "Minimum Livability Space..."
11. PUD Text Section 3.0 Development Standards: Please specify "A Minimum Two (2) Off Street Parking..."
12. PUD Text Section 4.0 / Site Plan: Please update to reflect City Staff recommendations as to the minimum number and formats of points of access to the development.
13. PUD Text Section 4.0 / Site Plan: The existing PUD Text should be enhanced to specify that at least one (1) collector street, for which Subdivision Regulations Section 9.2.2 requires a minimum of 60' of right-of-way and 36' of paving width, will serve the development and connect 161<sup>st</sup> St. S. to at least one other arterial street.
14. PUD Text Section 4.0 / Site Plan: Please note that a Modification/Waiver from the stub-out street requirement will be requested with the Preliminary Plat application for those areas which correspond to Bixby Creek (unless a Collector Street bridge to another arterial street will be planned). In the latter case, the PUD Text should be amended to state, alternatively as the case may be, that a collector street will be extended through the excluded area to connect 161<sup>st</sup> St. S. to another arterial street, or otherwise a Modification/Waiver will be requested to not connect this residential development to a likely future commercial development. In that case, the Text may observe that these area(s) are designated Corridor on the Comprehensive Plan, and so may not be appropriate to provide access to if developed non-residentially.
15. PUD Text Section 4.0 / Site Plan: If the developer would be willing to make improvement(s) or otherwise utilize Bixby Creek access drives as a walking trail amenity, appropriate language should be added here and the PUD site plan should be updated accordingly.
16. PUD Text Section 4.0: The PUD Text should specify that required sidewalks shall be constructed by the subdivision developer along 161<sup>st</sup> St. S., such as follows, "Sidewalks shall be constructed by the developer along 161<sup>st</sup> St. S. and by the builder upon each lot along internal streets in accordance with the Bixby Subdivision Regulations. Sidewalks

shall be a minimum of four (4) feet in width, shall be ADA compliant, and shall be approved by the City Engineer.”

17. PUD Text Section 4.0: Please specify that Limits of No Access (LNA) will be imposed by the future plat(s) along the 161<sup>st</sup> St. S. frontage, except at street intersections.
18. PUD Text Section 5.0 Signs: Such text should describe if Reserve Area or easement would be employed for subdivision identification sign(s) and other such common features. Such signage location(s) should be identified on the site plan if known.
19. PUD Text Section 5.0 Signs: Please change “Ordinance” to “Code.”
20. PUD Text Section 7.0 / Exhibits: PUD does not describe plans for utilities or drainage in any great detail. Please enhance appropriately.
21. PUD Text Section 10.0 / Exhibits: Please reconcile names of exhibits listed here with names on the exhibits themselves for Exhibits B (“Topographic Survey” / “Boundary Map”) and E (“Soil Analysis” / “Soil Map”).
22. PUD Text: Please add customary section pertaining to the requirement for the approval of a subdivision plat prior to the issuance of a Building Permit for any lot.
23. PUD Text / Exhibits: Zoning Code Section 11-7I-8.B.1.e requires “Proposed screening and landscaping.” Please describe in an appropriate section of the text and represent on the site plan any fences, entry features, signage, and/or landscaping proposed along 161<sup>st</sup> St. S., if known at this time, and whether the same will be contained within a Reserve Area or an easement reserved for this purpose.
24. Exhibit A: Please amend to remove the lots or parts of lots presently shown to include 100-year Regulatory Floodplain at the northeast and southeast corners of the development.
25. Exhibit A: Please label areas resembling alleys as to proposed use (e.g. “alley,” “greenway,” “drainageway,” “pedestrianway,” etc.).
26. Exhibit A: Zoning Code Section 11-7I-8.B.1.g requires “Sufficient surrounding area to demonstrate the relationship of the PUD to adjoining uses, both existing and proposed.” At a minimum, please represent parcel lines and names of owners of abutting properties.
27. Exhibits D and F: Please identify subject property applications area boundaries on these exhibits.
28. For the recommended Conditions of Approval necessarily requiring changes to the Text or Exhibits, recognizing the difficulty of attaching Conditions of Approval to PUD ordinances due to the legal requirements for posting, reading, and administering ordinance adoption, please incorporate the changes into appropriate sections of the PUD, or with reasonable amendments as needed. Please incorporate also the other conditions listed here which cannot be fully completed by the time of City Council ordinance approval, due to being requirements for ongoing or future actions, etc. Per the City Attorney, if conditions are not incorporated into the PUD Text and Exhibits prior to City Council consideration of an approval ordinance, the ordinance adoption item will be Continued to the next City Council meeting agenda.
29. A corrected PUD Text and Exhibits package shall be submitted incorporating all of the corrections, modifications, and conditions of approval of this PUD: two (2) hard copies and one (1) electronic copy (PDF preferred).

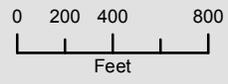
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Subject Tract

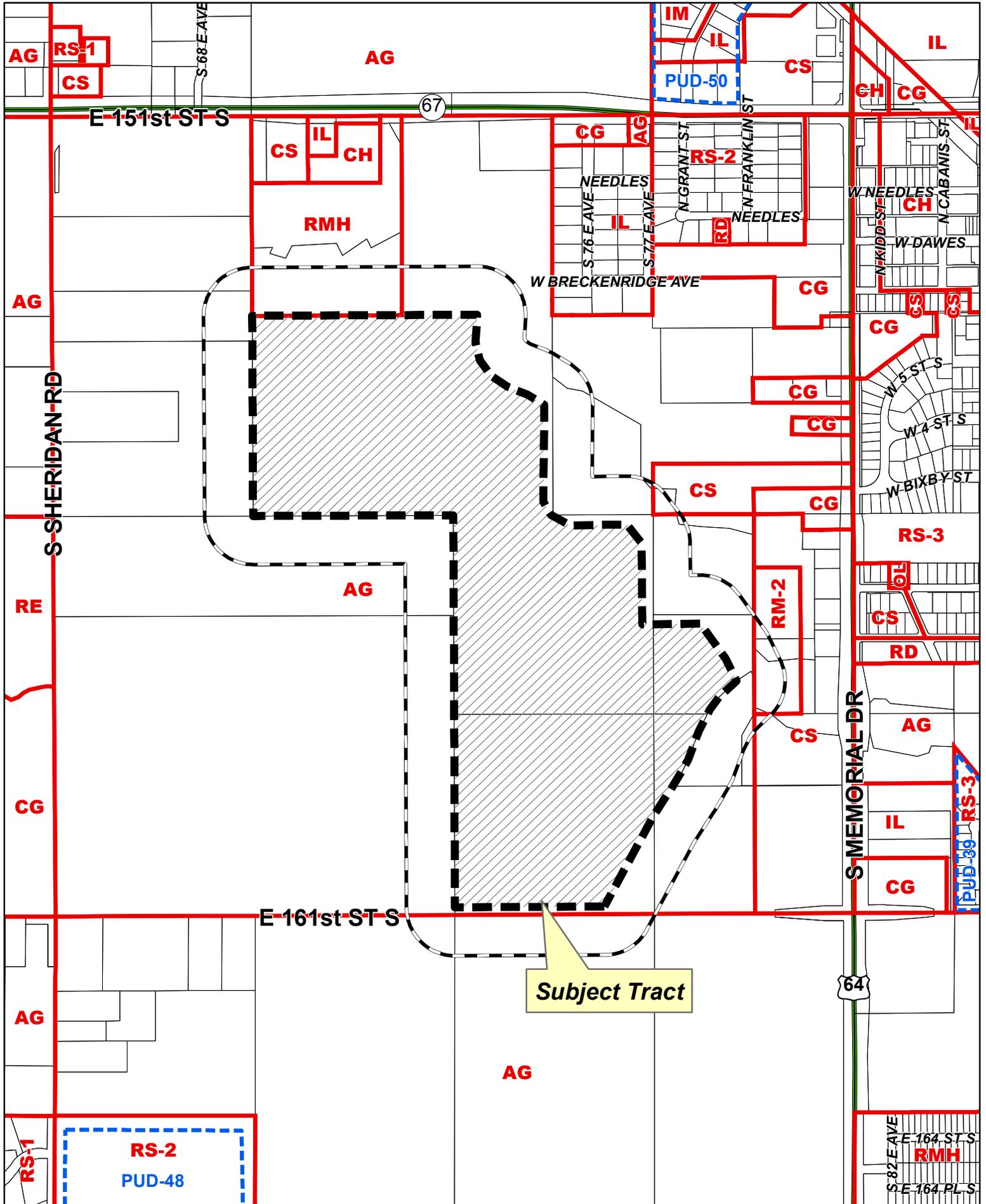


BCPA-12



23 17-13

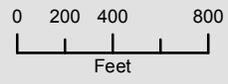




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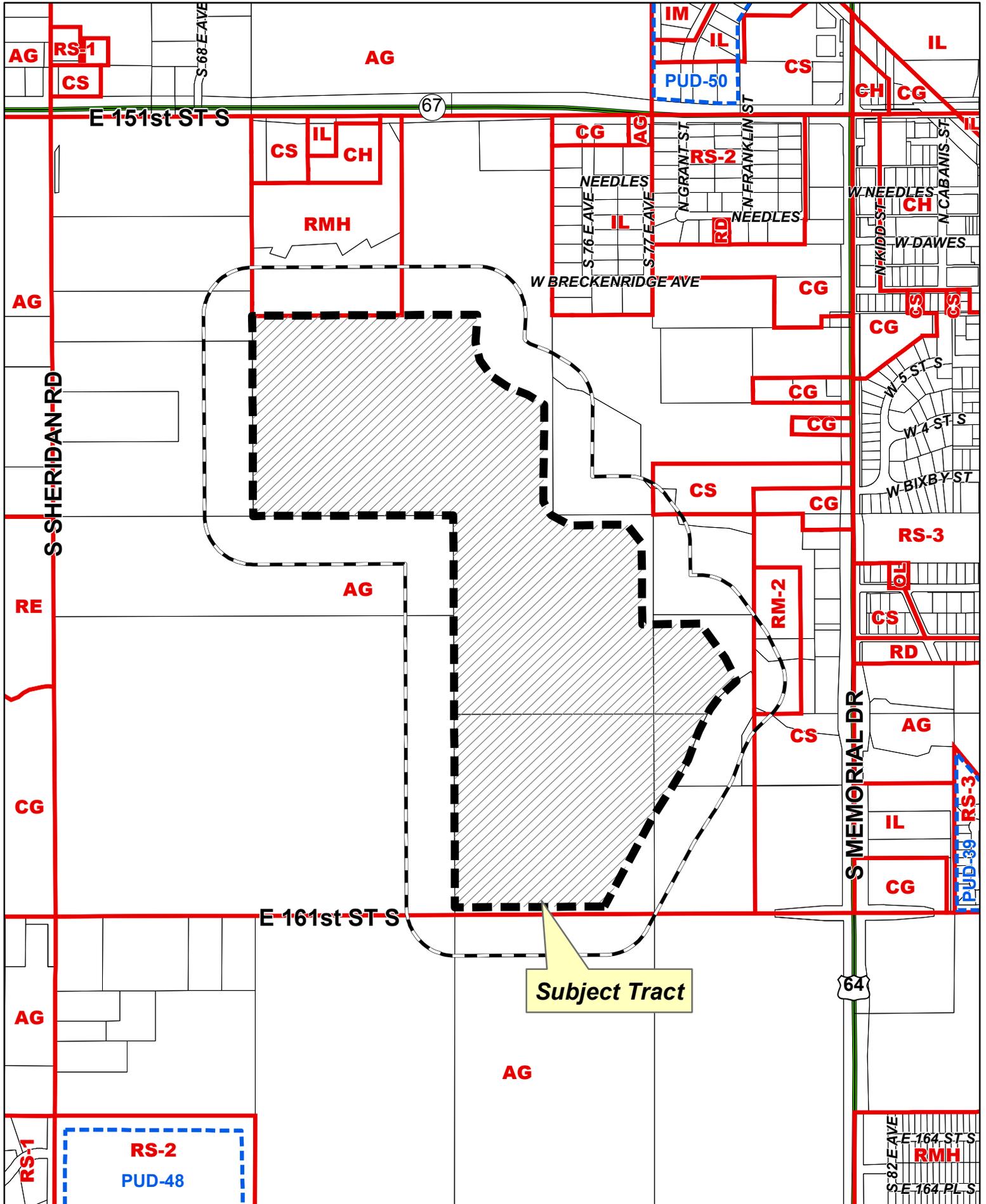


**PUD-85**



23 17-13

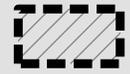




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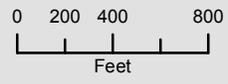


300' Radius



Subject Tract

BZ-377



23 17-13



# CITY OF BIXBY

P.O. Box 70  
116 W. Needles Ave.  
BIXBY, OK 74008  
(918) 366-4430  
(918) 366-6373 (fax)

## Engineering Department Memo

**To:** Erik Enyart  
**From:** Jared Cottle *Juc*  
**CC:** Bea Aamodt  
File  
**Date:** 08/20/14  
**Re:** Conrad Farms PUD 85 Comments

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### General Comments:

1. No conceptual utility or drainage plans have been provided.
2. Excess capacity fees for connection to the Bixby Creek Interceptor Sewer system will be required unless off-site extensions of the Bixby Creek Interceptor can be identified for inclusion in the project in lieu of the fees.
3. A water line loop will be required for the project. The closest water mains are located along Memorial and along 151<sup>st</sup> Street.
4. The depth of the Bixby Creek floodplain (hydraulic grade line and subsequent back water impacts) must be considered in storm sewer and detention facility designs.
5. Conveyance of storm water discharges from areas south of 161<sup>st</sup> Street must be considered in the storm sewer and detention facility designs.

# Memo

To: Erik Enyart, AICP, City Planner

From: Joey Wiedel

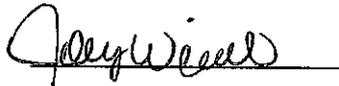
Date: 08-25-2014

Re: PUD 85 "Conrad Farms"

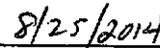
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PUD 85 "Conrad Farms" are approved by this office with the following conditions:

1. Fire Hydrants shall be installed at the main entrances and have a maximum 600 feet between fire hydrants per City of Bixby subdivision regulations. All hydrants shall be operable before construction begins.
  - Brand- AVK or Mueller , Color- Chrome Yellow
2. Fire line supporting the fire hydrants shall be looped.
3. All roads and Second means of access capable of supporting an imposed load of 75,000 pounds shall be in place before construction of homes. (IFC 2009 Appendix D and Chapter 5.)
4. Cul-de-sac shall meet IFC 2009 Appendix D and Chapter 5 requirements.
5. Should have an entrance from 151<sup>st</sup> street South.



Joey Wiedel



Date

**MINUTES**  
**TECHNICAL ADVISORY COMMITTEE**  
**DAWES BUILDING CITY OFFICES**  
**113 W. DAWES AVE.**  
**BIXBY, OK 74008**  
**September 03, 2014 – 10:00 AM**

MEMBERS PRESENT

Gary Hamilton, *Cox Communications*  
Tim Dobrinski, *OG+E*  
Jim Peterson, *BTC Broadband*

STAFF PRESENT

Erik Enyart, AICP, City Planner, City of Bixby  
Joey Wiedel, Fire Marshal, City of Bixby

OTHERS PRESENT

JR Donelson, *JR Donelson, Inc.*

1. Around 10:00 AM, it was stated that the Conrad Farms property was low-lying. Mr. Enyart confirmed that the property has been low-lying from a historical standpoint. Mr. Enyart stated that, in the original Comprehensive Plan, or by some amended plan since, this area was shown to be in a Special District [# 4], designated as planned to remain used for agriculture. Mr. Enyart stated that the Conrad Farms property had, for a long time prior, and was at that time actually farmed, and [much of it] was [then] in the 100-year Floodplain. Mr. Enyart stated that it was widely reported in the summer of 2013, including in the [*Tulsa World*] newspaper, that the Conrads were retiring, and they had been quoted as suggesting that farming was no longer tenable here, as the land values upon sale would dictate a higher landuse. Mr. Enyart stated that, in addition, the FEMA maps used to show [much of] the property in the 100-year Floodplain, but that no part of the developable property in these applications was presently shown in the 100-year Floodplain.

Those present expressed interest in starting the meeting, even though not all expected attendees were present. Erik Enyart confirmed he had sent the email with the agenda to everyone. Mr. Enyart confirmed with JR Donelson that he would be able to represent Matt Means [in the case of BSP 2014-03].

Erik Enyart called the meeting to order at 10:04 AM.

4. **BSP 2014-03 – “Brisbane Office Park” – Matt Means of StoreTulsa.com (PUD 60).** Discussion and comment on a PUD Detailed Site Plan and building plans for “Brisbane Office Park,” a Use Unit 11 office park and Use Unit 16 ministorage development for approximately 10 acres in part of the W. 10 Ac. of the E. 20 Ac. of Government Lot 1, Section 31, T18N, R14E.  
Property Located: 9910, 9920, & 9930 E. 111<sup>th</sup> St. S.

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Erik Enyart noted that the agenda items would be taken out of order and this item would be heard at this time.

Erik Enyart introduced the item and summarized the location and the situation. Mr. Enyart noted that the TAC had previously seen the PUD Major Amendment [# 1], the Preliminary Plat, and the Final Plat, and that this PUD Detailed Site Plan was the final step requiring Planning Commission and City Council review prior to Building Permit issuance. Mr. Enyart noted that the purpose of the exercise was to compare the details of the development plans to ensure everything fits together and complies with the requirements of the PUD and [Zoning and other] City Codes, and represents sound planning and design policy. Mr. Enyart asked JR Donelson if he cared to summarize the project further.

JR Donelson asked the utility companies if they had [completed designing] their layouts. Jim Peterson of *BTC Broadband* and Gary Hamilton of *Cox Communications* indicated they had not. Mr. Hamilton stated that he had just received the site plan and did not receive, with it, a copy of the plat with easements. Mr. Hamilton stated that this had been sent to the business division. Mr. Donelson provided the latest version of the Final Plat and discussed locations of the utility easement corridors. Erik Enyart confirmed with Mr. Donelson that the 17.5'-wide U/E would be around the entire perimeter of the development. Mr. Donelson and Mr. Peterson confirmed [neither of them] had heard from anyone at *AEP-PSO* on the route which would be used to enter the property. Mr. Donelson stated that he expected the office buildings would be served by boxes at the ends of the buildings. Mr. Peterson indicated he would likely serve the east-west-oriented buildings from the west end, and extend a line between the buildings to the easternmost building. Mr. Enyart confirmed with Mr. Donelson that the 10' U/E between the office park and ministorage buildings was the only east-west U/E proposed, except for the one along 111<sup>th</sup> St. S. Mr. Enyart confirmed with Mr. Peterson and Mr. Hamilton that this 10' U/E was all they would need. Mr. Peterson confirmed with JR Donelson that it was still the case that no [communications] services would be needed for the ministorage development, except for the gates.

JR Donelson and Jim Peterson discussed the abutting *BTC Broadband* parcel. Mr. Peterson noted that access had been previously offered through the office park development area. Mr. Peterson and Mr. Donelson discussed the screening wall around the shared boundary. Mr. Peterson asked how far into the right-of-way the screening wall would extend, and Mr. Donelson stated that it would stop at the right-of-way line. Mr. Donelson and Mr. Peterson noted that this would leave the *BTC Broadband* facility and its remaining chain-link fence seeming to stick out toward the street. Erik Enyart confirmed with Mr. Donelson that the screening wall format would be used around the entire boundary shared with the *BTC Broadband* parcel.

Erik Enyart noted that, at the Planning Commission meeting when they discussed the Final Plat, Matt Means had verbally amended his development plans to include the screening wall around the Reserve A detention pond, with the exception of the part shared with the City of Bixby's watertower property. Mr. Enyart stated that, if this was not yet reflected in the Site Plan, it would have to be amended. JR Donelson showed those in attendance the locations of the walls and fences on the latest version of the Final Plat. Mr. Donelson stated that, along the boundary shared with the watertower property, the chain-link fence would remain, and along the boundary between the

ministorage development lot and Reserve A, another fence, not the screening wall, would be used for security but would have gate(s) allowing access to the pond.

JR Donelson noted that he had met with the City Engineer, who asked that the private waterlines and sewerlines be re/located outside Public easements. Erik Enyart noted that he would try to contact the City Engineer to see if they were not on the same page that private lines will still need to be in private, dedicated easements. Mr. Donelson indicated agreement.

Erik Enyart stated that he had not yet begun his review, but hoped to get started on that this week and get it completed by the first part of the next week.

JR Donelson stated that, will all of the redesigns required, and agreements necessary with outside parties, including relocating an inlet, he would not be able to get the final construction plans to the City Engineer by the Thursday, noon deadline, so the Final Plat would not be requested for placement on the [September 08, 2014 City Council agenda]. Erik Enyart agreed to communicate this information to the others.

Erik Enyart asked if there were any further questions or comments. There were none.

Erik Enyart stated that, hearing none, the meeting would proceed to the next item on the agenda. Mr. Enyart thanked JR Donelson for his attendance.

JR Donelson left at this time at 10:14 AM.

Erik Enyart noted that the Applicant for the Conrad Farms items was not present and declared that the meeting would proceed anyway.

2. **BCPA-12 – Conrad Farms Holdings, LLC** Discussion and comment on the adoption of a proposed amendment to the Comprehensive Plan of the City of Bixby, Oklahoma, specifically to modify or remove the “Special District # 4” designation.  
Property Located: 7400 E. 151<sup>st</sup> St. S.
3. **PUD 85 – “Conrad Farms” – Conrad Farms Holdings, LLC** Discussion and comment on a rezoning request for approval of a Planned Unit Development (PUD) for approximately 136.48 acres in Section 23, T17N, R13E.  
Property Located: 7400 E. 151<sup>st</sup> St. S.

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Erik Enyart introduced the two (2) related items, Agenda Items # 2 and 3, and summarized the location and the situation. Mr. Enyart acknowledged that he had discussed the Comprehensive Plan amendment matter prior to the start of the meeting. Mr. Enyart noted that this development included the southerly portion of the Conrad Farms property, and did not include the northerly part along the [State] Highway [67 / 151<sup>st</sup> St. S.], which he understood would likely be reserved for commercial development. Mr. Enyart stated that the channelized Bixby Creek formed the easterly boundary, but it had not been designed or built for full urbanization, 100-year flow drainage capacity, and so onsite stormwater detention would be required for this development. Mr. Enyart noted that the development seemed fairly straightforward, with regular [grid] street geometries.

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Erik Enyart stated that, prior to the meeting, he had discussed with the Fire Marshal the proportion of lots proposed to the number of access points. Mr. Enyart stated that, with the Willow Creek development at 131<sup>st</sup> St. S. and Mingo Rd. in 2008, the City Staff had observed that it proposed a large number of lots, but the City Codes evidently did not specify a required ratio of houses to access points, and so the City Staff at the time, including the City Planner, Fire Marshal, and Police Chief, [and with notice to the City Engineer and Public Works Director], all conferred and agreed that three (3) points of access would be acceptable for the number of lots then proposed. Mr. Enyart noted that that development included a collector street connecting 131<sup>st</sup> St. S. to Mingo Rd. Mr. Enyart stated that, in 2009, the Willow Creek development returned and proposed even more lots, and the same Staff members agreed that the three (3) points of access would still be adequate for that number. Mr. Enyart stated that, in 2013, the Willow Creek development returned once again, and again increased the number of lots, to 291 this time, and the same City Staff conferred and agreed that the three (3) points of access would still be adequate. Mr. Enyart stated that this development proposed even more lots per the PUD [452 per PUD site plan, 480 per PUD text, and 500 per PUD Development Standards], but only two (2) points of access to 161<sup>st</sup> St. S. Mr. Enyart confirmed with Joey Wiedel that his review memo indicated the need for a third (3) point of access.

Joey Wiedel stated that the Fire Code required a separation between points of access that was  $\frac{1}{2}$  of the diagonal dimension of the development property. Mr. Wiedel stated that he had [scaled] the property and separation between the two (2) points of access shown on the site plan, and measured approximately 1,000 feet between the access points. Mr. Wiedel noted that this was inadequate, and that he had stated that a third entrance “should” be extended to 151<sup>st</sup> St. S., but that the language may need to be strengthened.

Erik Enyart noted that the property owners owned land up to 151<sup>st</sup> St. S., so it would appear easier to provide another access point here versus elsewhere. Mr. Enyart noted that there was a “farm access road” with a bridge over Bixby Creek, but he was not sure that it would meet emergency access needs.

Tim Dobrinski with *OG+E* asked if the development would [exacerbate the flooding in the area]. Erik Enyart stated that the [100-year] Floodplain was primarily contained within the Bixby Creek right-of-way. Mr. Enyart stated that the 100-year Floodplain exceeded the bounds of the Bixby Creek right-of-way further downstream, but none of the developable part of the property would be in the floodplain. Mr. Enyart stated that the development would have stormwater detention facilities, such as shown on the plans, which would drain into Bixby Creek. Mr. Enyart confirmed that the final location and design of the stormwater detention facilities may be different than were represented on the conceptual site plans. Mr. Enyart stated that the development would not exacerbate the flooding in the area.

Erik Enyart asked if the utility companies had any questions or comments. There were none. It was noted that the PUD site plans did not show easements, which would come with the plats. Mr. Enyart asked if any of the utilities would have to be upgraded to serve a development of this scale. Tim Dobrinski stated no upgrade would be required for electricity, as there was a major serviceline along 161<sup>st</sup> St. S. Jim Peterson stated that the area was already served with fiber, and Gary Hamilton indicated similarly.

Erik Enyart stated that he had noted, from a design standpoint, that the site plan showed a lot of redundant streets. Mr. Enyart stated that he expected, with future plans, the curtailment of some of the extra roads and double frontages. Mr. Enyart noted that he had also observed what appeared to be alleys[, an interesting design feature].

Erik Enyart agreed with a suggestion that the development may be built in phases. Gary Hamilton noted other developments in the Tulsa area which were being put in in phases. Mr. Enyart stated that he had observed this with most of the larger subdivisions in Bixby.

5. Old Business
6. New Business
7. Meeting was adjourned at 10:24 AM.

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BIXBY TAC MEETING  
SIGN IN SHEET  
Wednesday, September 03, 2014

NAME	COMPANY	PHONE
1. <u>Tim Dobrinski</u>	<u>OG&amp;E</u>	<u>918-227-6203</u>
2. <u>Jim Petersow</u>	<u>BTC Broadband</u>	<u>918-366-0253</u>
3. <u>JR Donelson</u>		<u>918-394-3030</u>
4. <u>Joey Wiedel</u>	<u>COB FM</u>	<u>918 366-0436</u>
5. <u>Erik Enyok</u>	<u>COB</u>	<u>918-366-0427</u>
6. <u>Carol Hamilton</u>	<u>Cox</u>	<u>918-286-4666</u>
7. _____	_____	_____
8. _____	_____	_____
9. _____	_____	_____
10. _____	_____	_____
11. _____	_____	_____
12. _____	_____	_____
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16. _____	_____	_____
17. _____	_____	_____
18. _____	_____	_____
19. _____	_____	_____
20. _____	_____	_____

August 15, 2014

Mr. Erik Enyart, AICP  
City Planner  
City of Bixby  
PO Box 70  
Bixby, OK 74008  
(918) 366-4430

RE: Proposed Comprehensive Plan Amendment  
Conrad Farms Planned Unit Development #85

Dear Mr. Enyart:

I am writing on behalf of Conrad Farms Holdings, LLC and Crafton Tull to request an amendment to the Bixby Comprehensive Plan. This request is submitted for concurrent review and approval with PUD #85.

The proposed boundary of PUD #85 falls within Special District 4. The clips below from Pages 20 & 21 show the current language for Special District 4.

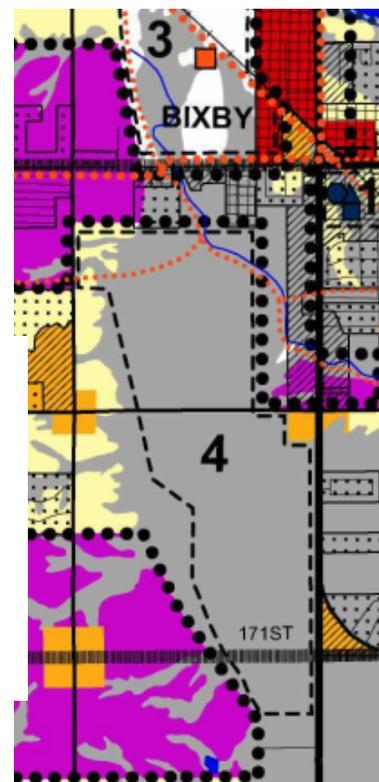
- d. Special District 4 is that area previously designated in the 1991 Bixby Comprehensive Plan in which a majority of the land is located within the 100 year flood plain. This development sensitive area is located approximately from one-quarter mile south of S. H. 67, west of S. Memorial Drive, north of 171<sup>st</sup> Street South, and east of the upland area along S. Sheridan Road. The majority of this land is used for

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COMPREHENSIVE PLAN 2001-2020

PLAN GOALS, OBJECTIVES AND POLICIES

agricultural purposes. This prime farm land and contributes strongly to the "green theme" characteristic of Bixby. Preservation of those Special District areas should continue with AG zoning the primary designation. Certain select areas adjacent to major roadway intersections may be appropriate for different zoning designations in accordance with the other Urban Design Development Guidelines. Any change in use in this area should be designed to integrate continuing agribusiness uses, provide onsite drainage control solutions. It should provide appropriate buffers between adjoining land uses on the upland area along S. Sheridan Road, south of 171<sup>st</sup> Street South, and along S. Memorial Drive.





**Crafton Tull**  
architecture | engineering | surveying

Due to the growth of Bixby and increased property values in Special District 4, the current requirements of this Special District are not tenable for the future. The improvements to Bixby Creek have removed almost all of the PUD #85 property from 100-year floodplain thus a single-family residential development is appropriate and feasible in this area.

The PUD #85 Applicant and the proposed Developer hereby request modification or elimination of Special District 4 to allow the proposed zoning change, PUD #85.

Respectfully Submitted,

Jason C. Mohler, P.E.  
Crafton Tull & Associates, Inc.

Conrad Farms Holdings, LLC

# Conrad Farms

## Planned Unit Development #85



**SUBMITTED TO:  
CITY OF BIXBY, OKLAHOMA  
AUGUST 15, 2014**

**CITY OF BIXBY**

**AUG 15 2014**

**RECEIVED**

By *Ernyark*

**PREPARED FOR:**

**Conrad Farms Holdings, LLC**

**PREPARED BY:**



**Crafton Tull**  
architecture | engineering | surveying

52

# Conrad Farms

## Planned Unit Development #85



**SUBMITTED TO:  
CITY OF BIXBY, OKLAHOMA  
AUGUST 15, 2014**

**PREPARED FOR:**

**Conrad Farms Holdings, LLC**

**PREPARED BY:**



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# Conrad Farms

## PLANNED UNIT DEVELOPMENT #85

### 1.0 INTRODUCTION

The Planned Unit Development (PUD) for Conrad Farms, consisting of 136.5 acres, is located within Section 23, Township 17 N, Range 13 E, of the Indian Meridian, Tulsa County, Oklahoma. The PUD property is located north of E. 161<sup>st</sup> St. S. in between S. Memorial Dr. and S. Sheridan road in the City of Bixby.

The purpose of this PUD is to rezone the existing property for the construction of a single-family residential development containing approximately 480 lots.

### 2.0 DEVELOPMENT CONCEPT

The Concept Development Plan is attached as Exhibit A.

Current Zoning: AG

Adjacent Zoning / Plat / Use:

- North (west) – RMH Zoning. Shadow Valley Mobile Home Park.
- North (east) – AG Zoning. Unplatted. Conrad Farms retail store.
- Northeast – IL Zoning. Bixby Industrial Park.
- East – AG Zoning. Currently undeveloped.
- South – AG Zoning. Currently undeveloped.
- West – AG Zoning. Currently undeveloped.

Property features: The proposed PUD tract of land has been a commercial farming operation for many years. Bixby Creek flows from north to south through the Conrad Farms property. The area northeasterly of Bixby Creek will be retained by the Seller. It's anticipated that the property with frontage on along 151<sup>st</sup> will be developed for commercial purposes as indicated on the Comprehensive Land Use Plan. Bixby Creek serves as a natural separation for the proposed residential development. 161st Street is the south boundary of the PUD and provides vehicular access to the development.

### 3.0 DEVELOPMENT STANDARDS

GROSS LAND AREA: 136.5 acres

#### PERMITTED USES:

PROPOSED UNDERLYING ZONING DISTRICT RS-3  
DETACHED SINGLE FAMILY RESIDENCES AND & CUSTOMARY ACCESSORY  
USES  
USES TO INCLUDE ALL USE UNITS OF THE CITY OF BIXBY ZONING CODE  
PERMITTED BY RIGHT WITHIN THE RS-3 ZONING DISTRICT

MAXIMUM NUMBER OF UNITS PROPOSED: 500 D.U.'s

MINIMUM LOT AREA: 6,900 s.f.

#### MINIMUM LOT WIDTH:

STANDARD LOTS	65 ft.
CUL-DE-SAC OR IRREGULAR LOTS	30 ft.

MAXIMUM BUILDING HEIGHT: 3 Stories, 48 ft.

MAXIMUM ACCESSORY BUILDING HEIGHT: 35 ft.

LIVABILITY SPACE PER DWELLING UNIT: 3500 s.f.

#### MINIMUM BUILDING SETBACKS:

FRONT YARD	STANDARD	25 ft.
SIDE YARD	STANDARD	5 ft.
REAR YARD		20 ft.

#### PARKING:

TWO (2) ENCLOSED OFF STREET PARKING SPACES PER DWELLING UNIT  
AND AT LEAST TWO (2) ADDITIONAL OFF STREET PARKING SPACES IN  
DRIVEWAYS

#### ACCESSORY BUILDINGS:

DETACHED ACCESSORY BUILDINGS, SUCH AS A GARAGE, INCLUDING ONE  
LIVING OR SERVANTS QUARTERS PER LOT MAY BE PERMITTED ON LOTS  
WITH A MINIMUM LOT AREA OF 12,000 SF. ANY ACCESSORY LIVING  
QUARTERS MAY INCLUDE A BATH OR KITCHEN PROVIDED SUCH  
QUARTERS MAY ONLY BE OCCUPIED BY SERVANTS OR BY MEMBERS OF  
THE FAMILY RELATED BY BLOOD, ADOPTION OR MARRIAGE. SUCH LIVING  
QUARTERS MUST BE A PART OF THE ACCESSORY GARAGE STRUCTURE.  
THE LIVING AREA OF ANY SUCH QUARTERS SHALL NOT EXCEED 1,100 SF.

#### 4.0 ACCESS AND CIRCULATION

Vehicular access to the development will be provided from 161<sup>st</sup> Street. The required 161<sup>st</sup> R/W (50' half street) will be dedicated with the plat. Internal streets will be 26' wide and located within 50' R/W's per City of Bixby Engineering Design Criteria Manual.

#### 5.0 SIGNS

All signs shall comply with the setback, height, size and other requirements of the Bixby Zoning Ordinance. The subdivision identification sign will be incorporated into the entrance improvements.

#### 6.0 SUBDIVISION PLAT

No building permit for a residence within Conrad Farms shall be issued until a final subdivision plat has been approved: (1) City Council approval of plat, (2) plat recording with the Tulsa County Clerk, and (3) release of required infrastructure by the City Engineer and Public Works Director in compliance with the approved Conrad Farms development standards.

#### 7.0 UTILITIES and DRAINAGE

The site is generally flat with stormwater runoff eventually flowing to Bixby Creek. Stormwater detention (or retention) will be constructed for the development and discharge to Bixby Creek. Sanitary Sewer is available adjacent to the property. Water will be extended through the development per City of Bixby Engineering Design Criteria Manual.

#### 8.0 STANDARD REQUIREMENTS

The Standard Requirements of the City of Bixby Fire Marshall, City Engineer, and City Attorney shall be met as a condition of approval.

#### 9.0 SCHEDULE OF DEVELOPMENT

Developmental phasing shall be allowed as a part of the development of this PUD.

#### 10.0 EXHIBITS

The following exhibits are hereby attached and incorporated into this Planned Unit Development. These exhibits are:

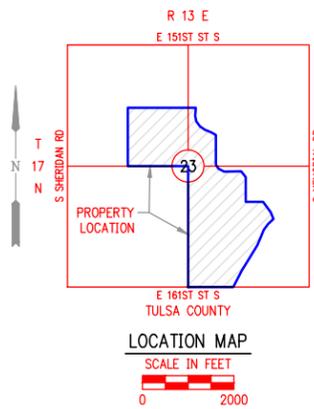
- EXHIBIT A – CONCEPT DEVELOPMENT PLAN
- EXHIBIT B – TOPOGRAPHIC SURVEY
- EXHIBIT C – ZONING MAP
- EXHIBIT D – FLOODPLAIN MAP
- EXHIBIT E – SOIL ANALYSIS
- EXHIBIT F – SITE AERIAL

## 11.0 LEGAL DESCRIPTION

A TRACT OF LAND BEING IN THE SE/4, THE SW/4 OF THE NE/4 AND THE SE/4 OF THE NW/4 OF SECTION 23, T-17-N, R-13-E TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SE CORNER OF THE SE/4 OF SECTION 23, T-17-N, R-13-E, THENCE A 88°35'20" W ALONG THE SOUTH LINE OF SAID SE/4 A DISTANCE OF 1651.58 FEET TO A POINT ON SAID SECTION LINE, THENCE N 01°24'40" W A DISTANCE OF 50 FEET TO THE POINT OF BEGINNING, THENCE S 88°35'20" W A DISTANCE OF 984.00 FEET TO A POINT 50 FEET N 01°24'40" W OF THE SW CORNER OF THE W/2 OF THE SE/4, THENCE N 01°24'30" W ALONG THE WEST LINE OF SAID SE/4 A DISTANCE OF 2590.35 FEET TO THE NW CORNER OF THE W/2 OF THE SE/4, THENCE S 88°36'06" W A DISTANCE OF 1319.66 FEET TO THE SW CORNER OF THE SE/4 OF THE NW/4, THENCE N 01°25'55" W A DISTANCE OF 1320.07 FEET TO THE NW CORNER OF THE SE/4 OF THE NW/4, THENCE N 88°37'26" E A DISTANCE OF 1320.28 FEET TO THE NE CORNER OF THE SE/4 OF THE NW/4, THENCE N 88°37'36" E A DISTANCE OF 163.63 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF BIXBY CREEK, THENCE ALONG SAID RIGHT-OF-WAY S 06°42'19" E A DISTANCE OF 10.92 FEET, THENCE S 02°48'27" W A DISTANCE OF 172.73 FEET, THENCE S 14°35'13" E A DISTANCE OF 122.65 FEET, THENCE S 38°09'46" E A DISTANCE OF 130.31 FEET, THENCE S 57°42'23" E A DISTANCE OF 125.54 FEET, THENCE S 69°30'53" E A DISTANCE OF 143.99 FEET, THENCE S 60°41'22" E A DISTANCE OF 128.00 FEET, THENCE S 01°29'17" E A DISTANCE OF 641.11 FEET, THENCE S 31°41'48" E A DISTANCE OF 99.75 FEET, THENCE S 63°00'45" E A DISTANCE OF 146.75 FEET, THENCE N 88°03'21" E A DISTANCE OF 374.33 FEET, THENCE S 38°40'06" E A DISTANCE OF 155.68 FEET, THENCE S 01°21'58" E A DISTANCE OF 536.44 FEET, THENCE N 88°36'11" E A DISTANCE OF 381.06 FEET, THENCE S 37°39'13" E A DISTANCE OF 282.36 FEET, THENCE S 22°26'32" E A DISTANCE OF 162.01 FEET, THENCE LEAVING SAID BIXBY CREEK RIGHT-OF-WAY S 45°45'18" W A DISTANCE OF 161.04 FEET, THENCE S 34°32'37" W A DISTANCE OF 155.60 FEET, THENCE S 21°20'12" W A DISTANCE OF 164.15 FEET, THENCE S 21°14'20" W A DISTANCE OF 200.14 FEET, THENCE S 29°43'30" W A DISTANCE OF 383.02 FEET, THENCE S 30°44'49" W A DISTANCE OF 266.51 FEET, THENCE S 26°16'13" E A DISTANCE OF 402.16 FEET TO THE POINT OF BEGINNING.

CONTAINING 136.48 ACRES, MORE OR LESS. SUBJECT PROPERTY IS SUBJECT TO ANY EASEMENTS AND/OR RIGHT-OF-WAYS OF RECORD.



PROPOSED LOTS  
 65'x110' = 289  
 75'x125' = 163  
 452 TOTAL LOTS

OVERALL SITE  
 136.48± ACRES TOTAL

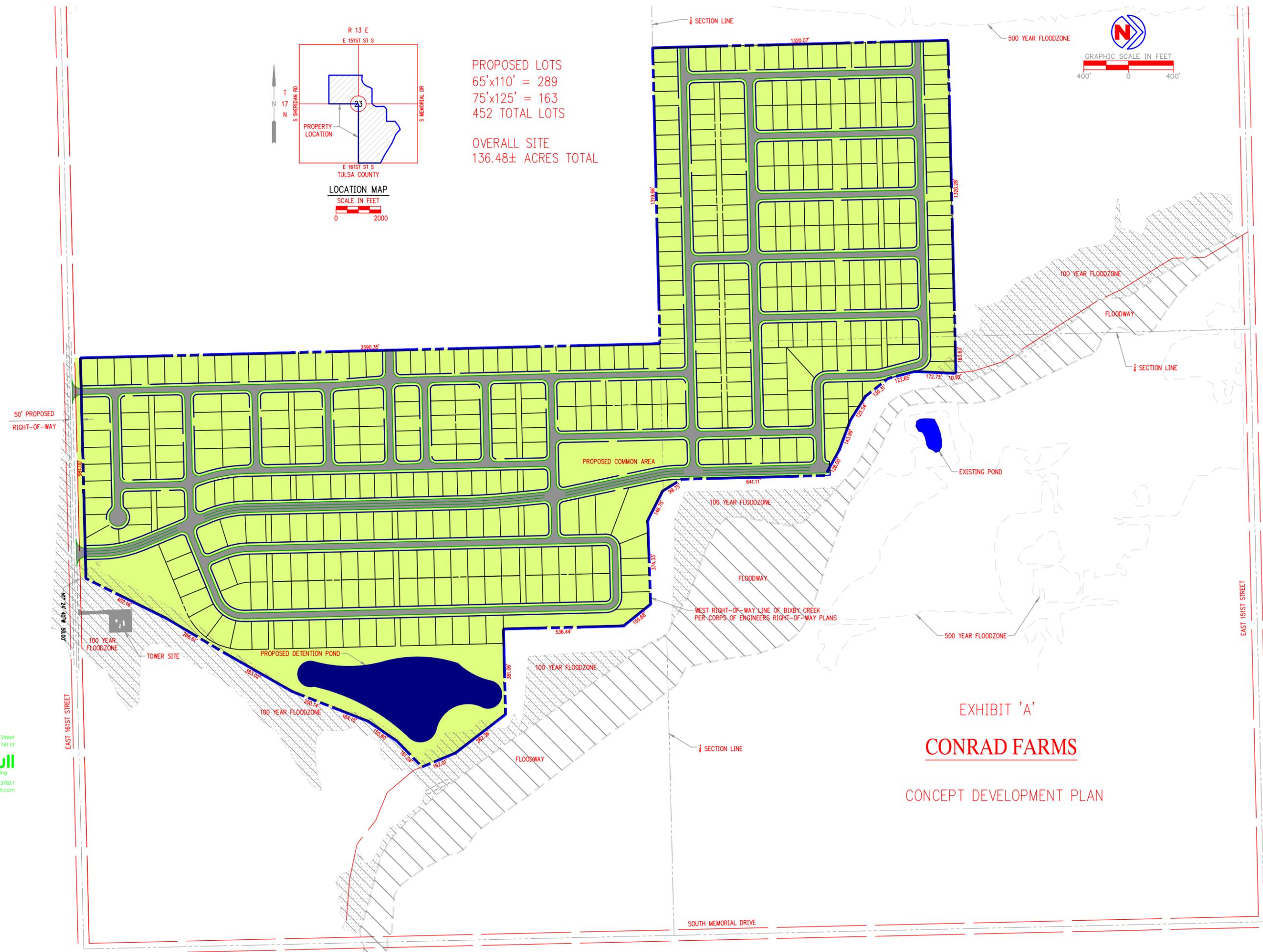
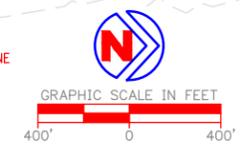


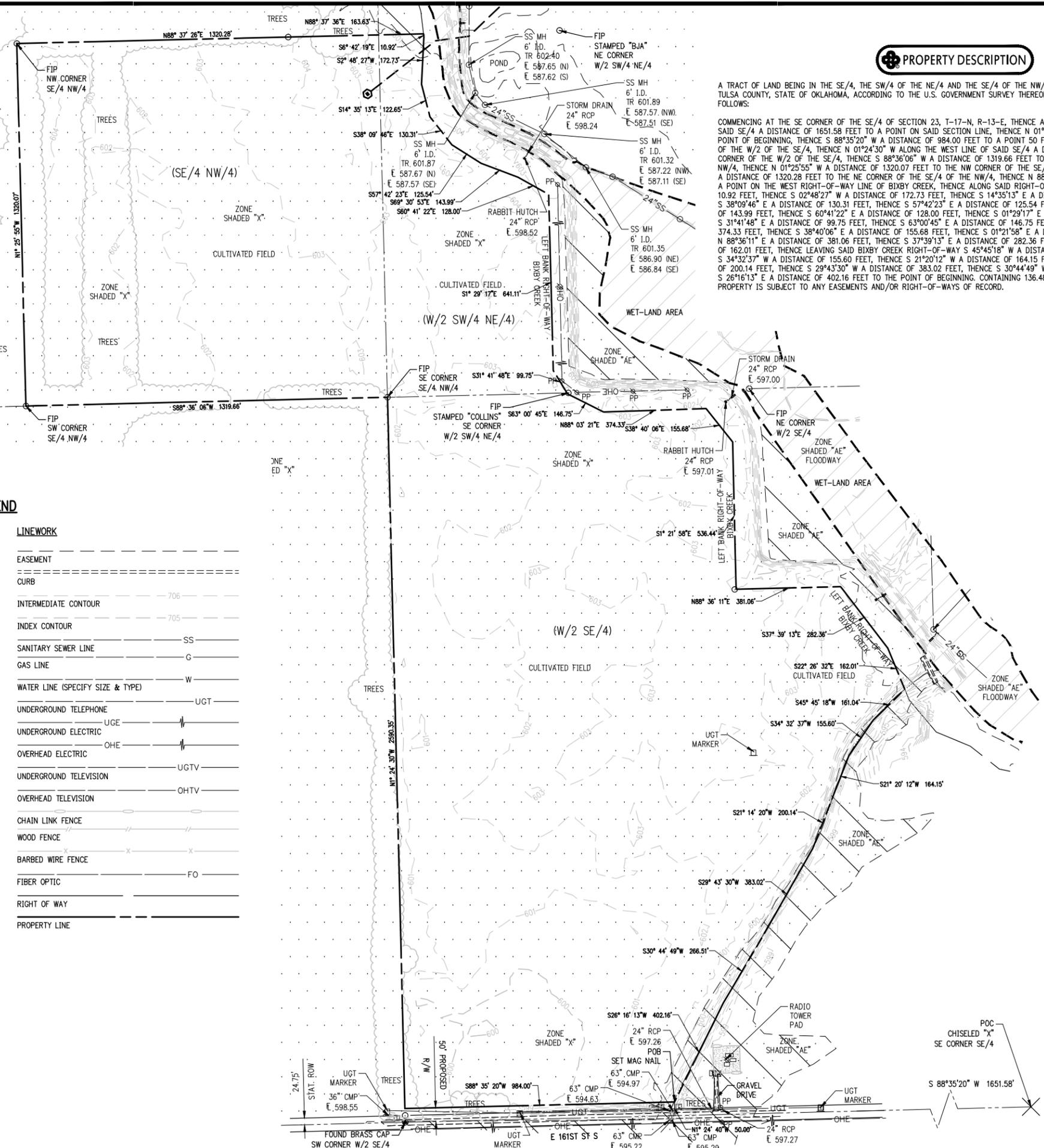
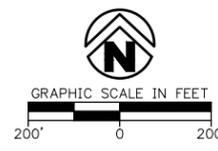
EXHIBIT 'A'  
**CONRAD FARMS**  
 CONCEPT DEVELOPMENT PLAN

220 E. 8th Street  
 Tulsa, Oklahoma 74119

**Crafton Tull**  
 architecture | engineering | surveying

918.584.0347 | 918.584.3783 f  
 www.craftontull.com

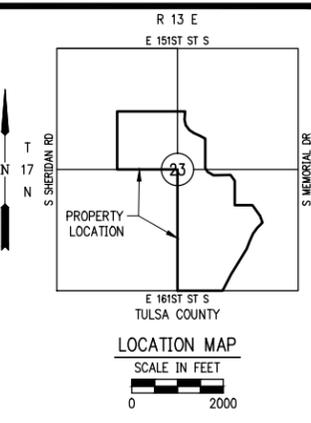
CERTIFICATE OF AUTHORIZATION  
 CA 972 (PEIS) EXPIRES 11/09/2014



**PROPERTY DESCRIPTION**

A TRACT OF LAND BEING IN THE SE/4, THE SW/4 OF THE NE/4 AND THE SE/4 OF THE NW/4 OF SECTION 23, T-17-N, R-13-E TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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**BENCHMARK**

ADS "584"  
5/8" REBAR 1 1/2" ALUMINUM  
CAP-FLUSH-STAMPED "584", SET N.W.  
OF 161ST ST. AND SOUTH SHERIDAN AVE.  
HORIZONTAL DATUM: NAD 83  
NORTHING: 345301.218  
EASTING: 2588795.415  
VERTICAL DATUM: NAVD 1988  
ELEV. 674.377

**BASIS OF BEARINGS**

THE SOUTH LINE OF THE SE/4  
OF SECTION 23 T-17-N, R-13-E  
S 88°35'20" W

**LEGEND**

SYMBOLS		LINEWORK	
○	FIP FOUND IRON PIN	---	EASEMENT
●	SIP SET IRON PIN 3/8" W/CAP	----	CURB
●	MAG NAIL	----	INTERMEDIATE CONTOUR
⊙	LP LIGHT POLE	----	INDEX CONTOUR
⊙	PP POWER POLE	----	SANITARY SEWER LINE
⊙	TELEPHONE PEDESTAL	----	GAS LINE
⊙	TV PEDESTAL	----	WATER LINE (SPECIFY SIZE & TYPE)
⊙	MH MANHOLE	----	UNDERGROUND TELEPHONE
⊙	CO SANITARY SEWER CLEANOUT	----	UNDERGROUND ELECTRIC
⊙	GM GAS METER	----	OVERHEAD ELECTRIC
⊙	GV GAS VALVE	----	UNDERGROUND TELEVISION
----	STORM SEWER PIPE	----	OVERHEAD TELEVISION
---	DOWN GUY	----	CHAIN LINK FENCE
---	WV WATER VALVE	----	WOOD FENCE
---	FH FIRE HYDRANT ASSEMBLY	----	BARBED WIRE FENCE
---	AVR AIR RELEASE VALVE	----	FIBER OPTIC
---	FDC FIRE DEPARTMENT CONNECTION	----	RIGHT OF WAY
○	WM WATER METER	----	PROPERTY LINE
⊙	SPRINKLER HEAD	----	
⊙	ELECTRIC PEDESTAL	----	
(M)	MEASURED	----	
(R)	RECORDED	----	
○	TREE	----	

**FLOODPLAIN REFERENCE**

FIRM PANEL NOS. 40143C0434L & 40143C0445L BOTH DATED OCTOBER 12, 2012 CLASSIFIES THE PROPERTY DESCRIBED HEREON AS BEING A PART OF A "SHADED" ZONE "X", BEING AN AREA OF 0.2% ANNUAL CHANCE FLOOD, AND "SHADED" ZONE "AE", AN AREA WITH BASE FLOOD ELEVATIONS THAT HAVE BEEN DETERMINED AND AN AREA THAT MUST BE KEPT FREE OF ENCROACHMENTS.

THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S). IN ADDITION, THE ABOVE STATEMENT DOES NOT REPRESENT THIS SURVEYOR'S OPINION OF THE PROBABILITY OF FLOODING.

**UTILITY STATEMENT**

THE UNDERGROUND UTILITIES SHOWN ON THIS PLAT HAVE BEEN LOCATED FROM FILES, SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR, FURTHER, DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ON THIS PLAT ARE IN THE EXACT LOCATION INDICATED; ALTHOUGH, HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL OKIE BEFORE DIGGING (800) 522-6543.

**SURVEYOR'S CERTIFICATE**

I, A.B. WATSON, JR., A DULY REGISTERED LAND SURVEYOR IN THE STATE OF OKLAHOMA, DO HEREBY CERTIFY THAT THE ACCOMPANYING PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE SURVEY MADE ON THE GROUND, UNDER MY SUPERVISION, TO THE BEST OF MY KNOWLEDGE AND ABILITY.

WITNESS MY HAND AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2014.

CRAFTON, TULL & ASSOCIATES, INC.  
BY A.B. WATSON, JR. (AGENT)

A.B. WATSON, JR. PLS 1057

CERTIFICATE OF AUTHORIZATION  
CA 973 (P) (LS) EXPIRES 6/30/2016

**BOUNDARY SURVEY**  
A PART OF THE W/2 OF THE SE/4, THE W/2 OF  
THE SW/4 OF THE NE/4 & THE SE/4 OF THE NW/4  
OF SECTION 23, T-17-N, R-13-E  
TULSA COUNTY, STATE OF OKLAHOMA

No.	Description	Date

This document, and the ideas and designs incorporated herein, as an instrument of professional service, is the property of Crafton, Tull & Associates, Inc., and is not to be used, in whole or in part, for any other project, without the written authorization of Crafton, Tull & Associates, Inc.

PROJECT NO: 141060-00  
ISSUE DATE: 07/25/14  
CONTACT: A.B. WATSON, JR.  
CHECKED BY: \_\_\_\_\_

**REGISTERED LAND SURVEYOR**  
A. B. WATSON, JR.  
LS 1057  
OKLAHOMA

**BOUNDARY SURVEY**

**EXHIBIT B**

DRAWING C:\11\0000\CONTRACT\AW\DWG\BOUNDARY SURVEY.DWG  
LAST MODIFIED: 07/25/14 10:58:11 AM BY: A.B. WATSON, JR.  
CRAFTON, TULL & ASSOCIATES, INC.

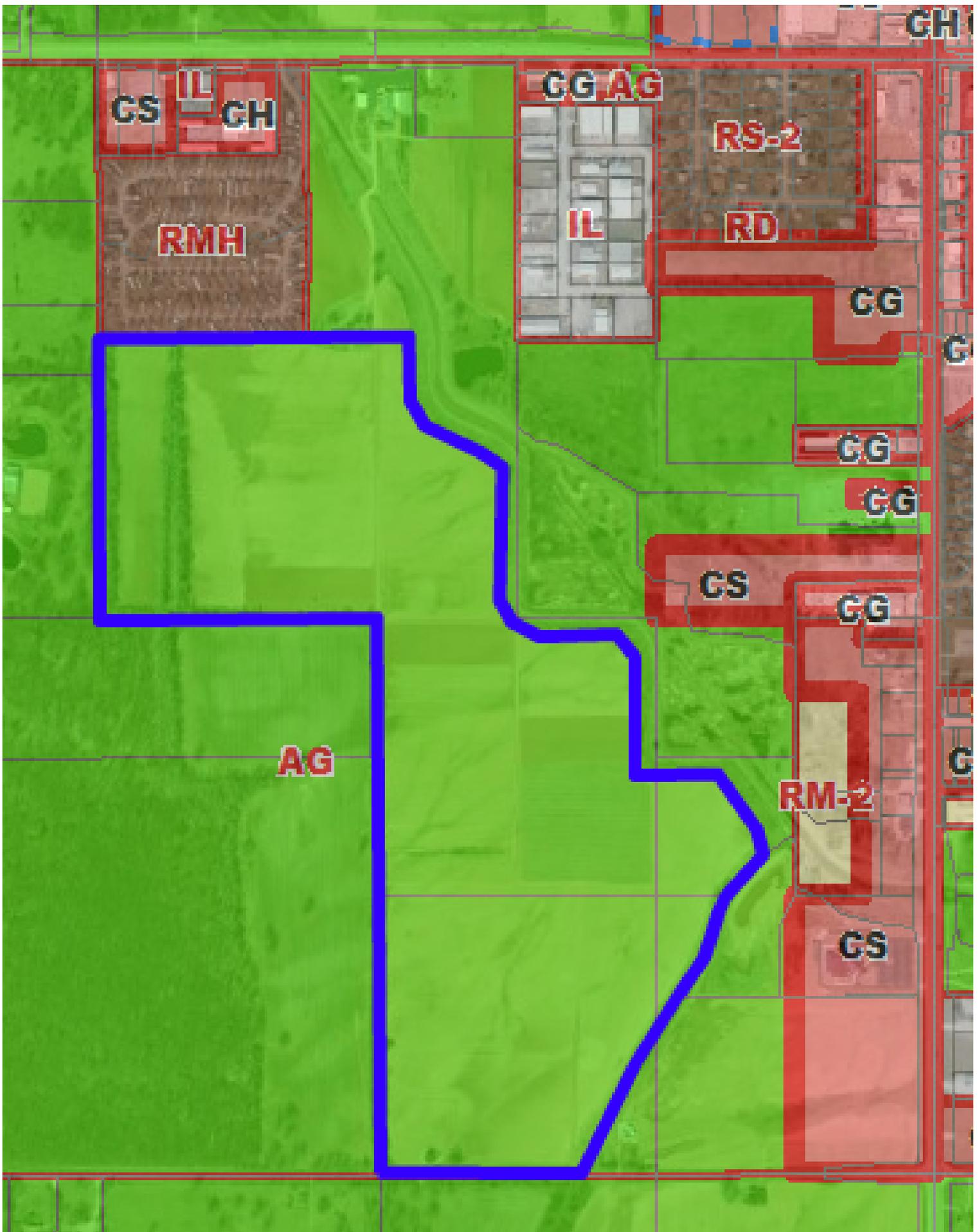


EXHIBIT C - ZONING MAP

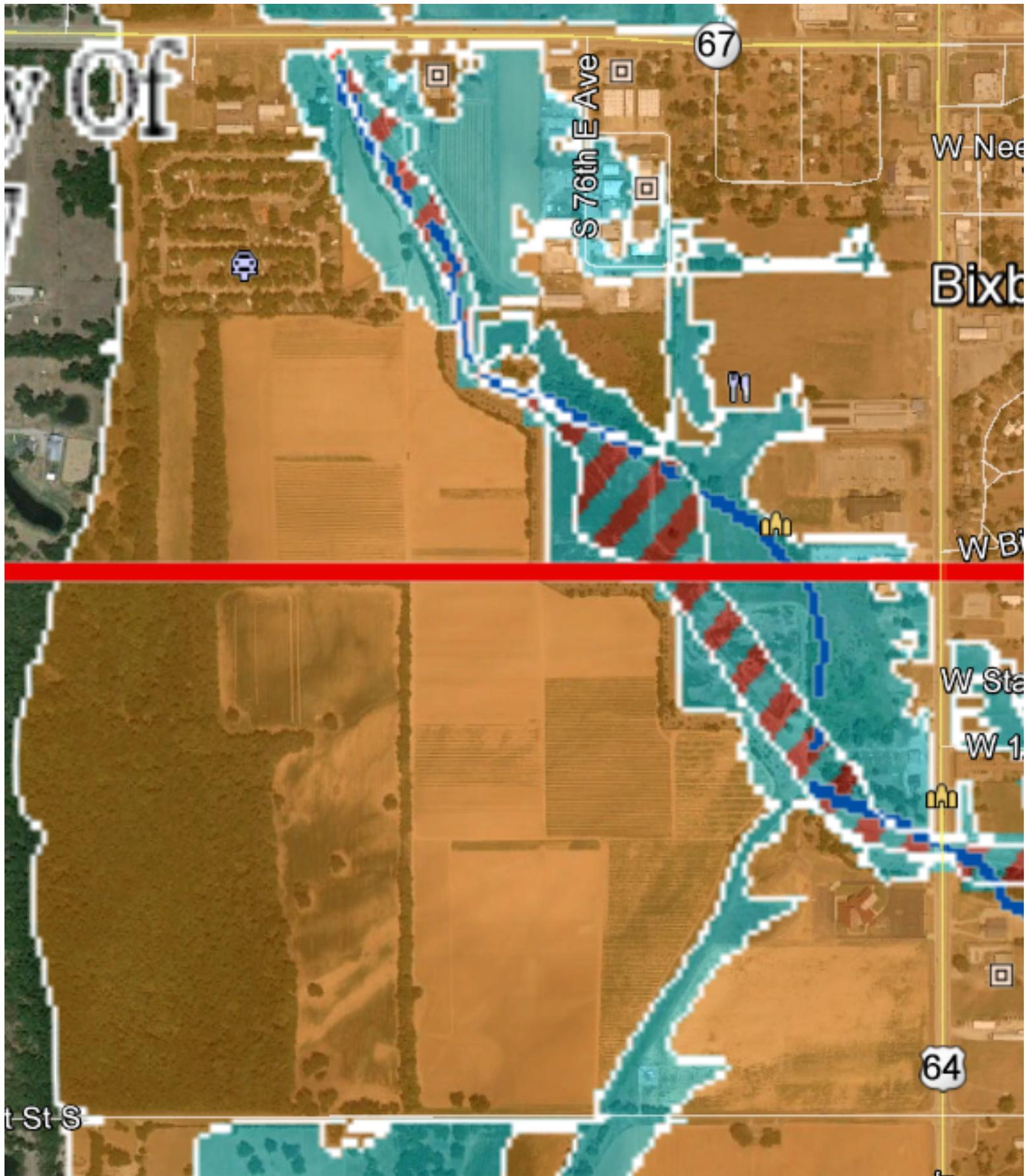
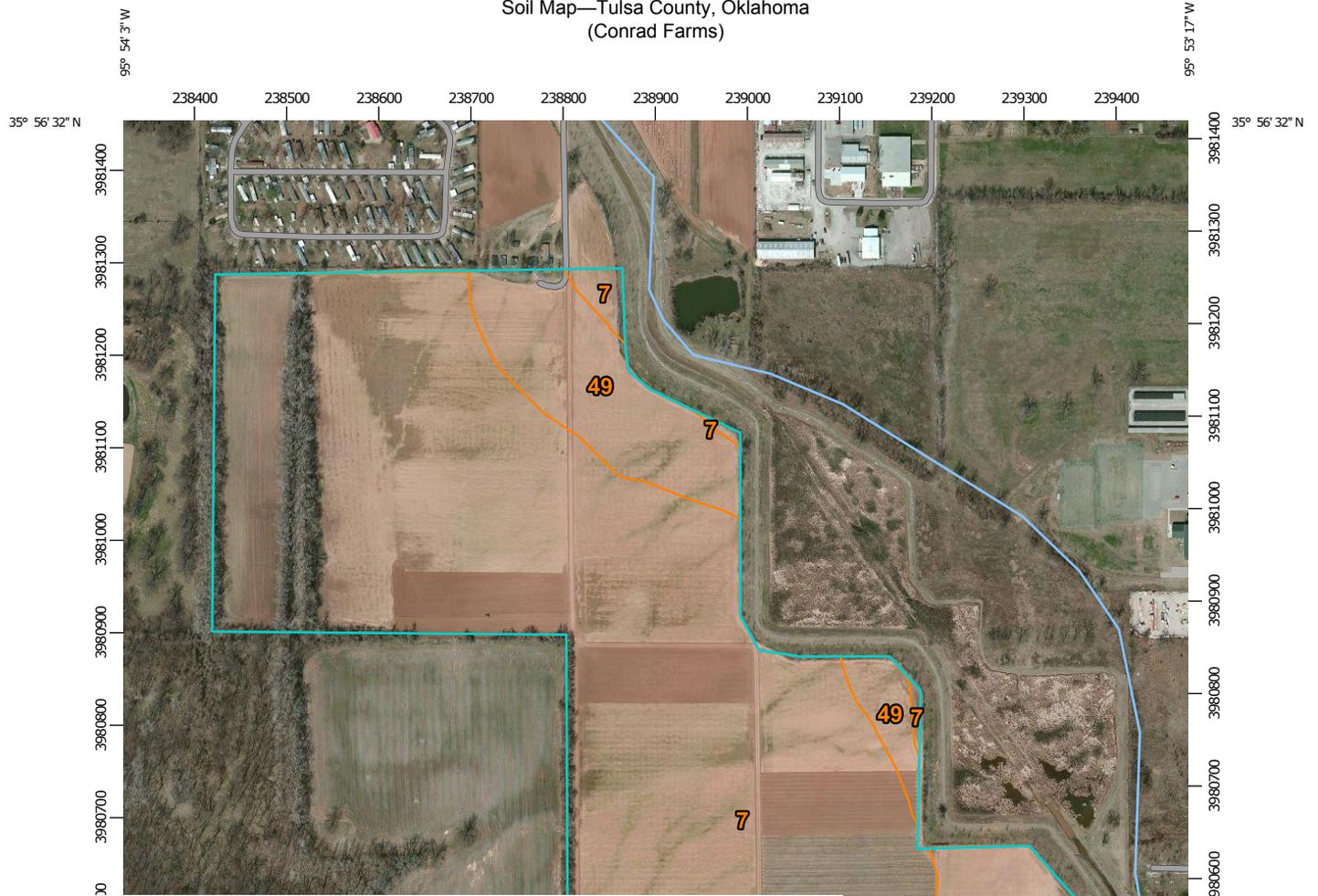


EXHIBIT D - FLOODPLAIN MAP

Soil Map—Tulsa County, Oklahoma  
(Conrad Farms)



Tulsa County, Oklahoma (OK143)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
7	Choska very fine sandy loam, 0 to 1 percent slopes, rarely flooded	116.7	86.5%
29	Latanier clay, 0 to 1 percent slopes, occasionally flooded	2.7	2.0%
49	Severn very fine sandy loam, 0 to 3 percent slopes, rarely flooded	15.5	11.5%
<b>Totals for Area of Interest</b>		<b>134.9</b>	<b>100.0%</b>

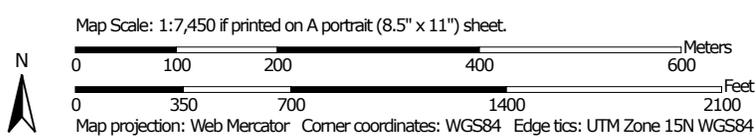




EXHIBIT F - SITE AERIAL



CITY OF BIXBY  
P.O. Box 70  
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Bixby, OK 74008  
(918) 366-4430  
(918) 366-6373 (fax)

## STAFF REPORT

**To:** Bixby Planning Commission  
**From:** Erik Enyart, AICP, City Planner *EE*  
**Date:** Friday, September 12, 2014  
**RE:** Report and Recommendations for:  
Preliminary Plat of "Bricktown Square" (PUD 31-A)

**LOCATION:** – 12409 S. Memorial Dr.  
– Part of the SW/4 NW/4 of Section 01, T17N, R13E

**SIZE:** 4 ½ acres, more or less

**EXISTING ZONING:** CS Commercial Shopping Center District, OL Office Low Intensity District, RS-1 Residential Single-Family District, and PUD 31-A

**SUPPLEMENTAL ZONING:** Corridor Appearance District + PUD 31-A

**EXISTING USE:** Vacant

**REQUEST:** Preliminary Plat approval

**ANALYSIS:**

By email dated July 15, 2014, the Applicant requested both this and the PUD 31-A Minor Amendment # 1 applications be CONTINUED to the next meeting. On July 21, 2014, as requested and as recommended by Staff, the Planning Commission CONTINUED the Public Hearing and consideration of both items to the August 18, 2014 Regular Meeting.

By email dated August 13, 2014, the Applicant requested both this and the PUD 31-A Minor Amendment # 1 applications again be CONTINUED to the next meeting. Staff recommended,

and the Planning Commission CONTINUED the Public Hearing and consideration of both items to the September 15, 2014 Regular Meeting as requested.

By email dated September 09, 2014, the Applicant has requested both this and the PUD 31-A Minor Amendment # 1 applications again be CONTINUED to the next meeting. Staff recommends the Public Hearing and consideration of both items be CONTINUED to the October 20, 2014 Regular Meeting as requested.

## Erik Enyart

---

**From:** Erik Enyart  
**Sent:** Tuesday, September 09, 2014 10:41 AM  
**To:** 'Mark Capron'  
**Cc:** Greg Weisz; Jared Cottle  
**Subject:** RE: Staff Report - Preliminary Plat of Bricktown Square - DRAFT report drafted 07-03-14

Received. I will recommend the PC Continue Both to 10/20/2014 as requested.

Erik Enyart

---

**From:** Mark Capron [mailto:mcapron@sw-assoc.com]  
**Sent:** Tuesday, September 09, 2014 10:39 AM  
**To:** Erik Enyart  
**Cc:** Greg Weisz  
**Subject:** RE: Staff Report - Preliminary Plat of Bricktown Square - DRAFT report drafted 07-03-14

Erik, per our conversation, we again request a continuance to the next Planning Commission to allow the engineering design to progress to move further forward.

Thanks,  
Mark

**Mark B. Capron, LLA**  
SW&A 918.665.3600

---

**From:** Erik Enyart [mailto:eenyart@bixby.com]  
**Sent:** Wednesday, August 13, 2014 11:31 AM  
**To:** Mark Capron  
**Subject:** RE: Staff Report - Preliminary Plat of Bricktown Square - DRAFT report drafted 07-03-14

Received. I will recommend the PC Continue Both to 09/15/2014 as requested.

Erik Enyart

---

**From:** Mark Capron [mailto:mcapron@sw-assoc.com]  
**Sent:** Wednesday, August 13, 2014 11:30 AM  
**To:** Erik Enyart  
**Subject:** RE: Staff Report - Preliminary Plat of Bricktown Square - DRAFT report drafted 07-03-14

Erik, unfortunately this project is not currently progressing. We would like to request another continuance for both the amendment and the preliminary plat.

**Mark B. Capron, LLA**  
SW&A 918.665.3600

---

**From:** Erik Enyart [mailto:eenyart@bixby.com]  
**Sent:** Wednesday, July 16, 2014 4:28 PM  
**To:** Mark Capron

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**Cc:** Greg Weisz

**Subject:** RE: Staff Report - Preliminary Plat of Bricktown Square - DRAFT report drafted 07-03-14

To be clear – I recognize this as your request for Continuance also of PUD 31-A Minor Amendment # 1 to the 08/18/2014 PC agenda. Please advise if otherwise – thanks,

Erik

---

**From:** Erik Enyart

**Sent:** Tuesday, July 15, 2014 4:06 PM

**To:** 'Mark Capron'

**Cc:** Greg Weisz

**Subject:** RE: Staff Report - Preliminary Plat of Bricktown Square - DRAFT report drafted 07-03-14

Received – understood – will recommend they Continue to 08/18/2014 as you requested.

Erik

---

**From:** Mark Capron [<mailto:mcapron@sw-assoc.com>]

**Sent:** Tuesday, July 15, 2014 4:05 PM

**To:** Erik Enyart

**Cc:** Greg Weisz

**Subject:** RE: Staff Report - Preliminary Plat of Bricktown Square - DRAFT report drafted 07-03-14

Erik,

We have decided to request a continuance to the next planning commission meeting. This will give us a little more time to work out some engineering design.

Thanks,

**Mark B. Capron, LLA**

SW&A 918.665.3600

---

**From:** Erik Enyart [<mailto:eenyart@bixby.com>]

**Sent:** Friday, July 11, 2014 8:41 AM

**To:** Mark Capron

**Cc:** Greg Weisz

**Subject:** RE: Staff Report - Preliminary Plat of Bricktown Square - DRAFT report drafted 07-03-14

Hi Mark:

I've re-read what you have and see the critical elements are in place – mandatory membership in HOA, purpose (to maintain ODE), notification of assessments, etc. I observed a lot of customary details are missing (liens upon non-payment of assessment, right to foreclose lien, 1 lot = 1 vote, etc.), which I likely recognized as missing only when I saw the language in the plat alerting me to the fact that something was being withheld. Upon further reflection, I suppose it may inspire a similar concern upon a prospective homebuilder or homeowner, and that may be a good thing. You can defeat this review comment with a response, or showing a few more details that are customarily included in these things. I also question whether ODE maintenance is all the HOA should be doing – you may want to write additional flexibility by acknowledging other potential future common areas or common improvements, but that's just a suggestion.

Hope it helps – thanks!

Erik

---

**From:** Mark Capron [mailto:mcapron@sw-assoc.com]  
**Sent:** Thursday, July 10, 2014 4:58 PM  
**To:** Erik Enyart  
**Cc:** Greg Weisz  
**Subject:** RE: Staff Report - Preliminary Plat of Bricktown Square - DRAFT report drafted 07-03-14

Sorry to be slow on the up take. I have looked for verbiage on other plats. Do you mind sending an example?

**Mark B. Capron, LLA**  
SW&A 918.665.3600

---

**From:** Erik Enyart [mailto:eenyart@bixby.com]  
**Sent:** Thursday, July 10, 2014 8:06 AM  
**To:** Mark Capron  
**Cc:** Greg Weisz  
**Subject:** RE: Staff Report - Preliminary Plat of Bricktown Square - DRAFT report drafted 07-03-14

Hi Mark:

I think you're referring to item # 23,

“DoD/RCs Section III.A: For the benefit of future potential Bixby residents, the “details of association membership, including assessments” should be provided with the DoD/RCs, as customary, to allow for City review for potential conflicts with City Codes, and to ensure these critical details are not obscured, neglected during due diligence, or forgotten.”

The quote within the item is from the DoD/RCs as provided, and essentially states they are not provided there, but will be in some future, separate document. The item takes exception to this because including them in the DoD/RCs of the plat is customary, is needed to allow for City review for potential conflicts with City Codes, and is needed to ensure these critical details are not obscured, neglected during due diligence, or forgotten.

Feel free to send what you have and I'll update the draft report and send back to you.

Thanks!

Erik Enyart

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**From:** Mark Capron [mailto:mcapron@sw-assoc.com]  
**Sent:** Wednesday, July 09, 2014 5:38 PM  
**To:** Erik Enyart  
**Cc:** Greg Weisz  
**Subject:** RE: Staff Report - Preliminary Plat of Bricktown Square - DRAFT report drafted 07-03-14

We are in the process or revised the preliminary plat documents. We have taken a shot at addresses. However, there seems to be alot of room differences of opinion.

You mentioned in your staff report that we needed to include assessments, enforcement, and amendment. However, I believe that was included in the DoD/RCs. Am I missing something.

66

**Mark B. Capron, LLA**

SW&A 918.665.3600

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**From:** Erik Enyart [<mailto:eenyart@bixby.com>]

**Sent:** Tuesday, July 08, 2014 8:14 AM

**To:** Mark Capron

**Subject:** RE: Staff Report - Preliminary Plat of Bricktown Square - DRAFT report drafted 07-03-14

Hi Mark:

It is up to the developer's design team to produce a proposed schedule of addresses, and the City will review and approve them.

Hope it helps,

Erik

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**From:** Mark Capron [<mailto:mcapron@sw-assoc.com>]

**Sent:** Tuesday, July 08, 2014 8:03 AM

**To:** Erik Enyart

**Subject:** RE: Staff Report - Preliminary Plat of Bricktown Square - DRAFT report drafted 07-03-14

Erik, whom should we contact regarding the street address for the lots?

**Mark B. Capron, LLA**

SW&A 918.665.3600

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**From:** Erik Enyart [<mailto:eenyart@bixby.com>]

**Sent:** Thursday, July 03, 2014 3:16 PM

**To:** Mark Capron

**Cc:** Jared Cottle; Bea Aamodt; Fire Marshal; Patrick Boulden

**Subject:** Staff Report - Preliminary Plat of Bricktown Square - DRAFT report drafted 07-03-14

Hi Mark:

Draft report attached. Please review and contact me with any questions or if you need additional information.

Thanks, and have a great Independence Day weekend!

Erik Enyart, AICP, City Planner

City of Bixby, PO Box 70

Bixby, OK 74008

Ph. (918) 366-0427

Fax (918) 366-4416

[eenyart@bixby.com](mailto:eenyart@bixby.com)

[www.bixby.com](http://www.bixby.com)



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(918) 366-6373 (fax)

## STAFF REPORT

**To:** Bixby Planning Commission  
**From:** Erik Enyart, AICP, City Planner *EE*  
**Date:** Friday, September 12, 2014  
**RE:** Report and Recommendations for:  
PUD 31-A – Bricktown Square – Minor Amendment # 1

**LOCATION:** – 12409 S. Memorial Dr.  
– Part of the SW/4 NW/4 of Section 01, T17N, R13E

**SIZE:** 4 ½ acres, more or less

**EXISTING ZONING:** CS Commercial Shopping Center District, OL Office Low Intensity District, RS-1 Residential Single-Family District, & PUD 31-A

**EXISTING USE:** Vacant

**REQUEST:** Minor Amendment # 1 to PUD 31-A

**ANALYSIS:**

By email dated July 15, 2014, the Applicant requested both this and the Preliminary Plat applications be CONTINUED to the next meeting. On July 21, 2014, as requested and as recommended by Staff, the Planning Commission CONTINUED the Public Hearing and consideration of both items to the August 18, 2014 Regular Meeting.

By email dated August 13, 2014, the Applicant requested both this and the Preliminary Plat applications again be CONTINUED to the next meeting. Staff recommended, and the Planning Commission CONTINUED the Public Hearing and consideration of both items to the September 15, 2014 Regular Meeting as requested.

Staff Report – PUD 31-A – Bricktown Square – Minor Amendment # 1  
September 15, 2014

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By email dated September 09, 2014, the Applicant has requested both this and the Preliminary Plat applications again be CONTINUED to the next meeting. Staff recommends the Public Hearing and consideration of both items be CONTINUED to the October 20, 2014 Regular Meeting as requested.



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## STAFF REPORT

**To:** Bixby Planning Commission  
**From:** Erik Enyart, AICP, City Planner *EE*  
**Date:** Friday, September 12, 2014  
**RE:** Report and Recommendations for:  
BSP 2014-03 – “Brisbane Office Park” – Matt Means of StoreTulsa.com (PUD 60)

**LOCATION:**

- 10422 E. 111<sup>th</sup> St. S. (existing parcel address)
- 9910, 9920, & 9930 E. 111<sup>th</sup> St. S. (addresses as proposed)
- Part of the W. 10 Ac. of the E. 20 Ac. of Government Lot 1, Section 31, T18N, R14E
- All of proposed “Brisbane Office Park” subdivision

**SIZE:** 9.87 acres, more or less

**EXISTING ZONING:** OL Office Low Intensity District, AG Agricultural District, & PUD 60

**SUPPLEMENTAL ZONING:** PUD 60 for “Brisbane Office Park”

**EXISTING USE:** A house and vacant/wooded land

**DEVELOPMENT TYPE:** Approval of Detailed Site Plan including as elements: (1) Detailed Site Plan, (2) Detailed Landscape Plan, and (3) Detailed Lighting Plan, (4) Detailed Sign Plan, and (5) building plans and profile view / elevations pursuant to PUD 60 for a Use Unit 11 office park and Use Unit 16 ministorage development

SURROUNDING ZONING AND LAND USE:

North: (Across 111<sup>th</sup> St. S.) CG & R-2; Vacant/wooded land zoned R-2 and CG (perhaps pending residential development), and to the northeast, the *Evergreen Baptist Church* on a 40-acre campus at 6000 W. Florence St. in Broken Arrow (perhaps also addressed 10301 E. 111<sup>th</sup> St. S., "Bixby" per its website, [www.evergreenbc.org](http://www.evergreenbc.org)), all in the City of Broken Arrow.

South: RS-2; Single-family residential in *Southwood East*.

East: AG & RS-3; An agricultural/rural residential 10-acre tract and single-family residential in *The Park at Southwood 3rd*.

West: AG & CS; Unplatted vacant and rural residential tracts fronting along S. Mingo Rd., the *Cedar Ridge Kingdom Hall of Jehovah's Witnesses* at 11355 S. Mingo Rd., and the City's water tower.

COMPREHENSIVE PLAN: Low Intensity + Vacant, Agricultural, Rural Residences, and Open Land

PREVIOUS/RELATED CASES: (Not necessarily a complete list)

BBOA-38 – Kenny Gibson – Request for Special Exception to allow Use Unit 4 utility building (Bixby Telephone) in the AG District on a 75' X 75' tract from and within the northeast corner of the subject property – BOA Approved with Conditions 01/14/1985.

BL-98 – Kenny Gibson – Request for Lot-Split to separate a 75' X 75' tract from and within the northeast corner of the subject property for a utility building (Bixby Telephone) – PC Approved with Conditions 01/28/1985.

PUD 60 – Riverside Group – Randy Pickard – Request to rezone from AG to CS and OL and approve PUD 60 for a ministorage and office development for subject property – replaced by an amended application for PUD 60 and rezoning application BZ-337.

Zoning Code Text Amendment – Applicant in PUD 60 proposed to the City Council that it amend the Zoning Code to allow ministorage in OL and OM office zoning districts by Special Exception / PUD. City Council directed Staff to prepare amendment 10/22/2007. PC reviewed 12/17/2007, 01/21/2008, 01/28/2008, 02/11/2008, 02/18/2008, and 03/06/2008, and recommended Approval of specific amendment on 03/17/2008. City Council Approved amendment 04/14/2008 (Ord. # 994). PC recommended City Council make changes to amendment 05/19/2008 but City Council struck from agenda 07/14/2008 per City Attorney.

PUD 60 & BZ-337 – Riverside Group – Randy Pickard (Amended Application) – Request to rezone from AG to OL and AG and to approve an amended application for PUD 60 for a ministorage and office development for subject property – PC Continued from 12/17/2007 to 01/21/2008 to 02/18/2008 to 05/19/2008. On 05/19/2008, PC voted 3:2:0 on a Motion to recommend approval of OL zoning per BZ-337, and failed to pass a Motion to recommend Conditional Approval of PUD 60 (Amended Application) by 2:3:0 vote. PC chose not to take a subsequent vote on the possible denial recommendation, choosing instead to allow the case to be taken to the City Council absent a recommendation. City Council Conditionally Approved by 3:2:0 vote 06/23/2008 (Ord. # 1001). Additional Condition of Approval by City Council was "8ft wall, and stucco or masonry finish."

PUD 60 Major Amendment # 1 "Riverside Group" / "Brisbane Office Park" – Matt Means of Landmark Constructive Solutions – Request for approval of Major Amendment # 1 to Planned Unit Development (PUD) # 60 for subject property – changed the name of the PUD

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to "Brisbane Office Park" – PC recommended Conditional Approval 06/16/2014 and City Council Conditionally Approved application 06/23/2014 and Approved by ordinance with Emergency Clause 08/11/2014 (Ord. # 2140).

Preliminary Plat of Brisbane Office Park – Request for approval of a Preliminary Plat and Modification/Waiver to allow Lot 2, Block 1, to have no frontage on a private or public street for subject property – PC recommended Conditional Approval 07/21/2014 and City Council Conditionally Approved plat and Modification/Waiver 08/11/2014.

Final Plat of Brisbane Office Park – Request for approval of a Final Plat and partial Modification/Waiver from 17.5' perimeter U/E requirement for subject property – PC recommended Conditional Approval 08/18/2014. City Council consideration pending 09/22/2014.

## BACKGROUND INFORMATION:

### ANALYSIS:

Subject Property Conditions. The subject property consists of the West 10 Acres of the East 20 Acres of Government Lot 1 (NW/4 NW/4) of Section 31, T18N, R14E, Less and Except a 75' X 75' tract from its northeast corner which belongs to *BTC Broadband* and contains a fenced communications building. The subject property contains an old house and accessory building(s) toward its northwestern lot corner, and is otherwise vacant and wooded. The subject property is moderately sloped and, per the elevation contours represented on the site plan, contains a ridgeline oriented north-south along the west side of the tract, apparently roughly coterminous with the property's westerly line. This ridgeline forms a watershed (drainage divide) separating the Fry Creek Ditch # 1 and the Haikey Creek drainage basins. Per the elevation contours on the Preliminary Plat, all or almost all of the subject property naturally drains to the east and south to the Haikey Creek drainage basin. Upon completion of grading, paving, stormwater drainage and detention, and masonry screening wall improvements, all of the property will drain to the east and south.

The subject property appears to be presently served by the critical utilities (water, sewer, electric, etc.).

General. The draft Final Plat of "Brisbane Office Park" proposes two (2) lots, one (1) block, and one (1) reserve area, to be known as "Reserve A." Lot 1, Block 1, is proposed to be for the Use Unit 11 office park, and Lot 2, Block 1, is proposed to be the Use Unit 16 ministorage business. Reserve A will serve as the development's stormwater detention facility.

The Detailed Site Plan represents a suburban-style design and indicates the proposed internal automobile traffic and pedestrian flow and circulation and parking. The subject property conforms to PUD 60 and, per the plans generally, the office park and ministorage developments would conform to the applicable bulk and area standards for PUD 60 and the underlying OL and AG districts, except as outlined in this report.

Compared to the Exhibit A site plan of the approved PUD 60 Major Amendment # 1, a few changes have been made, including, but not necessarily limited to:

- Building D/E is 44' deep, compared to 45' per the original site plan.
- The separation between office and ministorage buildings appears to have been reduced from 30' (15' on either side of the shared property line) to 27'. This must be approved by the Fire Marshal.
- The stormwater detention pond within Reserve A appears to be larger in size.

The Detailed Site Plan was prepared by W Design, LLC of Tulsa. The submitted plan-view Site Plan drawing consists of "Architectural Site Plan" drawing AS100 (sometimes, "Site Plan" or "site plan"). The landscape plan consists of a "Landscape Plan" drawing AS101. Appearance and height information has not been provided. A letter submitted with the application states that "Building Elevations...will be forthcoming at least one week prior to the Planning Commission meeting schedule for September 15, 2014." Fence/screening information is provided on "Screening Site Plan" drawing AS102 and "Screen Wall Details" drawing AS103 and by the representation of such information on other plan drawings. The Lighting Plan consists of "Site Lighting Plan" drawing AS104. The Sign Plan consists of "Monument Sign Site, Plan, and Details" drawing AS105 and by the representation of signage information on other plan drawings.

Fire Marshal's and City Engineer's memos are attached to this Staff Report (if received). Their comments are incorporated herein by reference and should be made conditions of approval where not satisfied at the time of approval.

The Technical Advisory Committee (TAC) reviewed this application on September 03, 2014. The Minutes of the meeting are attached to this report.

Access & Circulation. The subject property has approximately 330' of frontage on 111<sup>th</sup> St. S., and the site plan proposes two (2) driveway connections thereto. Per the latest version of the Final Plat, Mutual Access Easement (MAE) drives would provide a connection and legal access to the street for the "back" Lot 2 and Reserve A.

With the Preliminary Plat, on August 11, 2014, the City Council approved a Modification/Waiver from Subdivision Regulations Section 12-3-4.B to allow Lot 2, Block 1, to have no frontage on a private or public street. This was requested by letter received August 11, 2014, and was described as being justified by citing the configuration of the subject property and the Approved PUD 60 and PUD 60 Major Amendment # 1, which specifically designed the development in this manner and provided that the frontage requirement was set aside.

No new streets, public or private, would be constructed. Thus, the stub-out street requirements of SRs Section 12-3-2.C is not applicable.

Plans for access can be further inferred from the site plans.

The (now-proposed) 27'-wide separation between office and ministorage buildings includes the southerly 15' 1" of Lot 1 and the northerly 12' 11" of Lot 2. Due to the proposed location of the security fence serving the ministorage development area, this 15' 1" of Lot 1 will be physically inaccessible to the owners of Lot 1. Further, the owner of Lot 2 will appear to have

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the use of this area. It appears the Final Plat, prior to recording, should extend the Mutual Access Easement to include this area, ensuring both lot owners ultimately have legal access to the fenced-in area.

Sidewalks are required along 111<sup>th</sup> St. S., but are not indicated. This must be added, along with the proposed width. Sidewalks are part of complete streets, providing a safe and convenient passageway for pedestrians, separate from driving lanes for automobile traffic.

The latest version of the Final Plat proposes Limits of No Access (LNA) along 111<sup>th</sup> St. S. except for access point(s), which must be approved by the City Engineer and Fire Marshal. The site plan represents these accurately, and the proposed driveway connections correspond appropriately to Access Openings.

The proposed driveway/street intersections require City Engineer and/or County Engineer curb cut approval, and the Fire Marshal's approval in terms of locations, spacing, widths, and curb return radii. Internal drives also require Fire Marshal's approval in terms of locations, spacing, widths, and curb return radii.

Internal pedestrian accessibility will be afforded via what appear to be internal sidewalks, connecting pedestrians between parking areas and buildings entrances within the development (reference Zoning Code Section 11-10-4.C). These concrete paving areas should be labeled as "sidewalk" and widths should be dimensioned (can be qualified as "typical" to reduce the number of labels, provided they are representative of all unique elements/areas). The widths of these sidewalks should be adequate to meet ADA standards.

Dimensions for drives and parking areas, as required by the Site Plan and as needed for full review, are missing throughout the site plan. See recommendations below for details.

Parking & Loading Standards. The site plan reports, and Staff counted 109 off-street parking spaces to serve both development areas.

The Zoning Code has specific formulae for required parking spaces based on Use Units, and sometimes specific types of uses within Use Unit categories. If the office park element of the development was fully occupied with Use Unit 11 uses, the Zoning Code's requirement for number of parking spaces would still depend on the types of Use Unit 11 businesses occupying the complex. If, for the sake of example and simplicity, all future tenants at all times would fall under the "Other uses" subcategory of Section 11-9-11.D, parking would be required as follows: 1 space / 300 square feet of floor area. The site plans shows Buildings A, B, C, and D/E would contain, in aggregate, 30,640 square feet. The example formula would require 102 parking spaces. Per the site plan, the seven (7) ministorage buildings, in aggregate, would contain 97,300 square feet of building floor area. Zoning Code Section 11-9-16.D requires 1 parking space per 5,000 square feet plus two (2) for an accessory dwelling. The plans do not indicate an accessory dwelling is planned in Development Area B / Lot 2, where such would be permitted. At 97,300 square feet, 19 parking spaces would be required. Together, the site would normally be required 121 parking spaces. Thus, the site proposes 12 parking spaces fewer than what the Zoning Code would otherwise require.

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PUD 60 provides the following development standards for parking for the subject property:

“Minimum and maximum parking requirements for Development Areas [A] and B shall be determined upon City of Bixby Planning Commission recommendation and City Council PUD Detailed Site Plan approval.”

The City Council, upon approval of this PUD Detailed Site Plan, may modify the minimum parking space standard as allowed by PUD 60. Staff presumes the developer is in a better position to estimate the parking needs for the development site, and does not object to the slight reduction (12 parking spaces) in overall parking required.

With 109 parking spaces on site, the six (6) handicapped-accessible parking spaces appears to comply with the minimum number required by ADA standards (Table 208.2 Parking Spaces / IBC Table 1106.1 Accessible Parking Spaces) and Zoning Code Section 11-10-4.D Table 2.

ADA guidelines require one (1) van-accessible design for the handicapped-accessible space, for up to seven (7) accessible spaces (reference New ADAAG Section 208.2.4, DOJ Section 4.1.2(5)b, and IBC/ANSI Section 1106.5). The Site Plan provides that one (1) of the six (6) accessible spaces presently proposed will be of van-accessible design. However, its location is not identified on the plans.

The regular and van-accessible handicapped-accessible parking spaces and access aisles are not dimensioned, so compliance with the standards of ADA and Zoning Code Section 11-10-4.C Figure 3 cannot be determined. The Applicant should make use of a handicapped-accessible parking space/access aisle/accessible route/parking signage detail diagram as needed to demonstrate compliance with applicable standards, including both ADA and Bixby Zoning Code standards.

It is not clear if the handicapped-accessible parking spaces along the south side of the northernmost building (Building A) are adequately located to serve the next building to the south (Building B). It does not appear that any handicapped-accessible parking spaces would serve Building C. The Applicant’s design professionals should provide changes as needed to comply with ADA standards as to the location of handicapped-accessible parking spaces to the buildings they serve, or otherwise confirm in writing that ADA standards are met.

The Applicant’s design professionals should also determine whether the entire development will be considered as a singular parking lot for ADA compliance purposes, or whether the plainly-evident divisions between the parking areas (i.e. parking lots separated by buildings) will require each section have its own accessible space(s), and if such space(s) should or should not have at least one (1) van-accessible space per parking area.

Perhaps a separate matter from the preceding paragraph, the Applicant’s design professionals should determine whether a van / handicapped-accessible parking space should be located at the south end of the parking lot strip in front of building D/E, where the leasing office and/or public entrance to the ministorage development are presumed to be located.

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An accessible path appears to be represented, but not labeled, which would connect the handicapped-accessible parking spaces in the northernmost parking lot to the northernmost building (Building A). Another appears to connect the handicapped-accessible parking spaces along the south side of the northernmost building to the next building to the south (Building B). An accessible route does not appear to connect Buildings C or D/E to 111<sup>th</sup> St. S. nor to any other building. The accessible routes do not pass along the sides of the east-west-oriented buildings. It is not known if ADA standards permit accessible routes to require passage through buildings, or whether the buildings are presently designed to allow this. The Applicant's design professionals should provide changes as needed to comply with ADA standards as to accessible routes, or otherwise confirm ADA standards are met. Finally, the accessible path first mentioned should likely be extended to the public sidewalk (which must be represented and constructed) along 111<sup>th</sup> St. S.

During the design of the ADA parking features, the designer should consult with the Building Inspector to confirm the plans will comply with ADA standards (locations, proximity to primary entrance, maximum slopes, transition areas, level landing areas, pavement coloring, etc.).

The individual parking space dimensions have not been provided and so cannot be compared with standards for the same Zoning Code Section 11-10-4.A.

The parking lot is subject to a 10' minimum setback from 111<sup>th</sup> St. S. per Zoning Code Section 11-10-3.B Table 1. The proposed parking lot setback does not appear to be provided. The Applicant should add this dimension and increase the setback to 10' if not already in compliance.

The parking lot is subject to a 10' minimum setback from an R district per Zoning Code Section 11-10-3.B Table 1. There are no R districts abutting, so this standard is not applicable.

The Site Plan shows parking area and driveway paving would encroach on the 17.5' U/Es along the north and west sides of the development lots. Paving and site improvements on public Utility Easements is subject to City Engineer and Public Works Director approval.

For Use Unit 11 office buildings, Zoning Code Section 11-9-11.D requires one (1) loading berth per 10,000 to 100,000 square feet, plus 1 per each additional 100,000 square feet of floor area. No loading berths are required for any other office building, due as none of them meet the threshold for requiring same, and the Zoning Code has no loading berth requirement for Use Unit 16 ministorage. No loading berths are indicated as proposed.

Screening/Fencing. Per the Conditions of approval of PUD 60 and PUD 60 Major Amendment # 1, the required screening is to take the form of an "8ft wall, and stucco or masonry finish." This is depicted on the Exhibit A Conceptual Site Plan to PUD 60 Major Amendment # 1. However, during the Planning Commission hearing and recommendation of the Final Plat on August 18, 2014, the Applicant verbally amended the development to relocate the required 8'-high masonry wall along the north side of Reserve A to the south side, and to extend the 8'-high masonry wall along the entire east side of Reserve A and along the west side of Reserve A to the northeast corner of the City of Bixby's water tower property. The balance of the west line

of Reserve A is to keep the City of Bixby's fence in place. A security fence will be installed along the north side of Reserve A, with a gate to allow for access to Reserve A and the detention pond within. These changes need to be made to "Screening Site Plan" drawing AS102.

"Screening Site Plan" drawing AS102 does not represent existing or proposed fences along the property lines shared with the *BTC Broadband* property. This needs to be provided.

The "Screen Wall Details" drawing AS103 indicates some sections of the screening wall would be 6' in height, rather than 8'. It is not clear from the plans where such 6' height walls would be proposed. All wall sections indicated require the 8' height. The Applicant should reconcile appropriately or advise.

"Screening Site Plan" drawing AS102 needs to clarify the extent of the "iron picket fence" separating the office park and ministorage areas.

PUD 60 requires the following for "TRASH, MECHANICAL AND EQUIPMENT AREAS":

"(1) There shall be no storage of recyclable materials, trash or similar material outside a screened receptacle. All trash, mechanical and equipment areas, including building mounted, shall be screened from public view in such a manner that the areas cannot be seen by persons standing at ground level."

The site plan does not appear to identify any area(s) for solid waste disposal or mechanical and equipment storage, if the latter are necessary. Such area(s) need to be identified, and plans need to be provided demonstrating compliance with this PUD requirement (enclosure screening height and composition details). Staff respectfully requests a profile view/elevation exhibit be submitted for the Planning Commission's and City Council's review and approval as a part of this Detailed Site Plan.

Landscape Plan. PUD 60 requires compliance with the landscaping standards of the Zoning Code and provides no special standards for landscaping.

The proposed landscaping is compared to the Zoning Code as follows:

1. 15% Street Yard Minimum Landscaped Area Standards (Section 11-12-3.A.1): Standard is not less than 15% of the Street Yard area shall be landscaped. The Street Yard is the required Zoning setback, which is 50' along 111<sup>th</sup> St. S., on which the subject property has 255.02' of frontage. PUD 60 does not increase the 50' setback required by the OL district. The Street Yard thus contains (255.02' X 50' =) 12,751 square feet, 15% of which would be 1,913 square feet. The Street Yard calculation provided on the plan is incorrect. The proposed parking lot setback / landscaped strip width dimension has not been provided, allowing for calculation and comparison to the minimum required. **Compliance with this standard cannot be determined.**
2. Minimum Width Landscaped Area Strip Standards (Section 11-12-3.A.2 and 11-12-3.A.7): Standard is minimum Landscaped Area strip width shall be 7.5', 10', or 15' along abutting street rights-of-way. A 10' minimum width strip is required along

111<sup>th</sup> St. S. The proposed parking lot setback / landscaped strip width dimension has not been provided, allowing for calculation and comparison to the minimum required. **Compliance with this standard cannot be determined.**

3. 10' Buffer Strip Standard (Section 11-12-3.A.3): Standard requires a minimum 10' landscaped strip between a parking area and an R Residential Zoning District. No R districts abut the subject property. **This standard is not applicable.**
4. Building Line Setback Tree Requirements (Section 11-12-3.A.4): Standard is one (1) tree per 1,000 square feet of building line setback area. Excluding the building line setback along 111<sup>th</sup> St. S. (which is a Street Yard), both Development Areas A and B have 10' setbacks along the east and west PUD boundaries per the OL district and PUD 60. Within Development Area A, however, PUD 60 requires an additional foot of setback for each foot of building height exceeding 18'.

*607.91' West Boundary Setback Tree Requirements*: West line @ 607.91' • 10' = 6,079.1 square feet / 1,000 = 6.1 = 7 trees (1/10 of a tree is not possible, and minimum numbers of required trees are not rounded-down). No (0) trees are proposed in the landscaped area containing the setback along this line. **This standard is not met.**

*334' West Boundary Setback Tree Requirements*: Setback along this boundary of Development Area A / Lot 1 cannot be determined as it depends on the proposed building height, which information has not been provided. No (0) trees are proposed in the landscaped area containing the setback along this line. **This standard is not met.**

*607.91' Easterly Boundary Setback Tree Requirements*: East line @ 607.91' • 10' = 6,079.1 square feet / 1,000 = 6.1 = 7 trees (1/10 of a tree is not possible, and minimum numbers of required trees are not rounded-down). No (0) trees are proposed in the landscaped area containing the setback along this line. **This standard is not met.**

*282.1', 75', and 51.90' Easterly Boundary Setback Tree Requirements*: Easterly line @

$$\begin{aligned} &282.1' \cdot 10' = 2,821 \text{ square feet} \\ &+ \\ &(75' - 10' \text{ setback} \Rightarrow) 65' \cdot 10' = 650 \text{ square feet} \\ &+ \\ &[(\frac{1}{4} \cdot [\pi \cdot r^2 ; r @ 10' =] 31.416) =] 8 \text{ square feet} \\ &+ \\ &(51.9' - 50' \text{ Street Yard Setback} \Rightarrow) 1.9' \cdot 10' = 19 \text{ square feet} \\ &= \end{aligned}$$

3,498 square feet / 1,000 = 3.5 = 4 trees required. However, the setback along this boundary of Development Area A / Lot 1 cannot be determined as it depends on the proposed building height, which information has not been provided. Two (2) trees are proposed in the landscaped area containing the setback along this line. **This standard is not met.**

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5. Maximum Distance Parking Space to Landscaped Area Standard (Sections 11-12-3.B.1 and 11-12-3.B.2): Standard is no parking space shall be located more than 50' or 75' from a Landscaped Area, which Landscaped Area must contain at least 30, 100, or 200 square feet and one (1) or two (2) trees. For Lots 1 and 2, both exceeding 2.5 acres, the standard calls for a maximum of 75' of spacing, with one (2) trees required within the Landscaped Area not less than 100 or 200 square feet in area. Per the Site Plan, Buildings A, B, and C will each be 170' deep. It is not clear, based on the dimensions provided, whether the parking lot strips attending Buildings B and C can be met by the landscaped strips that "bookend" each on their west and east sides, and whether these landscaped areas, apparently as deep but wider than a parking space, relatively speaking, contain at least 200 square feet. In either case, these landscaped strips are only proposed to contain one (1) landscaping tree, which does not meet this standard. It appears unlikely, based on provided dimensions, that the parking lot strip attending the south side of the northernmost building (Building A) will meet this standard from available landscaped areas regardless of numbers of trees in each. **This standard is not met.**
6. Street Yard Tree Requirements (Section 11-12-3.C.1.a): Standard is one (1) tree per 1,000 square feet of Street Yard. The Street Yard is the Zoning setback along an abutting street.

*111<sup>th</sup> St. S. Street Yard Tree Requirements*: The subject property has frontage on one street, 111<sup>th</sup> St. S., measuring 255.02'. PUD 60 does not increase the 50' setback required by the OL district. The Street Yard thus contains (255.02' X 50' =>) 12,751 square feet / 1,000 = 12.7 = 13 trees required in the 111<sup>th</sup> St. S. Street Yard. 10 trees are proposed in the Street Yard. **This standard is not met.**

7. Tree to Parking Space Ratio Standard (Section 11-12-3.C.2): Standard is one (1) tree per 10 parking spaces. Presuming no additional parking will be required, 109 parking spaces proposed / 10 = 11 trees required. Excluding the Street Yard and Building Setback trees reported above, six (6) trees proposed. **This standard is not met.**
8. Parking Areas within 25' of Right-of-Way (Section 11-12-3.C.5.a): Standard would be met upon and as a part of compliance with the tree standard per Section 11-12-3.C.1.a.
9. Irrigation Standards (Section 11-12-3.D.2): Zoning Code Section 11-12-4.A.7 requires the submission of plans for irrigation. Notes on the landscape plan indicate an irrigation system will be employed. However, no irrigation plan was provided. **This standard is not met.**
10. Miscellaneous Standards (Sections 11-12-4.A.5, 11-12-3.C.7, 11-12-3.D, etc.): The reported heights and calipers of the proposed trees, tree planting diagram(s), the notes on the drawings, and other information indicate compliance with other miscellaneous standards, with the following exceptions:
  - a. Aerial data and a site inspection suggest there may be several mature trees (6" caliper or greater) within that part of the 50'-wide Street Yard which will be occupied by the parking lot in front of the northernmost building (Building A). Zoning Code Section 11-12-3.C.1.b requires their replacement at a 2:1 ratio. Please provide documentation showing how this standard will be achieved, and

- identify on the landscape plan where within the development site the replacement trees will be located.
- b. The landscaping analysis in the "Landscape Ordinance Summary" is inconsistent with the interpretations rendered in this analysis, and should be reconciled therewith or removed.
  - c. The list of utility companies listed at the bottom left-hand corner of the landscape plan should be updated to include any missing utility providers serving the area, to include, at a minimum, BTC Broadband and City of Bixby.
  - d. Impervious surface calculations provided will need to be updated if / as required in order to add sidewalks or ADA-compliance accessible paths.

Until the above are resolved, **this standard is not met.**

11. Lot Percentage Landscape Standard (Section 11-7I-5.F; PUDs only): Standard is 15% of an office lot and 10% of a commercial lot within a PUD must be landscaped open space. Neither dimensions nor areas nor percentages have been provided, such as would allow for the demonstration of compliance with this standard. Such information will need to be provided for each lot, as the ministorage lot will be considered a commercial use. **Compliance with this standard cannot be determined.**

Exterior Materials and Colors. A letter submitted with the application states that "Building Elevations...will be forthcoming at least one week prior to the Planning Commission meeting schedule for September 15, 2014." However, appearance and height information has not been provided.

The PUD has a 25' maximum building height in Development Area A / Lot 1 and an 8.5' maximum building height in Development Area B / Lot 2.

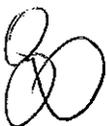
Zoning Code Section 11-9-16.C.3.a requires masonry exteriors for all ministorage building walls "along all property lines adjoining or visible from an adjoining public street or any R or O district." This would appear to apply to the north-facing exteriors (facing the office park lot).

Height and building elevations / exterior materials information is required by the site plan application and to demonstrate compliance with the Zoning Code and PUD n requirements.

Outdoor Lighting. The lighting plans consists of "Site Lighting Plan" drawing AS104, which includes a photometric plan and a legend describing the different light fixtures proposed and certain other particulars. There do not appear to be any pole-mounted lights; all are building-mounted and appear typical for an office park and ministorage application.

PUD 60 provides for lighting:

"(1) Lighting used to illuminate the development area shall be so arranged as to shield and direct light away from adjacent residential areas and residential uses within the PUD. No light standard or building-mounted light shall exceed 14 feet. Light, as measured in footcandles, shall not exceed 0.0 footcandles at all PUD boundaries shared with a residential property. A lighting



plan shall be a required element of the PUD Detailed Site Plan and shall include a photometric plan demonstrating compliance with the foregoing lighting requirements.”

Per the photometric plan, it appears that the footcandle effects of the proposed lighting will be reduced to 0.0 at all points on the PUD boundaries.

The photometric plan element of the lighting plan appears to be severely congested, making reading difficult. This should be re-scaled or other adjustments should be made to improve legibility.

The lighting plan will need to be sealed, signed, and dated by a proper professional for such plans.

Signage. PUD 60 requires compliance with the signage standards of the Zoning Code and provides no special standards for signage.

The Sign Plan consists of “Monument Sign Site, Plan, and Details” drawing AS105 and by the representation of signage information on other plan drawings.

The site plans represent the locations of the one (1) proposed ground sign at the northwest lot corner. The sign complies with all standards of the Zoning Code for location in the OL district with a PUD. It is proposed, however, to be located within the 17.5’ Perimeter U/E proposed by the plat of “Brisbane Office Park,” and so would be subject to the specific approval of the City Engineer and Public Works Director.

The ground sign would advertise both the “Brisbane Office Park” and “Brisbane Mini-Storage” business. The Zoning Code (Section 11-2-1, etc.) would recognize the signage element advertising the ministorage business, located on the office park lot, as a “billboard,” prohibited by the Zoning Code. However, signage advertising the ministorage business along 111<sup>th</sup> St. S. was to be expected by the specific allowance of the “back” ministorage development area / lot per the PUD. This is a common situation and relief from this restriction has commonly been done within PUDs either at the time of their initial approval or by amendment (PUD 65 Major Amendment # 1, PUD 73, PUD 76, PUD 47-C, PUD 81, etc.). This minor matter may be relieved by a Minor Amendment to PUD 60.

Wall signs are expected, but are not indicated on any of the plans. If proposed, they need to be represented, dimensioned, and must comply with applicable standards for same. If known at this time, should be identified on the Sign Plan, the elevations drawings, or another drawing. Alternatively, the Applicant may respond that wall signs are not known at this time and that future wall signs will be reviewed in the context of a future sign permit application.

Directional signs, although not indicated, are limited to a maximum of three (3) square feet in display surface area per Zoning Code Section 11-9-21.C.3.k.

Signs reserving the ADA accessible parking spaces and directional signage painted to the pavement of the driveways (not visible from adjoining public streets) should conform to applicable standards or are otherwise exempt per Federal standards.

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Staff Recommendation. The Detailed Site Plan adequately demonstrates compliance with the Zoning Code and is in order for approval, subject to the following corrections, modifications, and Conditions of Approval:

1. Subject to compliance with all Fire Marshal and City Engineer recommendations and requirements.
2. Compared to the Exhibit A site plan of PUD 60 Major Amendment # 1, the separation between office and ministorage buildings appears to have been reduced from 30' (15' on either side of the shared property line) to 27'. This must be approved by the Fire Marshal.
3. The proposed driveway/street intersections require City Engineer and/or County Engineer curb cut approval, and the Fire Marshal's approval in terms of locations, spacing, widths, and curb return radii.
4. The (now-proposed) 27'-wide separation between office and ministorage buildings includes the southerly 15' 1" of Lot 1 and the northerly 12' 11" of Lot 2. Due to the proposed location of the security fence serving the ministorage development area, this 15' 1" of Lot 1 will be physically inaccessible to the owners of Lot 1. Further, the owner of Lot 2 will appear to have the use of this area. It appears the Final Plat, prior to recording, should extend the Mutual Access Easement to include this area, ensuring both lot owners ultimately have legal access to the fenced-in area.
5. Please add sidewalks as required along 111<sup>th</sup> St. S., along with the proposed width. Sidewalks are part of complete streets, providing a safe and convenient passageway for pedestrians, separate from driving lanes for automobile traffic.
6. Internal pedestrian accessibility will be afforded via what appear to be internal sidewalks, connecting pedestrians between parking areas and buildings entrances within the development (reference Zoning Code Section 11-10-4.C). These concrete paving areas should be labeled as "sidewalk" and widths should be dimensioned (can be qualified as "typical" to reduce the number of labels, provided they are representative of all unique elements/areas). The widths of these sidewalks should be adequate to meet ADA standards.
7. Please label the widths of the following internal drives (curb face to building or curb face):
  - a. Westernmost north-south drive (portion within Development Area A / Lot 1).
  - b. Westernmost north-south drive (portion within Development Area B / Lot 2).
  - c. Easternmost north-south drive (portion within Development Area A / Lot 1).
  - d. Easternmost north-south drive (portion within Development Area B / Lot 2).
  - e. Northernmost east-west drive.
8. Please provide abutting street centerline and roadway width.
9. Please update the easements and utility lines according to the recorded, the "Final As Approved," or otherwise latest version of the Final Plat of "Brisbane Office Park."
10. Please remove the inaccurate 35' Building Line on the site plan.
11. Please add proposed interior drive curb return radii.
12. Internal drives require Fire Marshal's approval in terms of locations, spacing, widths, and curb return radii.
13. Please dimension proposed setback from south property line of Lot 2.

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14. Please clarify the extents, and label all parts of all easements as per the latest, "Final As Approved," or recorded Final Plat. See, especially, north-south MAEs, 17.5' U/E around the BTC area, etc.
15. The list of utility companies listed at the "Call OKIE" note on the Screening Site Plan and sign plan (and any others) should be updated to include any missing utility providers serving the area, to include, at a minimum, BTC Broadband and City of Bixby.
16. City Council approval of this PUD Detailed Site Plan will constitute a modification of the minimum parking space standard as allowed by PUD 60.
17. Please identify the location of all proposed van-accessible handicapped-accessible spaces.
18. The regular and van-accessible handicapped-accessible parking spaces and access aisles are not dimensioned, so compliance with the standards of ADA and Zoning Code Section 11-10-4.C Figure 3 cannot be determined. The Applicant should make use of a handicapped-accessible parking space/access aisle/accessible route/parking signage detail diagram as needed to demonstrate compliance with applicable standards, including both ADA and Bixby Zoning Code standards.
19. It is not clear if the handicapped-accessible parking spaces along the south side of the northernmost building (Building A) are adequately located to serve the next building to the south (Building B). It does not appear that any handicapped-accessible parking spaces would serve Building C. The Applicant's design professionals should provide changes as needed to comply with ADA standards as to the location of handicapped-accessible parking spaces to the buildings they serve, or otherwise confirm in writing that ADA standards are met.
20. The Applicant's design professionals should also determine whether the entire development will be considered as a singular parking lot for ADA compliance purposes, or whether the plainly-evident divisions between the parking areas (i.e. parking lots separated by buildings) will require each section have its own accessible space(s), and if such space(s) should or should not have at least one (1) van-accessible space per parking area.
21. Perhaps a separate matter from the preceding paragraph, the Applicant's design professionals should determine whether a van / handicapped-accessible parking space should be located at the south end of the parking lot strip in front of building D/E, where the leasing office and/or public entrance to the ministorage development are presumed to be located.
22. An accessible path appears to be represented, but not labeled, which would connect the handicapped-accessible parking spaces in the northernmost parking lot to the northernmost building (Building A). Another appears to connect the handicapped-accessible parking spaces along the south side of the northernmost building to the next building to the south (Building B). An accessible route does not appear to connect Buildings C or D/E to 111<sup>th</sup> St. S. nor to any other building. The accessible routes do not pass along the sides of the east-west-oriented buildings. It is not known if ADA standards permit accessible routes to require passage through buildings, or whether the buildings are presently designed to allow this. The Applicant's design professionals should provide changes as needed to comply with ADA standards as to accessible routes, or otherwise confirm ADA standards are met. Finally, the accessible path first

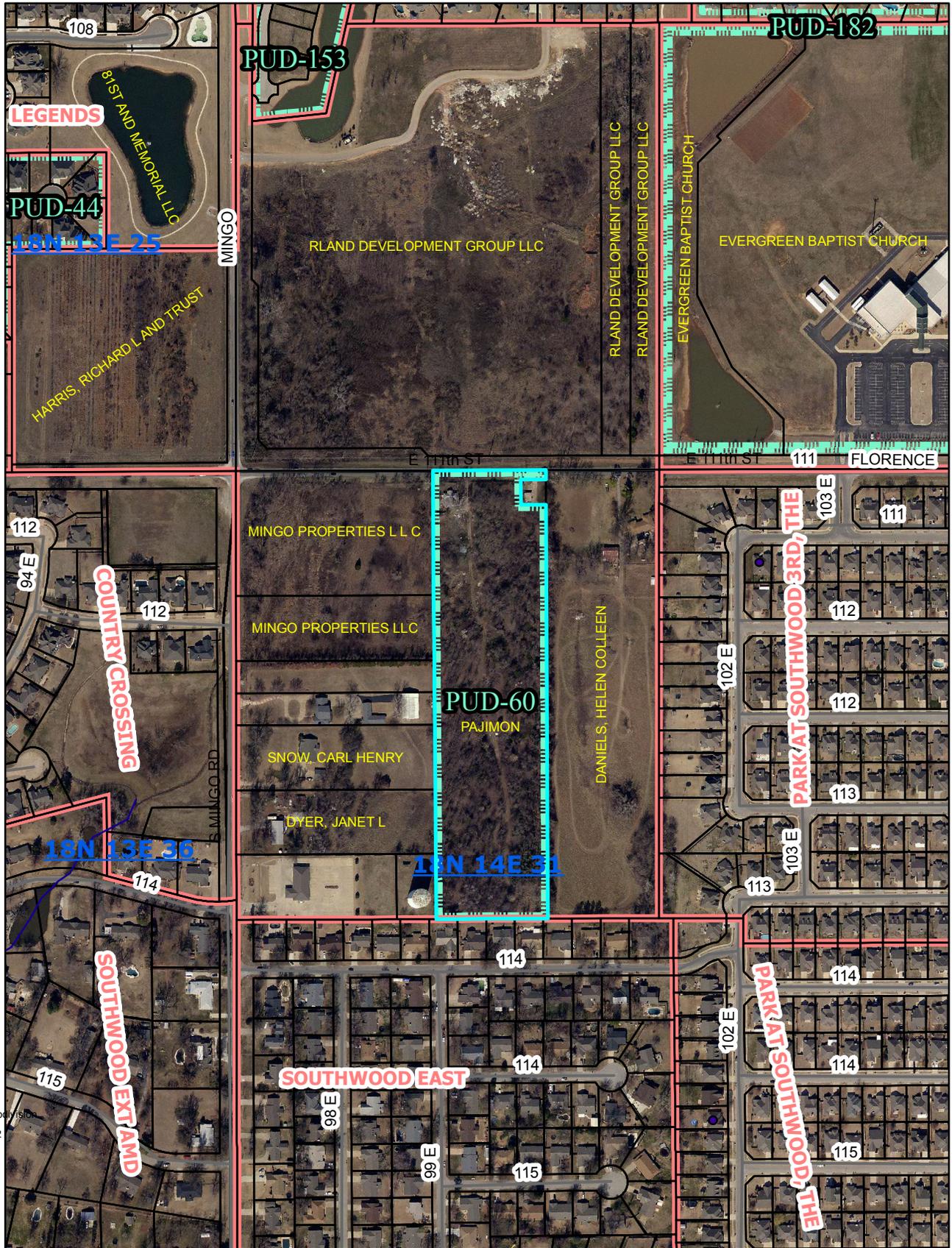
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- mentioned should likely be extended to the public sidewalk (which must be represented and constructed) along 111<sup>th</sup> St. S.
23. During the design of the ADA parking features, the designer should consult with the Building Inspector to confirm the plans will comply with ADA standards (locations, proximity to primary entrance, maximum slopes, transition areas, level landing areas, pavement coloring, etc.).
  24. The individual parking space dimensions have not been provided and so cannot be compared with standards for the same Zoning Code Section 11-10-4.A.
  25. The parking lot is subject to a 10' minimum setback from 111<sup>th</sup> St. S. per Zoning Code Section 11-10-3.B Table 1. The proposed parking lot setback does not appear to be provided. The Applicant should add this dimension and increase the setback to 10' if not already in compliance.
  26. The Site Plan shows parking area and driveway paving would encroach on the 17.5' U/Es along the north and west sides of the development lots. Paving and site improvements on public Utility Easements is subject to City Engineer and Public Works Director approval.
  27. "Screening Site Plan" drawing AS102 needs to be updated to reflect changes to screening plans as amended by the Applicant during the Planning Commission hearing and recommendation of the Final Plat on August 18, 2014 as described in detail in the analysis above.
  28. Please represent and label the existing security fence along the boundary shared with the City of Bixby's water tower property, which will remain, on "Screening Site Plan" drawing AS102.
  29. "Screening Site Plan" drawing AS102 does not represent existing or proposed fences along the property lines shared with the *BTC Broadband* property. This needs to be provided.
  30. "Screening Site Plan" drawing AS102 needs to clarify the extent of the "iron picket fence" separating the office park and ministorage areas.
  31. The site plan does not appear to identify any area(s) for solid waste disposal or mechanical and equipment storage, if the latter are necessary. Such area(s) need to be identified, and plans need to be provided demonstrating compliance with the PUD requirement (enclosure screening height and composition details). Staff respectfully requests a profile view/elevation exhibit be submitted for the Planning Commission's and City Council's review and approval as a part of this Detailed Site Plan.
  32. The "Screen Wall Details" drawing AS103 indicates some sections of the screening wall would be 6' in height, rather than 8'. It is not clear from the plans where such 6' height walls would be proposed. All wall sections indicated require the 8' height. Please reconcile appropriately or please advise.
  33. Please resolve the 15% Street Yard Minimum Landscaped Area Standards (Section 11-12-3.A.1) matter as described in the Landscape Plan analysis above.
  34. Please resolve the Minimum Width Landscaped Area Strip Standards (Section 11-12-3.A.2 and 11-12-3.A.7) matter as described in the Landscape Plan analysis above.
  35. Please resolve the Building Line Setback Tree Requirements (Section 11-12-3.A.4) matter as described in the Landscape Plan analysis above.
  36. Please resolve the Maximum Distance Parking Space to Landscaped Area Standard (Sections 11-12-3.B.1 and 11-12-3.B.2) matter as described in the Landscape Plan analysis above.

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37. Please resolve the Street Yard Tree Requirements (Section 11-12-3.C.1.a) matter as described in the Landscape Plan analysis above.
38. Please resolve the Tree to Parking Space Ratio Standard (Section 11-12-3.C.2) matter as described in the Landscape Plan analysis above.
39. Please resolve the Irrigation Standards (Section 11-12-3.D.2) matter as described in the Landscape Plan analysis above.
40. Please resolve the Miscellaneous Standards (Sections 11-12-4.A.5, 11-12-3.C.7, 11-12-3.D, etc.) matter as described in the Landscape Plan analysis above.
41. Zoning Code Section 11-9-16.C.3.a requires masonry exteriors for all ministorage building walls “along all property lines adjoining or visible from an adjoining public street or any R or O district.” This would appear to apply to the north-facing exteriors (facing the office park lot).
42. Height and building elevations / exterior materials information is required by the site plan application and to demonstrate compliance with the Zoning Code and PUD n requirements.
43. The photometric plan element of the lighting plan appears to be severely congested, making reading difficult. This should be re-scaled or other adjustments should be made to improve legibility.
44. The lighting plan will need to be sealed, signed, and dated by a proper professional for such plans.
45. The one (1) proposed ground sign is proposed to be located within the 17.5' Perimeter U/E proposed by the plat of “Brisbane Office Park,” and so would be subject to the specific approval of the City Engineer and Public Works Director.
46. The Zoning Code (Section 11-2-1, etc.) would recognize the signage element advertising the ministorage business, located on the office park lot, as a “billboard,” prohibited by the Zoning Code. This minor matter may be relieved by a Minor Amendment to PUD 60 as noted in further detail in the analysis above.
47. Wall signs are expected, but are not indicated on any of the plans. If proposed, they need to be represented, dimensioned, and must comply with applicable standards for same. If known at this time, should be identified on the Sign Plan, the elevations drawings, or another drawing. Alternatively, the Applicant may respond that wall signs are not known at this time and that future wall signs will be reviewed in the context of a future sign permit application.
48. Please submit complete, corrected copies of the Detailed Site Plan incorporating all of the corrections, modifications, and conditions of approval as follows: Two (2) full-size hard copies, one (1) 11” X 17” hard copy, and one (1) electronic copy (PDF preferred).
49. Minor changes in the placement / locating individual trees or parking spaces, or other such minor site details, are approved as a part of this Detailed Site Plan, subject to administrative review and approval by the City Planner. The City Planner shall determine that the same are minor in scope and that such changes are an alternative means for compliance and do not compromise the original intent, purposes, and standards underlying the original placement as approved on this Detailed Site Plan, as amended. An appeal from the City Planner’s determination that a change is not sufficiently minor in scope shall be made to the Board of Adjustment in accordance with Zoning Code Section 11-4-2.

# Final Plat of "Brisbane Office Park"



- Businesses
- bixby\_streams
- ▭ Tulsa Parcels 02/14
- ▭ WagParcels 02/14
- ▭ TulSubdivision
- ▭ WagonerCounty\_Subdivision
- WagRoads\_Aug2012
- E-911\_Streets
- ▭ PUD
- ▭ bixby\_s-t-r
- ▭ county



# CITY OF BIXBY

P.O. Box 70  
116 W. Needles Ave.  
BIXBY, OK 74008  
(918) 366-4430  
(918) 366-6373 (fax)

## Engineering Department Memo

**To:** Erik Enyart, City Planner

**From:** Jared Cottle, PE *JWC*

**CC:** Bea Aamodt, PE  
File

**Date:** 08/22/14

**Re:** Brisbane Office Park  
Site Plan Review

---

### General Comments:

1. Please see the Plan Review Comment letter dated August 22, 2004. All major design elements required significant revision.

# CITY OF BIXBY

P.O. Box 70  
116 W. Needles Ave.  
BIXBY, OK 74008  
(918) 366-4430  
(918) 366-6373 (fax)

## Engineering Department Memo

**To:** J.R. Donelson  
12820 S. Memorial Dr., Office 100  
Bixby, OK 74008

**From:** Jared Cottle, PE *JWC*

**CC:** Bea Aamodt, PE  
Erik Enyart, City Planner  
File

**Date:** 08/22/14

**Re:** Brisbane Office Park  
Construction Plan Review

---

### General Comments:

1. The comments provided below are significant and nature and will require a full plan re-submittal for each phase of the work. Additional review and comments should be expected on the revised plans.
2. With the exception of item #3 in the Comment Letter dated June 13, 2014, all comments in that letter are still applicable as well as items #3, #4, & #5 in the Comment Letter dated June 24, 2014.
3. A Comment Response letter addressing the comments provided below as well as the comments provided in previous reviews must be provided with the next submittal.
4. A complete Engineering Design checklist must be provided with the next submittal.

### Paving, Grading, and Drainage Comments:

5. A Storm Water Detention and Drainage Report has not been provided. No review will be completed until a Report is submitted.
6. A Geotechnical Report must be submitted for this project.
7. A Storm Water Pollution Prevention Plan must be submitted for this project.

### Water Comments:

8. The Plans submitted show water lines labeled "Private" on the profiles in contrast to the lines shown located in what appears to be a Public 15" water line easement on the Plans. Please clarify.
9. Public lines must be located within landscaping areas.
10. All private lines must be located outside of Public Utility easements.
11. If private lines are proposed, master meters must be shown and specified at the connections to the City main on 111<sup>th</sup>.
12. Fire hydrant coverage radii must be provided with the Plans.

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# CITY OF BIXBY

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## **Sanitary Comments:**

13. A Lift Station and force main for this project will not be accepted by the City. A revised sanitary sewer strategy that involves only gravity for the City's portion of the system is required. Some potential alternatives include:
  - Connection to deeper manhole downstream
  - Larger diameter pipe laid at flatter slopes
  - Private lift station on each lot with a connection to a Public gravity sewer line
14. All private utilities must be installed outside of Public Utility Easements.

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**Bixby**  
**Fire Marshal's Site Plan Review Worksheet**

Date of Review: 8-25-2014 Permit Number: \_\_\_\_\_  
Business/Bldg Name: Brisbane Office Park Address of Project: 111th  
Designer Name: JR Donelson, Inc. Designer's Phone: (918) 394-3030

The numbers that follow worksheet statements represent a IFC code section unless otherwise stated. Appendix D and the references noted below are not mandatory unless the AHJ has incorporated the Appendix as a regulatory requirement.

**Worksheet Legend: X or OK = no problem, N = need to provide, NA = not applicable**

**Access:**

1. X Drawings are provided.
2. X The required fire department access roads is a minimum unobstructed 20 ft. in width and 13 ft. 6 in. clear height, IFC 503.2.1. Check with local or state requirements that may have street planning regulations that supercede the IFC requirements.
3. N "No Parking Fire Lane" signs are provided at AHJ prescribed locations, IFC 503.3.
4. X Required fire department access roads are designed to support an apparatus with a gross axle weight of 75,000 lb, engineering specifications are provided, IFC App D102.1.
5. X Required fire department access roads are an all-weather driving surface such as asphalt, concrete, chip seal (oil matting), or similar materials, IFC 503.2.3.
6. X The proposed building does have an emergency vehicle access road within 150 ft. of any exterior portion of the structure, if not, a fire department access road must be provided, IFC 503.1.1.
7. X The grade for required fire department access road does not exceed 10 percent unless approved by the Chief, Appendix D103.2.
8. NA A local jurisdiction alternative to the 10 percent grade restriction could be the following: If the grade exceeds 10 percent, the first portion of the grade shall be limited to 15 percent for a length of 200 ft. and then 15 percent to 20 percent for a maximum of 200 ft., repeat the cycle as necessary unless the building is sprinklered.
9. X No access drive grades are greater than 10 percent if Appendix D is applicable at the local level, Appendix D 103.
10. X The access road design for a maximum grade conforms to specifications established by the fire code official, IFC 503.2.7.
11. NA The dead-end fire department access roads (s) in excess of 150 ft. is provided with a turn-around, IFC 503.2.5.
12. NA The turn-around cul-de-sac has an approved inside and an outside radius, e.g. 30 ft. 50 ft. respectively, a hammerhead design is a minimum 70 ft. L x 20 ft. W, or another approved design may be used, IFC 503.2.4.
13. X The turning radius for emergency apparatus roads is 30 ft. inside and 50 ft. outside radius or as approved by the code official.
14. X Fire department access roads shall be constructed and maintained for all construction sites, IFC 1410.1.
15. NA Dead-end streets in excess of 150 ft. resulting from a phased project are provided an approved temporary turnaround, IFC 503.2.5.

**Water Flow and Hydrants:** An in-depth plan review for private hydrants and private water mains will occur during the project plan review phase.

16. N A fire flow test and report is provided to verify that the fire flow requirement is available. Also, refer to the note at the bottom of the page.
17. N Water mains and pipe sizes are detailed on the site plan, IFC 508.1.
18. X All water mains and hydrants shall be installed and operate as soon as combustible materials arrive on a construction site, IFC 1412.1.



19. N The nearest hydrant(s) to the project structure and/or property road frontage are shown on the plan.

20. NA Prior to the installation of private water main systems, plans shall be submitted for a permit, review and approval.

21. N Hydrant spacing 300 feet maximum within a commercial district.

**Note:** When a hydrant water flow report is required, the test should be performed by the local water purveyor or a company approved by the water purveyor. The report shall provide the water pressures measured and provide the available GPM at 20 PSI residual pressure. Existing reports may be used if not dated more than 3 years ago or as approved by the code official.

**Additional Comments:**

**Item 3- Will be field addressed.**

**Item 16- Will need a fire flow report of nearest fire hydrant.**

**Item 17- Need water line sizes and hydrant locations.**

**- Fire Hydrant spacing no further than 300 feet.**

**- Brand AVK or Mueller Chrome Yellow.**

**- Fire line supporting hydrants shall be looped.**

**Fire department access roads shall be installed prior to vertical construction.**

**Buildings F, G, I and J shall be sprinkled or fire areas shall be less than 12,000 sq. ft.**

**East wall of building D/E will require a 1 hour fire wall per City of Bixby ordinance 9-7-2. Fire Grading**

**All Gates Shall meet IFC 2009 Chapter 5 and Appendix D.**

**PUD 60 "Brisbane Office Park" is approved by this office with above conditions being met.**

Review Date: 8-25-2014  
Review Date: \_\_\_\_\_  
Review Date: \_\_\_\_\_

Approved or Disapproved  
Approved or Disapproved  
Approved or Disapproved

FD Reviewer: \_\_\_\_\_  
FD Reviewer: \_\_\_\_\_  
FD Reviewer: \_\_\_\_\_

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# City of Bixby Site Plan Application

Applicant: MATT MEANS STOREMLSA.COM  
Address: 10865 S. 94TH E. PLACE TULSA, OK 74133  
Telephone: \_\_\_\_\_ Cell Phone: 918.381.9655 Email: matte@landmarkresourcesllc.com

Property Owner: PASIMON If different from Applicant, does owner consent? YES  
Property Address: 10422 EAST 111TH STREET SOUTH  
Existing Zoning: \_\_\_\_\_ Existing Use: \_\_\_\_\_ Proposed Use: \_\_\_\_\_ Use Unit #: \_\_\_\_\_  
PUD-60

LEGAL DESCRIPTION (If unplatted, attach a survey with legal description or copy of deed):

Is subject tract located in the 100 year floodplain?  YES  NO

All new structures requiring a Building Permit, other than a small job permit, within Use Units 2, 5, and 8 through 27, inclusive, shall require the submission of a site plan demonstrating compliance with the requirements of the Zoning Code. A site plan shall be submitted with the Building Permit application as follows: Five (5) full-size hard copies, four (4) 11" X 17" hard copies, and one (1) copy in an acceptable electronic file format. Compliance with the approved site plan shall be a condition of Building Permit approval and continued occupancy. The site plan shall specifically include:

- All property lines with dimensions of the parcel or parcels on which the building permit is sought.
- All existing and proposed improvements represented to scale and dimensioned from the lot lines.
- The names and widths of all adjacent street, road, highway, alley, and railroad rights-of-way of record.
- Any roadway paving edges, curb lines, sidewalks, culverts, and/or borrow ditch centerlines, if the same are located within or along the boundary of the subject property.
- Any road, access, drainage, utility, and other such easements, including County Clerk recording references (i.e. Book/Page or Document #) for each.
- Amount of post-construction impervious area in square feet and percentage of lot area, calculated by a surveyor, architect, or engineer.
- The topographical layout of the land at no greater than two (2) foot contours if site elevation changes 10 feet or more, or if necessary for proper site design review in the opinion of City staff.
- Any Special Flood Hazard Areas and Flood zone designations as identified by the adopted, effective Floodplain maps.
- Any significant streams, swales, ditches, or natural drainageways.
- Any existing or proposed ponds or stormwater detention or retention facilities.
- All existing and/or proposed driveways and internal drives, to include labeling the surface material to be used (e.g. concrete or asphalt) for each.
- Dimensions and labels for any existing access limitations and access openings.
- Water wells, septic or other on-site disposal systems, oil or gas wells or underground lines, significant oil or gas extraction appurtenances, and other critical site features.
- Unique identifiers so that the plan may be related to the subject property if ever separated from the file, such as property owner's name, property or building address, and/or legal description.
- Name, address, and contact information of the site plan preparer.
- A unique drawing number or name to distinguish the site plan from any other drawings submitted.

# City of Bixby Site Plan Application

- Seal and signature of the design professional preparing the site plan if/as required.
- Date of the site plan, including any dates of revision.
- North arrow.
- Graphic scale; a numeric scale may also be used if the native paper size is specified on the site plan.
- Location map identifying the site within the land Section, arterial or larger streets within or along the boundaries of the land Section, along with sufficient subdivisions or other land features to allow for the identification of the site within the land Section.
- Other existing and/or proposed critical features not listed above if necessary for proper site design review in the opinion of City staff.
- Representation of critical features within a sufficient area outside the site if necessary for proper site design review in the opinion of City staff.

*All information and items listed below must be completed and submitted prior to application review.*

<b>Included</b>		<b>Submittal Items</b>	<b>Comments</b>
<b>Yes</b>	<b>N/A</b>		
<input checked="" type="checkbox"/>		Site plan showing the information listed above	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A landscape plan representing all existing and/or proposed landscaping.	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A sign plan representing all existing and/or proposed signs.	
<input type="checkbox"/>	<input type="checkbox"/>	Building elevations or building height information.	LETTER
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A screening and fence plan or representation on another drawing of all existing and/or proposed fences, walls, gates, and trash receptacle screening enclosures.	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A lighting plan and lighting information.	

Is the subject property located in a Planned Unit Development (PUD)? YES PUD #: 60

If within a PUD, does the PUD require Planning Commission approval of a site plan? YES

I do hereby certify that the information submitted herein is complete, true and accurate:

Signature:  Date: 8/18/14

**APPLICANT - DO NOT WRITE BELOW THIS LINE**

.....  
 Date Received \_\_\_\_\_ Received By \_\_\_\_\_ Date Approved \_\_\_\_\_  
 Building Permit # \_\_\_\_\_ Case Reference # \_\_\_\_\_

**KEYNOTES** ○ NOTE: NOT ALL KEYNOTES MAY BE USED ON THIS SHEET.

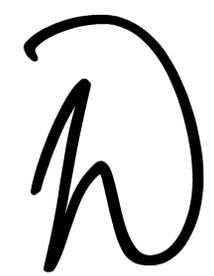
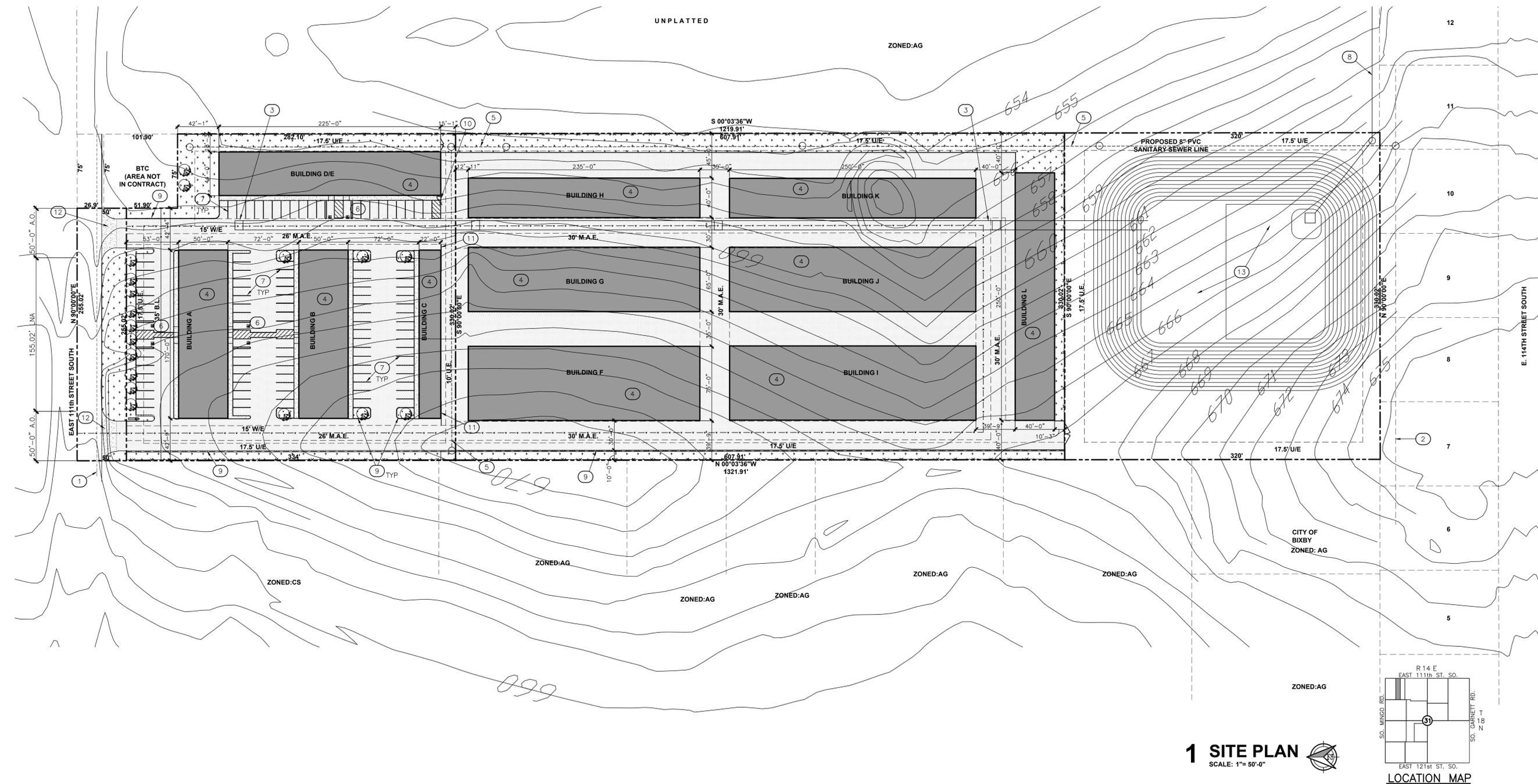
1. EXISTING 12" WATER LINE
2. EXISTING 8" SANITARY SEWER
3. UNDERGROUND STORM DRAIN W/ CATCH BASINS
4. 1-STORY METAL BUILDING STRUCTURE
5. 8" SANITARY SEWER
6. ACCESSIBLE PARKING STALL
7. 4" WIDE PARKING STRIPING, PAINTED WHITE
8. UNDERGROUND STORM DRAIN
9. CONCRETE CURB
10. PEDESTRIAN ACCESS GATE
11. SLIDING ACCESS GATE
12. CONCRETE DRIVE APRON
13. DETENTION AREA

**LEGEND**  
SITE PLAN

-  LANDSCAPED AREA
-  CONCRETE PAVING
-  ASPHALTIC CONCRETE PAVING
-  NEW METAL BUILDING

**PARKING TABULATIONS**

PARKING LOT 1	
TOTAL PARKING SPACES	109
ACCESSIBLE SPACES REQUIRED	5
REGULAR ACCESSIBLE SPACES PROVIDED	5
VAN ACCESSIBLE SPACES PROVIDED	1
STANDARD SPACES PROVIDED	103



**wdesign**  
ARCHITECTURE & INTERIORS  
1513 E. 15th Street, Suite A  
Tulsa, OK 74120  
Office: 918.794.6616  
Fax: 918.794.6602  
www.wdesignsite.com

SEAL:

WELDON BOWMAN, AIA  
OK LICENSE NO. 6042  
CA# 02461 EXPIRES 06/30/2015

PROJECT:  
**BRISBANE  
OFFICE PARK**

PROJECT #  
**14098**

BIXBY, OK  
**74008**

CONSULTANT:

REVISIONS:

ISSUE DATE:  
**8.18.2014**

SHEET NAME:  
**ARCHITECTURAL  
SITE PLAN**

SHEET #:

**AS100**

DRAWN BY: AHC

W:\design\new\W Design\Projects\14098-AS100-AS100.dwg, 8/18/2014 4:18:54 PM, rjgpr.mcd

# LEGEND

TURF / GRASS (AREA TO BE IRRIGATED) .....	
PROPERTY LINE / R.O.W.....	
ASPHALTIC CONCRETE (IMPERVIOUS MATERIAL).....	
CONCRETE (IMPERVIOUS MATERIAL).....	

# PLANTING NOTES

- LANDSCAPE PLANS ARE FOR PLANT MATERIAL AND IRRIGATION ONLY.
- FORTY-EIGHT HOURS PRIOR TO EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE TELEVISION COMPANIES, UTILITIES, OR ENTITIES. REVIEW WITH OWNER, SITE ELECTRICAL, SITE GRADING AND DRAINAGE, SITE IRRIGATION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITY LOCATIONS AND RECORD SETS OF SAME IN POSSESSION OF OWNER. MARK ALL SUCH UTILITIES ON SITE PRIOR TO COMMENCING. COORDINATE WITH OWNER BEFORE AND DURING CONSTRUCTION. REPAIR DAMAGE TO ANY SYSTEM AT NO COST TO OWNER.
- UTILITIES SHOWN FOR INFORMATION PURPOSES ONLY. LANDSCAPE AND IRRIGATION CONTRACTOR SHALL MOVE PLANTS AND IRRIGATION AS MAY BE NECESSARY TO AVOID CONFLICT WITH UTILITIES.
- ALL DEMOLITION FOR EXISTING BLDGS, UTILITIES, FENCE, PAVEMENT, TREES, ETC. SHALL BE PERFORMED BY GENERAL CONTRACTOR PRIOR TO LANDSCAPE OR IRRIGATION INSTALLATION.
- PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIERS AND BARRICADES AS OUTLINED IN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ALL LANDSCAPED AREAS SHALL BE IRRIGATED BY AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
- ALL PLANT MATERIAL SHALL BE HEALTHY AND DISEASE FREE AT THE TIME OF PLANTING.
- THE CONTRACTOR SHALL LAY OUT ON THE GROUND THE LOCATIONS FOR THE PLANTS AND OUTLINES OF AREAS TO BE PLANTED. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE ENGINEER BEFORE EXCAVATION BEGINS. THE ENGINEER MAY ADJUST THE LOCATION OF ANY SPECIFIED PLANT MATERIALS PRIOR TO PLANTING.
- REMOVE ALL WEEDS AND GRASSES FROM PLANTING BEDS. IF BERMUDA IS PRESENT, IT SHALL BE ERADICATED BY APPROVED MEANS.
- ALL TRAFFIC ISLANDS TO BE OVER-EXCAVATED THREE FEET BELOW BASE OF CURB AND BACKFILLED WITH TOPSOIL. ISLANDS WILL BE CROWNED A MINIMUM OF ONE FOOT ABOVE TOP OF CURB.
- FINISHED GRADES FOR SHRUB AND GROUND COVER AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENT AND CURBS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN A MINIMUM OF 2% UNLESS OTHERWISE NOTED AND REVIEWED WITH THE ENGINEER FOR FINAL APPROVAL.
- WITHIN APPROVED BED AREAS, PREPARE SOIL BY ROTO-TILING TWO INCHES (2") OF COMPOST "BACK TO NATURE" SOIL CONDITIONER) OVER THE ENTIRE BED AREA TO A DEPTH OF SIX INCHES (6").
- LANDSCAPE CONTRACTOR SHALL ADJUST TREE LOCATIONS IN THE FIELD TO INSURE THAT THE TREE TRUNK IS A MINIMUM OF 10' FEET FROM ANY UTILITY.
- ON ALL TREES THE TOP SIX INCHES (6") OF BACK FILL SHALL CONSIST OF A 1:1 MIXTURE OF COMPOST TO SOIL.
- AROUND ALL TREES FORM A CIRCULAR RING FREE OF VEGETATION. CIRCLE SHALL BE TRUE IN FORM AND CENTERED ON THE TREE.
- ALL TREES SHALL BE STAKED WITH TWO (2) BLACK METAL SPLIT TEE FENCE POST AND TIED WITH WIRE THROUGH THE HOSE.
- ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND ARE NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS, OR TREE PITS TO BE TOPSOILED 6" DEEP AND SHALL BE SODDED.
- FOR OTHER PLANTING REQUIREMENTS, SEE DETAILS.
- CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR THE PROPER PLANTING OF ALL TREES, SHRUBS, GROUNDCOVERS, AND GRASS.
- QUANTITIES ON PLANT MATERIALS LIST ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLANTING PLANS AND COVERAGE OF ALL AREAS DELINEATED. WHEN DISCREPANCIES OCCUR BETWEEN PLANT LIST AND PLANTING PLANS, THE PLANS ARE TO SUPERSEDE THE PLANT LIST IN ALL CASES.
- NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL BY THE ENGINEER.
- DEVIATIONS FROM THESE PLANS SHALL BE NOTED ON THE RECORD DRAWING BY THE CONTRACTOR AND ONLY WITH THE APPROVAL OF THE ENGINEER.
- NO PROPOSED TREE LOCATION IS CLOSER THAN 5' FROM ANY UNDERGROUND UTILITY, NOR IS ANY TREE CLOSER THAN 10' FROM ANY OVERHEAD UTILITY LINE.

# LANDSCAPE ORDINANCE SUMMARY

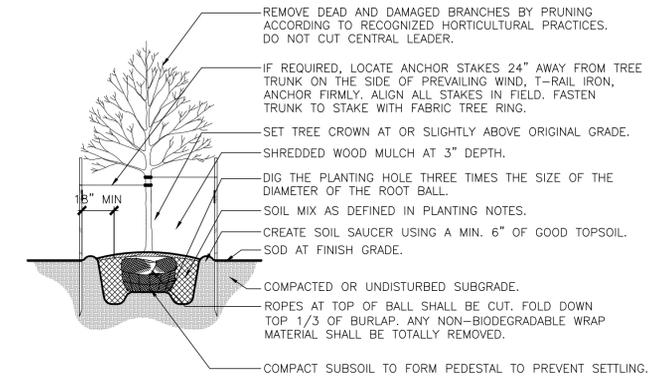
STREET YARD REQUIREMENT (LOT 5 BLOCK 1)	
FRONTAGE STREET	EAST 111 <sup>th</sup> ST. SOUTH
STREET YARD AREA	4,000
LANDSCAPE AREA REQUIRED	NO LESS THAN 15%
LANDSCAPE AREA PROVIDED	6,106 ft <sup>2</sup> or 40%
NUMBER OF TREES REQUIRED (1 PER 1000 SQ. FT)	1
NUMBER OF TREES PRESERVED	0
NUMBER OF TREES PROPOSED	18

# IMPERVIOUS CALCULATIONS

TOTAL AREA	428,638 ft <sup>2</sup>
EXISTING IMPERVIOUS AREA	N/A
PROPOSED IMPERVIOUS AREA	141,172 ft <sup>2</sup> or 33%
TOTAL IMPERVIOUS INCREASE	141,172 ft <sup>2</sup>

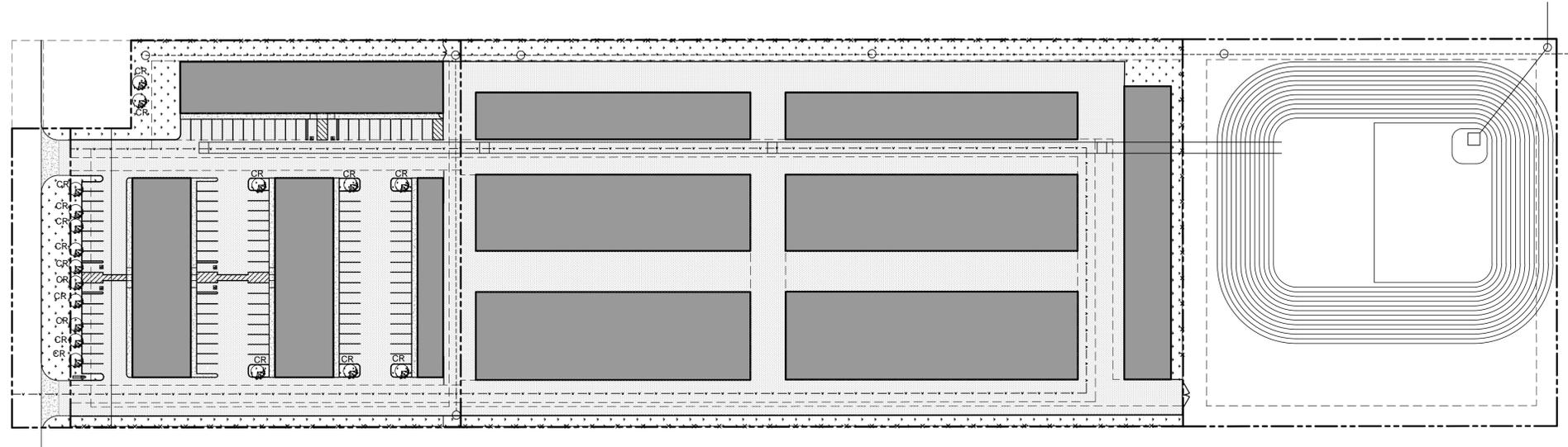
# LANDSCAPE MATERIAL LIST

Key	Qty	Material Name	
CR	18	CERCIS RENIFORMIS - OKLAHOMA REDBUD	6' (H) - 1" (CAL)
BW	TBD	BOXWOODS	TBD
CM	TBD	DWARF CREPE MYRTLES	TBD
SP	TBD	SPIREA	TBD



# 2 TREE PLANTING DETAIL

SCALE: NONE



# 1 LANDSCAPE PLAN

SCALE: 1"= 60'-0"



EXISTING UNDERGROUND LINES HAVE BEEN SHOWN TO THE EXTENT KNOWN AND PLANS HAVE BEEN SENT TO THE AFFECTED UTILITY OWNERS FOR VERIFICATION OF EXISTING LINES. BEFORE YOU DIG, CONTACT OKIE: 1-800-522-6543.

A T & T COMPANY  
 CDX COMMUNICATIONS  
 OKLAHOMA NATURAL GAS COMPANY  
 SOUTHWESTERN BELL TELEPHONE COMPANY  
 AMERICAN ELECTRIC POWER (AEP)



**wdesign**  
 ARCHITECTURE & INTERIORS  
 1513 E. 15th Street, Suite A  
 Tulsa, OK 74120  
 Office: 918.794.6616  
 Fax: 918.794.6602  
 www.wdesignsite.com

SEAL:

WELDON BOWMAN, AIA  
 OK LICENSE NO. 6042  
 CA# 02461 EXPIRES 06/30/2015

PROJECT:

**BRISBANE  
 OFFICE PARK**

**PROJECT #  
 14098**

**BIXBY, OK  
 74008**

CONSULTANT:

REVISIONS:

ISSUE DATE:

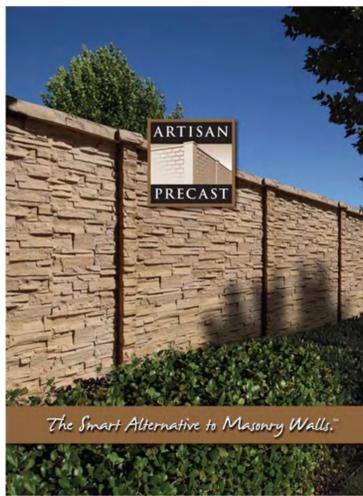
8.18.2014

SHEET NAME:  
**LANDSCAPE  
 PLAN**

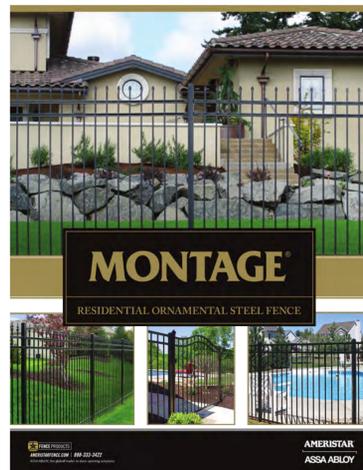
SHEET #:

**AS101**

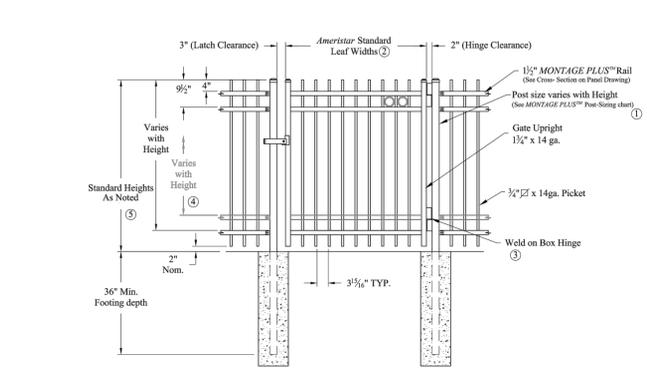
DRAWN BY: AHC



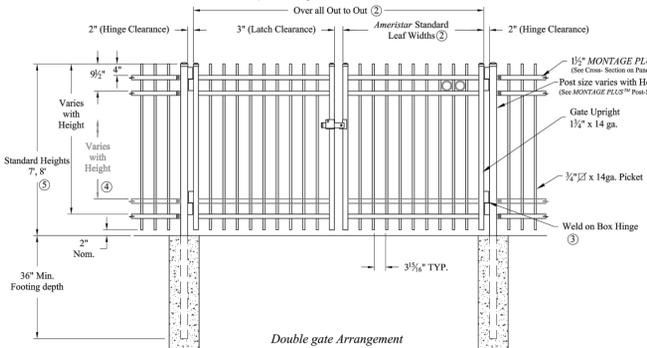
GRAPHIC - MASONRY FENCE



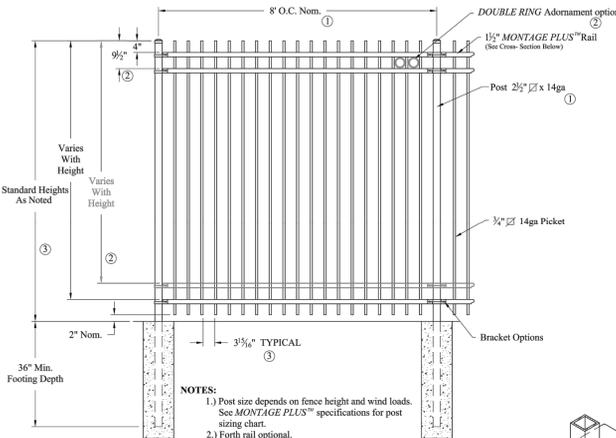
GRAPHIC - IRON FENCE



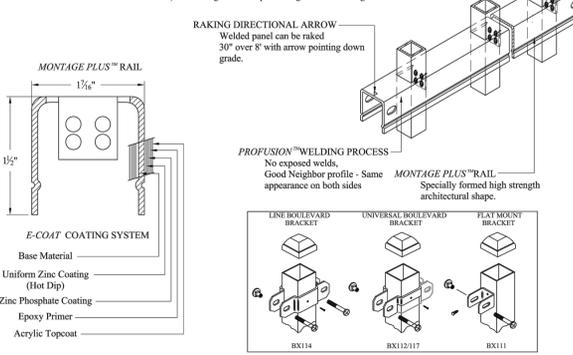
**Single gate Arrangement**  
 NOTES:  
 1.) Post size depends on fence height, weight and wind loads. See MONTAGE PLUS™ post sizing chart.  
 2.) See Ameristar gate table for standard out to outs. Custom gate openings available for special out to out/leaf widths.  
 3.) Additional styles of gate hardware are available on request. This could change the Latch & Hinge Clearance.  
 4.) Forth rail optional.



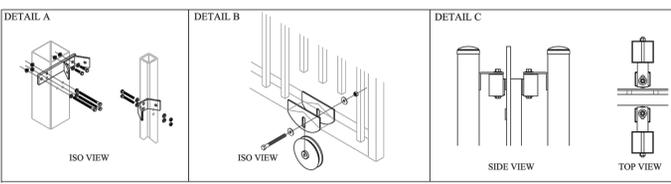
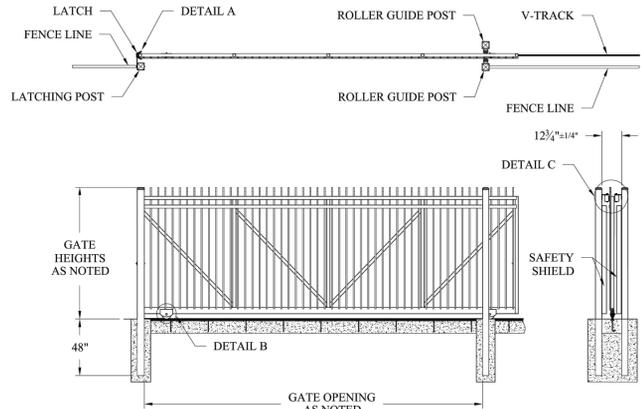
4 PEDESTRIAN/UTILITY GATE DETAIL  
 SCALE: NONE



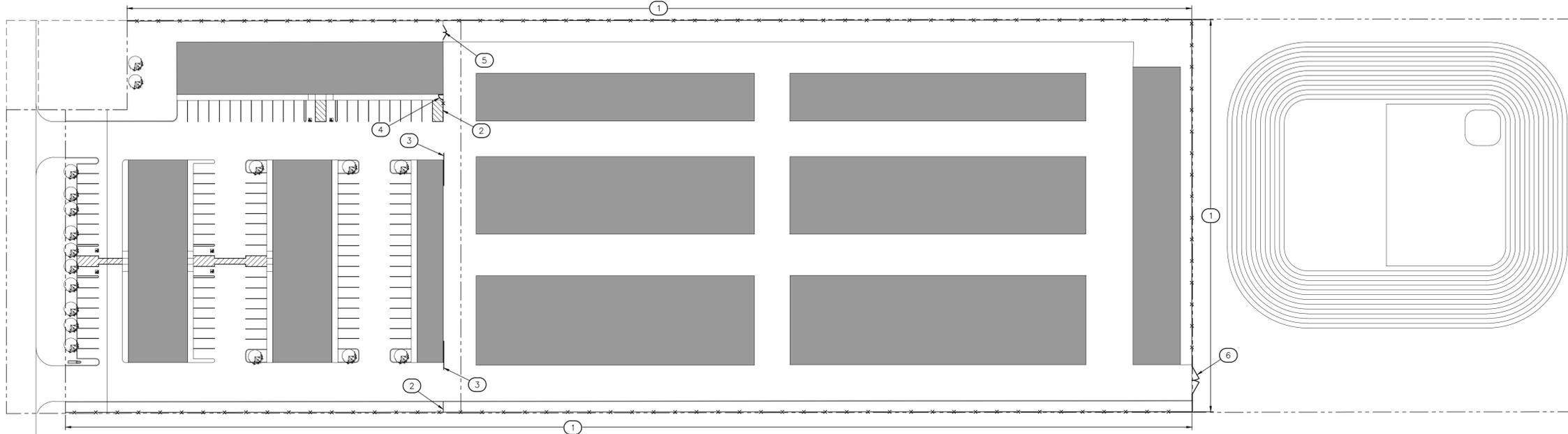
**FENCE DETAIL**  
 NOTES:  
 1.) Post size depends on fence height and wind loads. See MONTAGE PLUS™ specifications for post sizing chart.  
 2.) Forth rail optional.  
 3.) 7' - 8' Heights will require a 14ga Picket and 14ga Post



3 FENCE DETAIL  
 SCALE: NONE

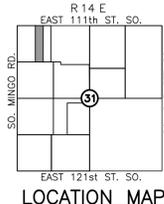


2 HORIZONTAL GATE DETAIL  
 SCALE: NONE



**KEYNOTES**  
 SCREENING SITE PLAN  
 NOTE: NOT ALL KEYNOTES MAY BE USED ON THIS SHEET.  
 1. 8' H 'BRICKORETE' MASONRY FENCE, RE: AS103  
 2. 8' H ORNAMENTAL IRON PICKET FENCE, RE: 3/AS102  
 3. 26'x8' H HORIZONTAL ROLLING GATE, RE: 2/AS102  
 4. 4'x8' H ORNAMENTAL IRON PEDESTRIAN GATE, RE: 4/AS102  
 5. 12'x7' H DOUBLE UTILITY GATE, RE: 4/AS102  
 6. 24'x8' H DOUBLE UTILITY GATE, RE: 4/AS102

1 SCREENING SITE PLAN  
 SCALE: 1" = 50'-0"



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SEAL:

WELDON BOWMAN, AIA  
 OK LICENSE NO. 6042  
 CA# 02461 EXPIRES 06/30/2015

PROJECT:  
**BRISBANE OFFICE PARK**

PROJECT #  
**14098**

BIXBY, OK  
**74008**

CONSULTANT:

REVISIONS:

ISSUE DATE:

8.18.2014

SHEET NAME:  
**SCREENING SITE PLAN**

SHEET #:

**AS102**

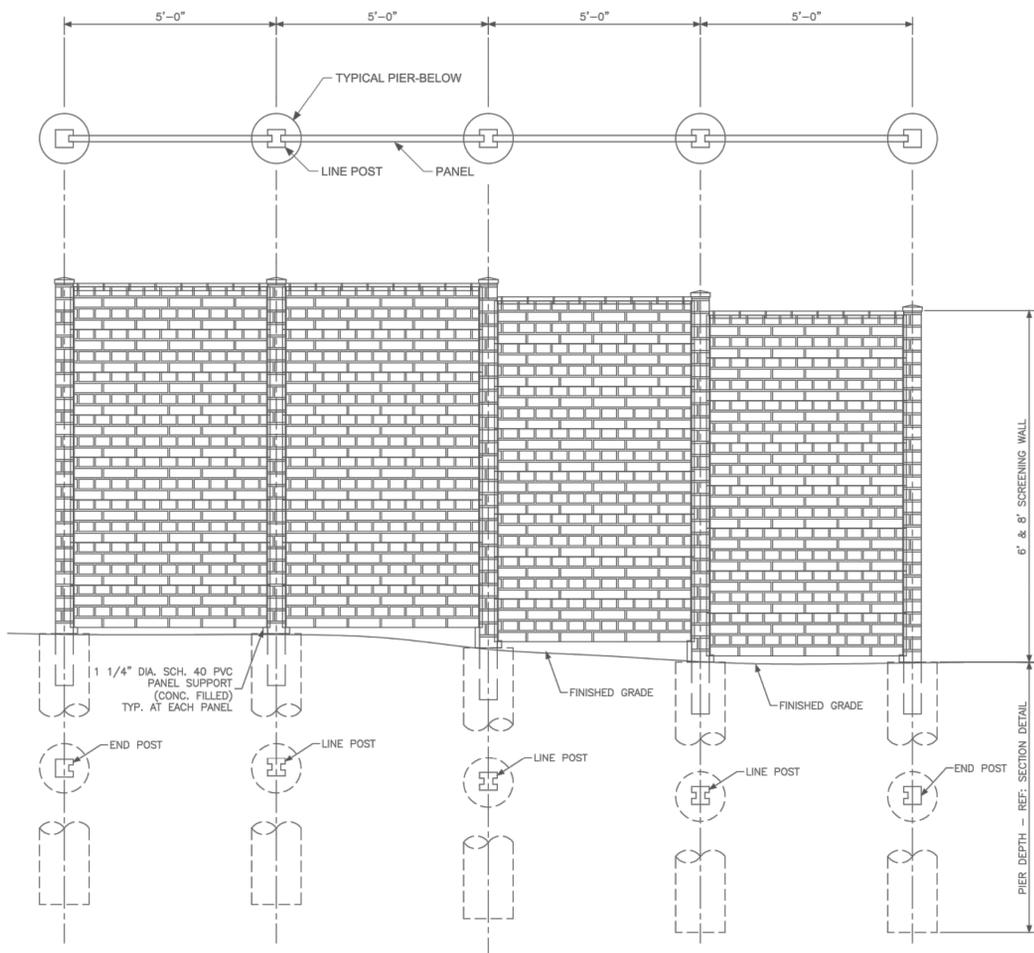
DRAWN BY: AHC



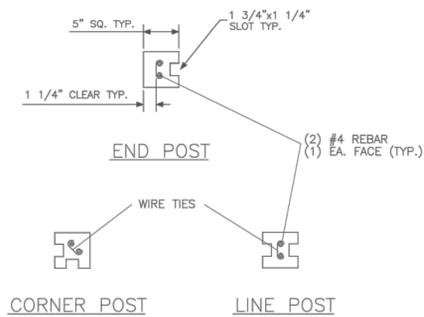
EXISTING UNDERGROUND LINES HAVE BEEN SHOWN TO THE EXTENT KNOWN AND PLANS HAVE BEEN SENT TO THE AFFECTED UTILITY OWNERS FOR VERIFICATION OF EXISTING LINES. BEFORE YOU DIG, CONTACT OKIE: 1-800-522-6543.

A T & T COMPANY  
 CDX COMMUNICATIONS  
 OKLAHOMA NATURAL GAS COMPANY  
 SOUTHWESTERN BELL TELEPHONE COMPANY  
 AMERICAN ELECTRIC POWER (APS)

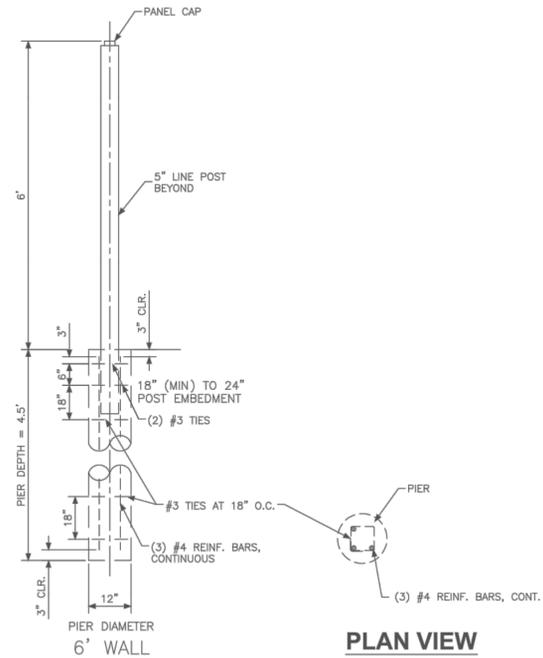




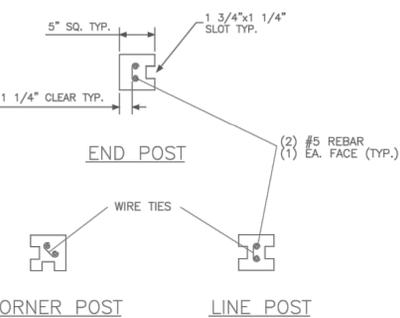
**ELEVATION - 6' & 8' SCREENING WALL AND PIERS**



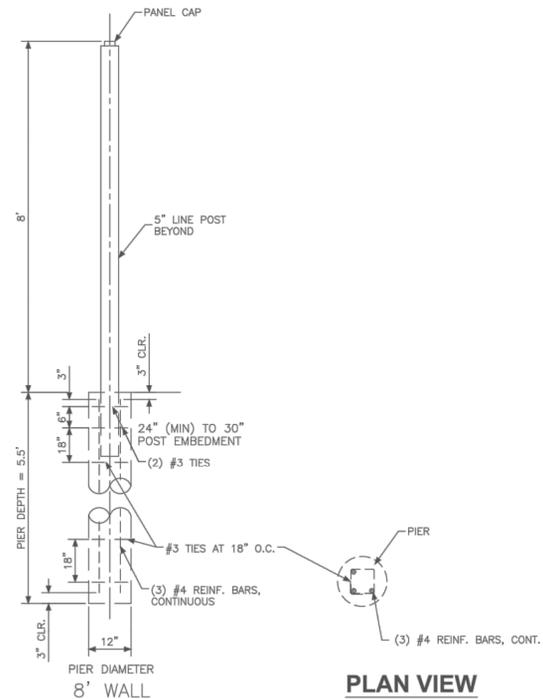
**SECTION - 6' SCREENING WALL POST**



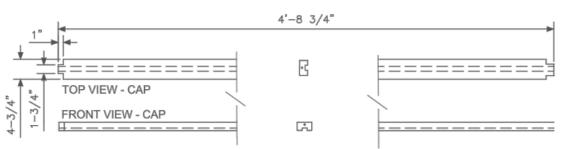
**SECTION - 6' SCREENING WALL AND PIER**



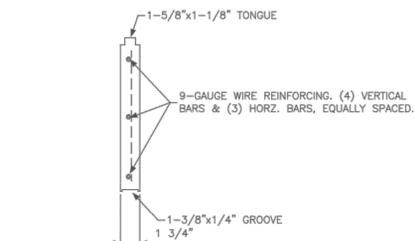
**SECTION - 8' SCREENING WALL POST**



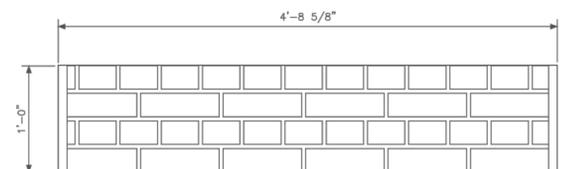
**SECTION - 8' SCREENING WALL AND PIER**



**WALL PANEL CAP - PLAN VIEW & ELEVATION**

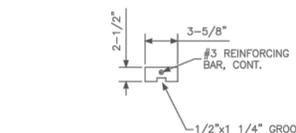


**WALL PANEL - SECTION**



**DETAILS - BRICKCRETE WALL PANEL & CAP**

\*\*\* NOTE BRICKCRETE STYLE PATTERN NOT EXACT \*\*\*



**WALL PANEL CAP - SECTION**

**Specifications and Notes**

**General:**

- This project has been designed in accordance with the International Building Code, 2010 Edition.
- Applied loads:
  - Wind Velocity (V) = 90 mph
  - Exposure: C
  - Importance Factor (I) = 1.0
  - Velocity Pressure Exposure Coefficient (Kz) = 0.85
  - Wind Directionality Factor (Kd) = 0.85
  - Topographic Factor (Kzt) = 1.0
  - Wind Pressure  $P = 0.00256(Kz)(Kzt)(Kd)(V^2)(I)$   
 $P = 0.00256(0.85)(1.0)(0.85)(90)^2(1.0)$   
 $P = 15.0$  psf
  - Working Design Stress: 33% Increase (1.33)
  - Seismic Design: Site Class D

3. Screening wall is to be constructed entirely on the project property.

**Color:**

- Post, Panels and Panel caps shall be integrally colored.
- Color shall be brown as approved by the on-site owner.

**Concrete**

- Concrete Materials:
  - Concrete shall be normal weight concrete having sand and gravel or crushed stone aggregate. Mixed with ASTM-C150, type I or III portland cement to meet the minimum compressive strength as follows:
- panels & post: 5000 psi @ 28 days
- footings & piers: 3000 psi @ 28 days
- sidewalk & non-structural: 3000 psi @ 28 days
- Water used for concrete shall be clean water and free from injurious amounts of oils, acids, alkalis, organic or other deleterious substances.
- All concrete permanently exposed to the weather shall contain an air-entraining admixture resulting in 3 to 6 percent entrained air or recommended by the manufacturer.

**Concrete workmanship:**

- Fresh poured concrete shall be tamped in to place using steel rammer, slicing tools, or mechanical vibrator, until concrete is thoroughly compact and without void.
- Excavation for footing shall be on undisturbed soil or to the depth noted on the drawings. Leave the bottom bearing surface clean and smooth. If footing excavations are made deeper than intended, only concrete shall be used for fill. Remove all loose material from excavations prior to concrete pour.

**Reinforcements:**

- Reinforcing material:
  - Deformed type bars shall conform to ASTM-A 615, Grade 60 placed as shown on the drawings.
  - Steel reinforcing wire shall meet U.S. Steel Wire gauge, ASTM-A 82. fy = 70,000 psi min galvanized.
  - All ties and stirrups shall conform to the requirements of ASTM-A 615, grade 40.
  - All wire mesh shall be 9 gauge galvanized having 3 horizontal bars and 4 vertical on 16 inch centers.

**Reinforcing workmanship:**

- Reinforcement steel shall be fabricated in accordance with the CRSI Standard Detail. Reinforcing bars shall be cold-bent only. Use of heat to bend reinforcement steel shall be cause for rejection.
- Reinforcement steel bars and wire fabric shall be thoroughly cleaned before placing and again before the concrete is placed. Shall be accurately positioned and secured in place. No brick of porous materials may be used to support the steel off the ground.
- Install all reinforcement with the following clearance between reinforcing steel and face of concrete:
  - Footing, pier or beam bottom (3")
  - Earth-formed pier or beam side (2")
  - Formed footing, pier or beam sides, exposed (1")
  - Precast exposed to weather: panels (3/4"), posts (1-1/4")
- Splices within continuous unscheduled reinforcing steel shall have a minimum lap of 30 bar diameters.

**Soils**

- Footing size is based on the following minimum soil properties:
  - Soil Compaction \*\*\*\*\* 90% std. proctor
  - Bearing Capacity \*\*\*\*\* 1,500 psf
  - Friction Resistance \*\*\*\*\* 260 psf
  - Lateral Bearing \*\*\*\*\* 100 psf/ft of depth

**Fill**

- All design criteria based on construction on natural ground. Screenwall not to be constructed on berms or fill dirt.



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PROJECT:

**BRISBANE  
 OFFICE PARK**

PROJECT #  
**14098**

BIXBY, OK  
**74008**

CONSULTANT:

REVISIONS:

ISSUE DATE:

8.18.2014

SHEET NAME:  
**SCREEN WALL  
 DETAILS**

SHEET #:

**AS103**

DRAWN BY: AHC



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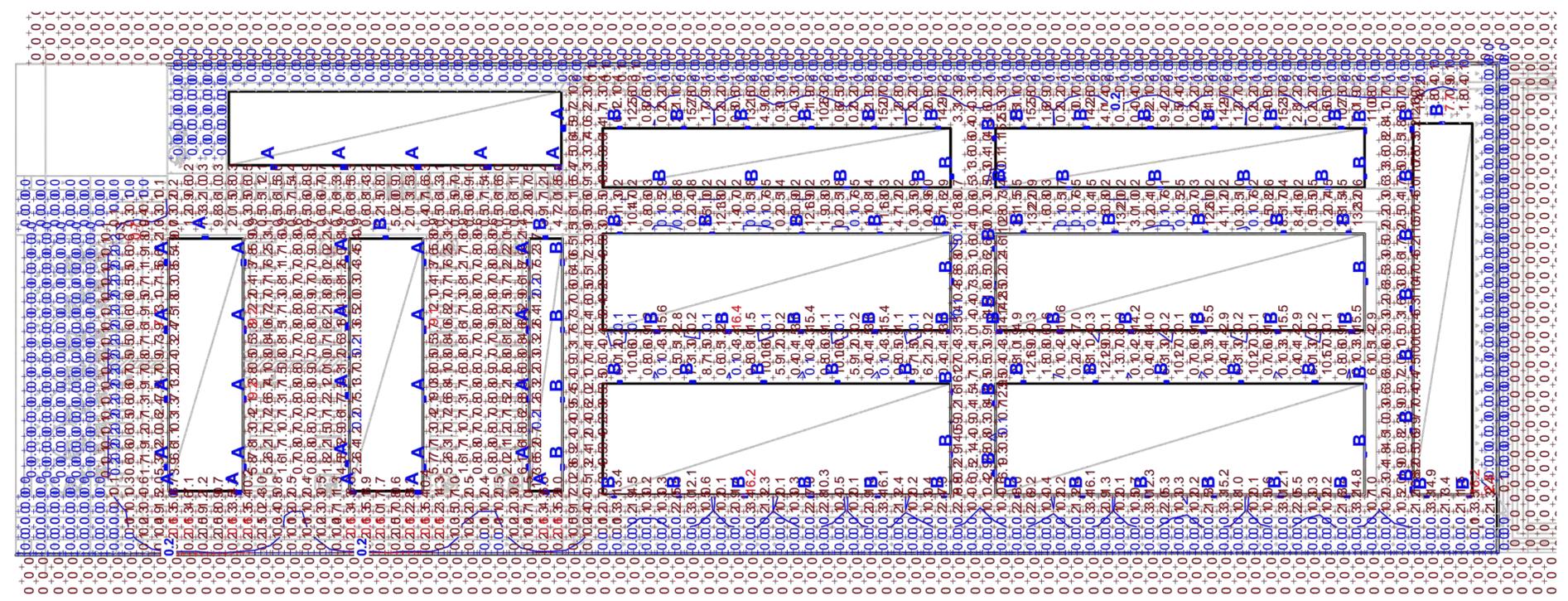
8.18.2014

SHEET NAME:  
**SITE LIGHTING PLAN**

SHEET #:

**AS104**

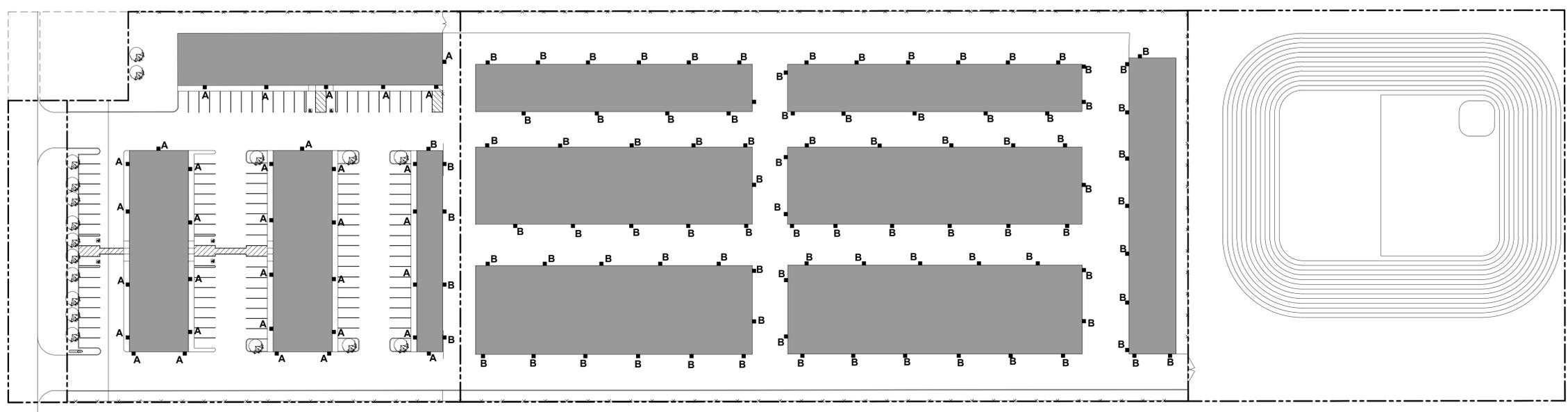
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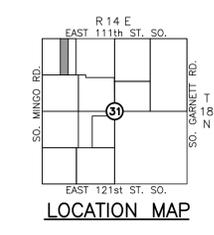
**2 SITE PHOTOMETRIC PLAN**  
 SCALE: NONE

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Beyond West Property Line	+	0.000 fc	0.001 fc	0.000 fc	N/A	N/A
Drive Lanes	+	2.0 fc	16.2 fc	0.0 fc	N/A	N/A
Drive Lanes	+	2.3 fc	16.4 fc	0.1 fc	164.0:1	23.0:1
East Landscape Area	+	0.1 fc	7.7 fc	0.0 fc	N/A	N/A
East of Property Line	+	0 fc	0 fc	0 fc	N/A	N/A
North Landscape Area	+	0.0 fc	0.7 fc	0.0 fc	N/A	N/A
Parking A North	+	1.8 fc	7.7 fc	0.2 fc	38.5:1	9.0:1
Parking A/B	+	2.2 fc	9.2 fc	0.2 fc	46.0:1	11.0:1
Parking B/C	+	2.2 fc	9.1 fc	0.2 fc	45.5:1	11.0:1
South Landscape Area	+	0.0 fc	2.3 fc	0.0 fc	N/A	N/A
South of Property Line	+	0 fc	0 fc	0 fc	N/A	N/A
West Landscape Area	+	0.1 fc	0.6 fc	0.0 fc	N/A	N/A
West Masonry Wall	+	0.1 fc	0.6 fc	0.0 fc	N/A	N/A
West of Property Line	+	0.000 fc	0.000 fc	0.000 fc	N/A	N/A

LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
■	A	32	XTORSA	LUMARK CROSSTOUR MAXX LED 50W - 5000K, FULL CUTOFF		XTOR5A.ies	Absolute	0.91	50.1
■	B	94	XTOR3A	LUMARK CROSSTOUR LED WALL PACK - 30W - 5000K WITH SPECULAR REFLECTOR, CLEAR LENS, AND ALUMINUM HEATSINK		XTOR3A.ies	Absolute	0.91	29.7



**1 SITE LIGHTING PLAN**  
 SCALE: 1"=50'-0"



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CONSULTANT:

REVISIONS:

ISSUE DATE:

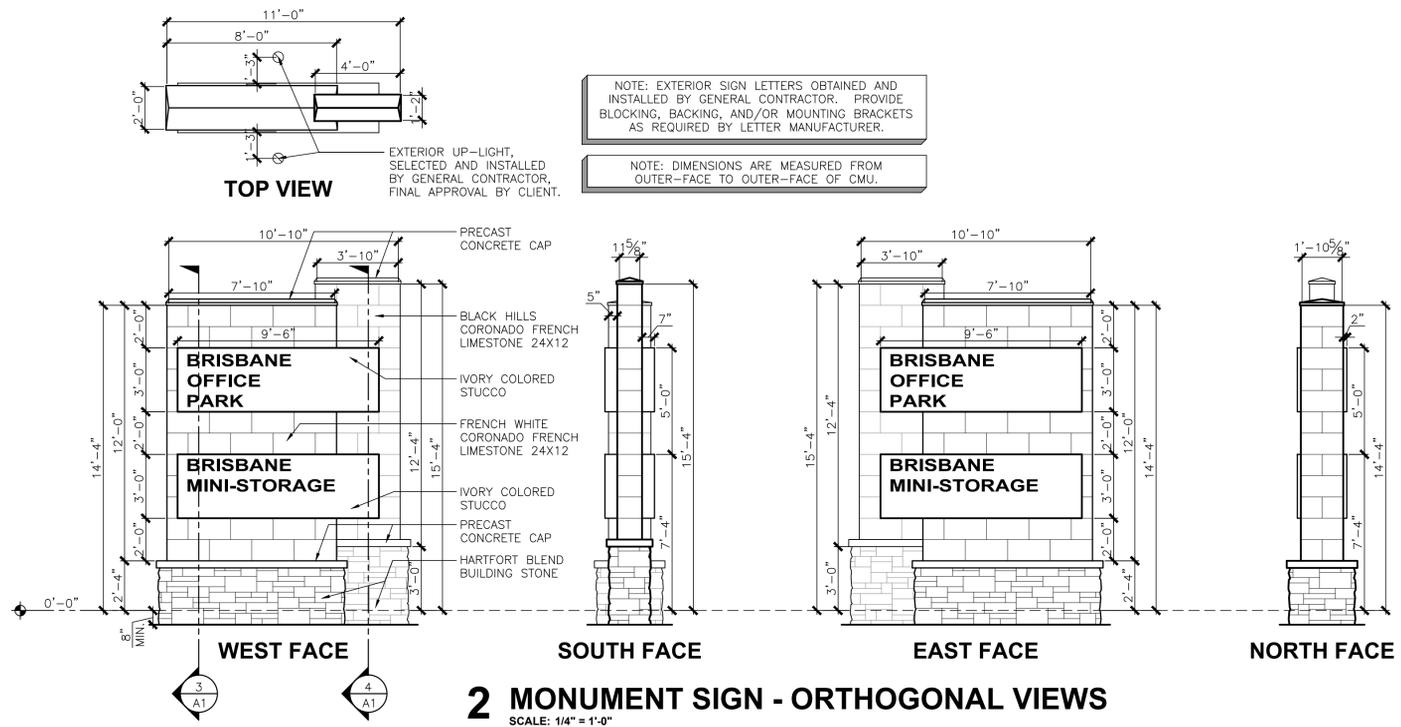
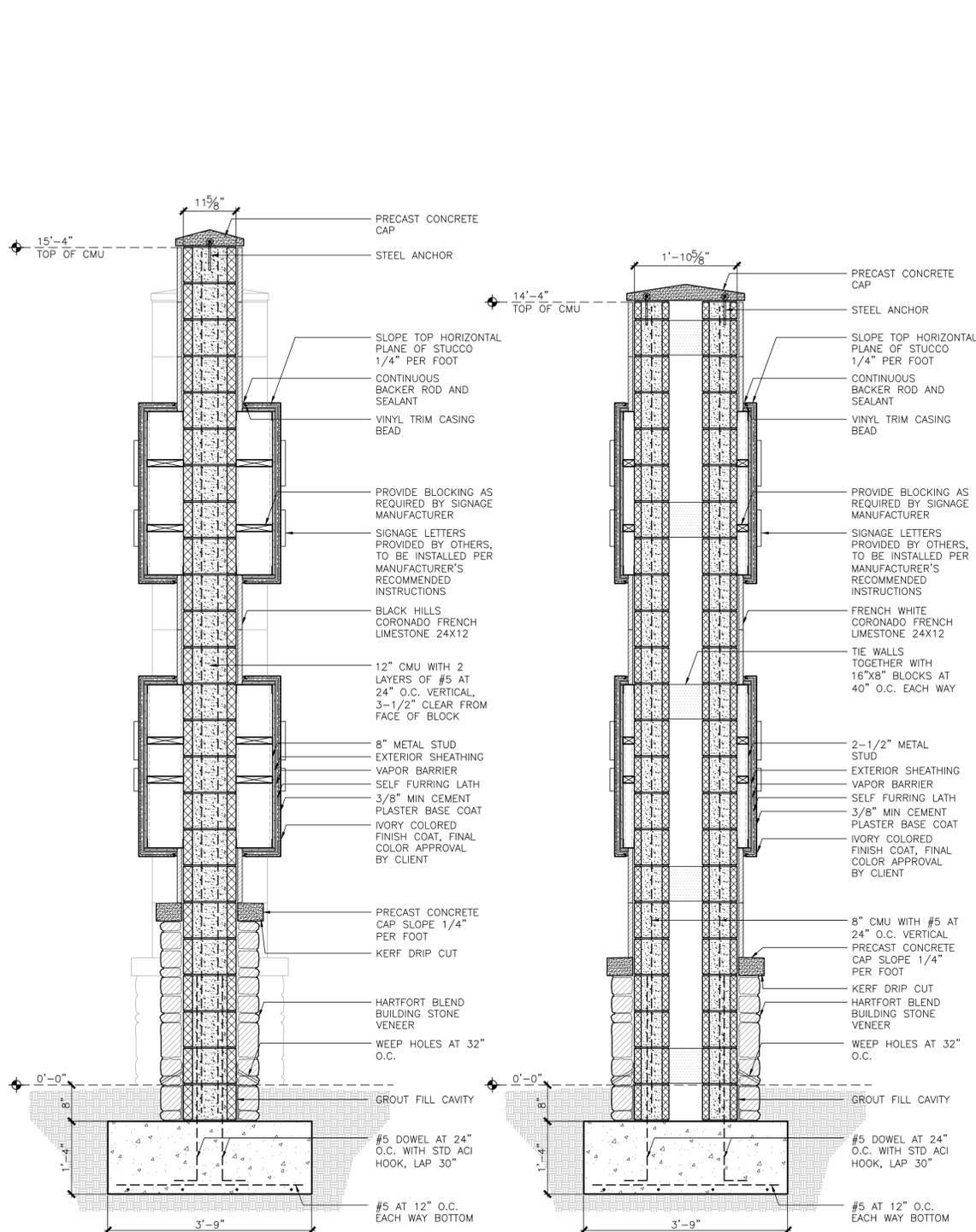
8.18.2014

SHEET NAME:  
**MONUMENT SIGN  
 SITE, PLAN,  
 AND DETAILS**

SHEET #:

**AS105**

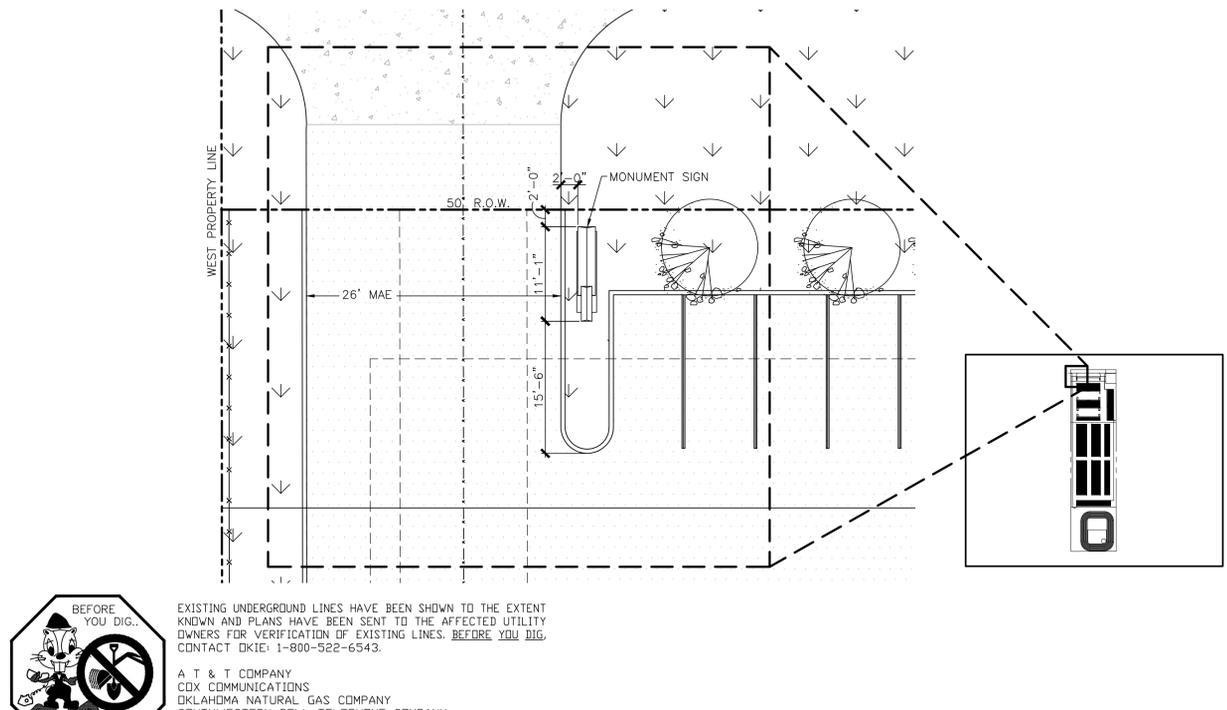
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NOTE: EXTERIOR SIGN LETTERS OBTAINED AND INSTALLED BY GENERAL CONTRACTOR. PROVIDE BLOCKING, BACKING, AND/OR MOUNTING BRACKETS AS REQUIRED BY LETTER MANUFACTURER.

NOTE: DIMENSIONS ARE MEASURED FROM OUTER-FACE TO OUTER-FACE OF CMU.

EXTERIOR UP-LIGHT, SELECTED AND INSTALLED BY GENERAL CONTRACTOR, FINAL APPROVAL BY CLIENT.



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Office: 918.794.6616 Fax: 918.794.6602 Web: [wdesignsite.com](http://wdesignsite.com)

Mr. Enyart,

Per our conversation on August 18<sup>th</sup> in reference to the Brisbane Office Park in PUD #60, we are submitting this statement as confirmation that Building Elevations for the aforementioned will be forthcoming at least one week prior to the Planning Commission meeting scheduled for September 15<sup>th</sup>, 2014. Other documents are being provided as requested.

Sincerely,

Roger McKee  
Project Manager  
W Design, LLC