

**AGENDA  
PLANNING COMMISSION  
116 WEST NEEDLES  
BIXBY, OKLAHOMA  
March 25, 2015                      6:00 PM**

***SPECIAL-CALLED MEETING***

CALL TO ORDER

ROLL CALL

CONSENT AGENDA

- ② 1. Approval of Minutes for the February 17, 2015 Regular Meeting

PUBLIC HEARINGS

- ⑫ 2. **PUD 81 – Chateau Villas PUD – Major Amendment # 1 – Larry Kester of Architects Collective.** Public Hearing, discussion, and consideration of a rezoning request for approval of Major Amendment # 1 to Planned Unit Development (PUD) # 81 for approximately 23 acres in part of the NW/4 NW/4 of Section 01, T17N, R13E with underlying zoning CS Commercial Shopping Center District, RM-3 Residential Multi-Family District, and OL Office Low Intensity District, which amendment proposes to increase the maximum building height, amend the 75% minimum masonry standard, and make certain other amendments.

Property Located: 12303 S. Memorial Dr. and the 8300-block of E. 121<sup>st</sup> St. S.

PLATS

OTHER BUSINESS

OLD BUSINESS

NEW BUSINESS

ADJOURNMENT

Posted By: Enyark  
Date: 03/23/2015  
Time: 4:30 PM

**MINUTES  
PLANNING COMMISSION  
116 WEST NEEDLES  
BIXBY, OKLAHOMA  
February 17, 2015 6:00 PM**

In accordance with the Oklahoma Open Meeting Act, Title 25 O.S. Section 311, the agenda for this meeting was posted on the bulletin board in the lobby of City Hall, 116 W. Needles Ave., Bixby, Oklahoma on the date and time as posted thereon, a copy of which is on file and available for public inspection, which date and time was at least twenty-four (24) hours prior to the meeting, excluding Saturdays and Sundays and holidays legally declared by the State of Oklahoma.

**STAFF PRESENT:**

Erik Enyart, AICP, City Planner  
Patrick Boulden, Esq., City Attorney

**OTHERS ATTENDING:**

See attached Sign-In Sheet

**CALL TO ORDER:**

Chair Thomas Holland called the meeting to order at 6:04 PM.

**ROLL CALL:**

Members Present: Larry Whiteley, Jerod Hicks, and Thomas Holland.  
Members Absent: Steve Sutton and Lance Whisman.

**CONSENT AGENDA:**

1. Approval of Minutes for the January 20, 2015 Regular Meeting

Chair Thomas Holland introduced the Consent Agenda item and asked to entertain a Motion. Larry Whiteley made a MOTION to APPROVE the Minutes of the January 20, 2015 Regular Meeting as presented by Staff. Jerod Hicks SECONDED the Motion. Roll was called:

**ROLL CALL:**

AYE: Holland, Whiteley, and Hicks.  
NAY: None.  
ABSTAIN: None.  
MOTION PASSED: 3:0:0

Chair Thomas Holland declared that the agenda items would be taken out of order and that the two (2) Lot-Split items, which had representatives present, would be considered at this time.

OTHER BUSINESS

6. (Continued from January 20, 2015)

**BL-396 – Rebecca Coffee for Dorothy L. Biggers Living Trust.** Discussion and possible action to approve a Lot-Split for property in the NE/4 of Section 21, T17N, R13E.

Property located: 15400 S. Yale Ave.

Chair Thomas Holland introduced the item and asked Erik Enyart for the Staff Report and recommendation. Mr. Enyart summarized the Staff Report as follows:

**To:** Bixby Planning Commission  
**From:** Erik Enyart, AICP, City Planner  
**Date:** Friday, February 13, 2015  
**RE:** Report and Recommendations for:  
BL-396 – Rebecca Coffee for Dorothy L. Biggers Living Trust

LOCATION: – 15400 S. Yale Ave.  
– Part of the NE/4 of Section 21, T17N, R13E  
LOT SIZE: 139 acres, more or less  
ZONING: AG Agricultural District  
SUPPLEMENTAL ZONING: Corridor Appearance District (partial)  
ZONING:  
EXISTING USE: Agricultural land and a single-family dwelling  
REQUEST: Lot-Split approval  
COMPREHENSIVE PLAN: Corridor + Development Sensitive + Water + Community Trail + Vacant, Agricultural, Rural Residences, and Open Land  
PREVIOUS/RELATED CASES:

BZ-162 – J.C. Biggers – Request for rezoning from AG to CS for the NE/4 NE/4 NE/4 of this section, consisting of the northeast approximately 10 acres of subject property – PC recommended Approval 04/29/1985 and City Council Approved 05/14/1985 (Ord. # 528).

BBOA-597 – Rebecca Coffee for Dorothy L. Biggers Trust – Request for Variance from certain bulk and area requirements in the AG Agricultural District to allow for a Lot-Split for subject property – BOA Conditionally Approved 02/02/2015.

BACKGROUND INFORMATION:

This application was Continued from the January 20, 2015 Planning Commission Regular Meeting to this February 17, 2015 Regular Meeting to allow for the Board of Adjustment’s disposition of BBOA-597 on February 02, 2015. The Board of Adjustment Conditionally Approved the application. See details in the following analysis.

ANALYSIS:

Subject Property Conditions. The subject property consists of the NE/4 of Section 21, T17N, R13E, Less & Except right-of-way and other tracts sold. It contains 139 acres, more or less, and is zoned AG Agricultural District, except for the NE/4 NE/4 NE/4, approximately 10 acres, which is zoned CS Commercial Shopping Center District. It contains a house addressed 15400 S. Yale Ave. It contains branches of an upstream tributary to Posey Creek along its westerly side, and generally slopes downward and drains to the west toward same. It also contains a few farm ponds, an AEP-PSO overhead electric transmission line, fences, and miscellaneous farm and oil extraction structures.

General. The owner is seeking Lot-Split approval to separate approximately 2.88 acres with the existing dwelling addressed 15400 S. Yale Ave. from the balance of the agricultural tract. This proposed 2.88-acre tract with the existing dwelling is intended for sale, which the application states will be used for “AG / residence.” Per the submitted drawing and the legal description provided by the surveyor, the proposed 2.88-acre tract would not meet the 2.2-acre minimum land area requirement of the AG district. The buyer of the smaller tract does not want the zoning changed, such as to a Residential district that would allow for the Lot-Split to be approvable. The Applicant, therefore, applied for a Variance per BBOA-597 to allow for the reduction of the bulk and area standards to allow for this Lot-Split. On February 02, 2015,

the Board of Adjustment Conditionally Approved BBOA-597, subject to the Lot-Split application resulting in not more than two (2) tracts, the smaller of which shall be not less than 2.05 acres upon the findings of the final survey. As of the date of this report, Staff has not yet received the final survey.

Per the submitted drawing and the legal description provided by the surveyor, the proposed 2.88-acre tract would meet the minimum lot area and minimum lot width standards in the AG district. Although the final survey has not been received, it appears, based on aerial and GIS data, that the existing house will meet the AG district's minimum setback requirements from the proposed new lot lines.

The Technical Advisory Committee (TAC) reviewed this Lot-Split on February 04, 2015. The Minutes of the meeting are attached to this report.

Staff Recommendation. Based on the approved Variance, Staff recommends Approval, subject to the receipt of the final survey and subject to the final survey determining that the proposed smaller tract contains no less than the 2.05 acres per the approved for Variance.

Fred Keas respectfully requested that the Planning Commission approve the Lot-Split.

The Planning Commissioners asked Erik Enyart about the Variance. Mr. Enyart stated that most of these types of situations are done by rezoning the smaller tract to a Residential district, which had smaller lot width and other bulk and area requirements, but that in this case, the buyer did not want to have the property rezoned, and so the seller sought a Variance instead.

Chair Thomas Holland asked about the use of the property, and Fred Keas stated that the barn went with the house and that the property was used and had been used for agriculture for 70 years.

The Planning Commissioners asked about the smaller tract not meeting the minimum requirements in the AG district, and Erik Enyart noted that the Board of Adjustment had approved the Variance, and that the north and south boundaries corresponded to the existing white pipe fence that was already in place.

There being no further discussion, Larry Whiteley made a MOTION to APPROVE BL-396. Jerod Hicks SECONDED the Motion. Roll was called:

ROLL CALL:

AYE:	Holland, Whiteley, and Hicks.
NAY:	None.
ABSTAIN:	None.
MOTION PASSED:	3:0:0

7. (Continued from January 20, 2015)

**BL-397 – Michael Ward on behalf of QuikTrip Corporation for T C 94, LP.**

Discussion and possible action to approve a Lot-Split for All of Block 18, *Southern Memorial Acres Extended.*

Property located: 12037 S. Memorial Dr.

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Chair Thomas Holland introduced the item and asked Erik Enyart for the Staff Report and recommendation. Mr. Enyart summarized the Staff Report as follows:

To: Bixby Planning Commission  
From: Erik Enyart, AICP, City Planner  
Date: Thursday, January 15, 2015

**RE:** Report and Recommendations for:  
BL-397 – Michael Ward on behalf of QuikTrip Corporation for T C 94, LP

**LOCATION:** – The 11900 : 12100-block of S. Memorial Dr.  
– Block 18, Southern Memorial Acres Extended, Less & Except right-of-way of record  
– The Town & Country Center shopping center, including the  
– Former May's/Drug Warehouse store site addressed 12037 S. Memorial Dr.

**LOT SIZE:** 7 1/3 acres, more or less

**EXISTING ZONING:** CS Commercial Shopping Center District

**SUPPLEMENTAL ZONING:** Corridor Appearance District

**ZONING:**

**EXISTING USE:** The Town & Country Center shopping center

**REQUEST:** Lot-Split approval

**COMPREHENSIVE PLAN:** Medium Intensity + Commercial Area

**PREVIOUS/RELATED CASES:**

BBOA-11 – Richard Ketchum for Tri-Kay Developers, Inc. – Request for [Variance] from bulk and area standards for subject property (“amended application” received 12/26/1972 deleted the additional request for a Variance from the off street parking requirements). Bulk and area standards requested for Variance appear to have been from Zoning Ordinance Section 6.3A “Waive the 2 acre maximum” lot area standard and Section 6.4 “Change the Floor area ratio from (1 to 4) to (1 to 3 ½)” in the C-1 District – BOA Approved 01/16/1973 “to change the floor area from (1 to 4) to (1 to 3 ½)” per case notes and a draft letter found in the case file (Minutes not found for any BOA meetings in 1973).

AC-02-08-01 – Request for approval of wall signs for “HV&M Factory Direct” for the Applicant’s tenant space at 12003 S. Memorial Dr. on subject property – Architectural Committee Approved 08/27/2002.

AC-02-08-02 – Request for approval of a ground sign for May’s Drug Warehouse for the tenant space at 12037 S. Memorial Dr. on subject property – Architectural Committee Conditionally Approved 08/27/2002.

AC-10-02-05 – AKiN’s Natural Foods – Request for approval of a Detailed Site Plan pursuant to Zoning Code Sections 11-7G-4 and 11-7G-6 for an exterior remodel for a Use Unit 13 grocery store for the tenant space at 12003 S. Memorial Dr. on subject property – Planning Commission Conditionally Approved 02/16/2010.

BSP 2015-02 – QuikTrip No. 0098 – Request for approval of a Site Plan and modifications to certain development standards per Zoning Code Section 11-9-0.F for subject property – City Council Conditionally Approved 02/09/2015.

**BACKGROUND INFORMATION:**

By email on January 05, 2015, the Applicant requested this application be Continued from the January 20, 2015 Planning Commission Regular Meeting to this February 17, 2015 Regular Meeting to allow additional time to resolve site plan matters. The Planning Commission Continued the application as requested. On February 09, 2015, the City Council Conditionally Approved BSP 2015-02, a request for approval of a Site Plan and modifications to certain development standards per Zoning Code Section 11-9-0.F for subject property.

On February 06, 2015, the Applicant provided a revised Lot-Split survey which reduced, by 4’, the north-south lot dimension of the proposed QuikTrip redevelopment tract in order to allow additional separation between the reconstructed Kelly-Moore Paints southern wall and the common property line. This helped resolve a number of technical complications identified during the site plan application review, and perhaps others identified by the Applicant and shopping center owner.

**ANALYSIS:**

Subject Property Conditions. The subject property of approximately 7 1/3 acres, more or less, consists of Block 18, Southern Memorial Acres Extended, Less and Except right-of-way of record. It is developed with the Town & Country Center shopping center and is zoned CS. This approved Site Plan application proposed to allow for the replacement of the southernmost tenant space in the shopping center, the former May’s/Drug Warehouse store site addressed 12037 S. Memorial Dr., with a new Use Unit 14 QuikTrip convenience store / gasoline service station. That tenant space will be removed and the exposed party

wall between it and the Kelly-Moore Paints store to the north will become the new southerly exterior wall for Kelly-Moore Paints and the balance of the multitenant shopping center building.

The subject property is relatively flat and appears to drain to the east, ultimately to an un-named upstream tributary of Fry Creek Ditch # 1.

A part of the easterly side of the subject property is located within the Zone AE 100-year (1% Annual Chance) Regulatory Floodplain. See the Floodplain analysis section of the BSP 2015-02 Site Plan report for details.

The subject property appears to be presently served by the critical utilities (water, sewer, electric, etc.).

General. The Applicant is seeking Lot-Split approval to separate the southerly approximately 2.012 acres (now, approximately 2 acres), containing the southernmost tenant space in the shopping center, the former May's/Drug Warehouse store site addressed 12037 S. Memorial Dr., to allow for its replacement with a new Use Unit 14 QuikTrip convenience store / gasoline service station.

The proposed tract complies with all the bulk and area standards of the CS district. For the new, standalone store building and for the reconstructed southern wall of the Kelly-Moore Paints tenant space, which will have an approximate 4' setback from the proposed common line, the CS district requires no setbacks. The Applicant has informed Staff that they are working with the shopping center owner on private agreements necessary to facilitate the reconstruction of the shopping center's new south wall and other arrangements necessary to allow the shopping center to continue to function upon the separation of the proposed QuikTrip redevelopment tract. All existing and proposed buildings appear to comply with the zoning setback requirements of the CS district upon the approval of this Lot-Split.

The Technical Advisory Committee (TAC) reviewed this Lot-Split on February 04, 2015. The Minutes of the meeting are attached to this report.

Staff Recommendation. Staff recommends Approval.

Erik Enyart explained that the City Council had approved the Site Plan with certain modifications as requested, primarily based on the existing geometries that QuikTrip had to fit their site within. Mr. Enyart noted that QuikTrip needed certain driveway widths throughout their site to allow for fuel trucks and other vehicles to maneuver about the site.

Jerod Hicks asked about the driveways. Erik Enyart stated that the driveways would be moved slightly in one case and widened in all [cases].

Chair Thomas Holland asked about the modification pertaining to the ADA parking. Erik Enyart responded that Bixby had a unique and special design standard for handicapped-accessible parking spaces which was in addition to ADA standards. Mr. Enyart stated that QuikTrip builds their facilities to ADA standards precisely, and so Bixby's unique, extra design standard was not necessary. Mike Ward of QuikTrip stated that QuikTrip had to reduce to a "flat entry" store by 8' due to the site constraints. Mr. Ward confirmed that the parking would comply with ADA requirements.

Chair Thomas Holland asked about the modification pertaining to the additional sign height. Mike Ward stated that QuikTrip had a 10 second rule, requiring that the sign be visible for 10 seconds before the motorist arrives at the driveway entrance. Mr. Ward stated that the shopping center's sign would be blocking the view of the QuikTrip sign. Erik Enyart confirmed with Mr. Ward that visibility was blocked from the perspective of those coming [southbound] down the hill. Mr. Holland stated that the sign at the new facility [at 9111 S.] Mingo Rd. was smaller and would have been more appropriate here. Mr. Ward stated that that location was not on a highway, and that QuikTrip had different sign height requirements on highways.

Erik Enyart stated that he should have been more clear earlier, in that the City Council had already approved the Site Plan with the modifications that were now being discussed.

Chair Thomas Holland inquired further about the sign. Erik Enyart stated that these matters were not in the Staff Report. Mr. Holland stated that he was reading about this in the TAC Minutes included in the agenda packet. Mike Ward stated that the Zoning Code allowed higher signs with additional setback, and "We're 3' so we were really asking for two (2) feet" of height. Mr. Holland indicated that, for the sake of aesthetics, it would be better were it lower. Mr. Enyart stated that this was all "well documented and explained to the [City] Council." Mr. Holland stated that, in this case, he would appeal to *QuikTrip* for a lower sign, since [Memorial Dr.] was not a "normal highway." Mr. Holland added that he was "glad you're here."

Larry Whiteley asked Mike Ward if *QuikTrip* would leave their other store [at 15102 S. Memorial Dr.] open, and Mr. Ward responded, "Yes."

There being no further discussion, Jerod Hicks made a MOTION to APPROVE BL-397. Chair Thomas Holland SECONDED the Motion. Roll was called:

ROLL CALL:

AYE: Holland, Whiteley, and Hicks.  
NAY: None.  
ABSTAIN: None.  
MOTION PASSED: 3:0:0

PUBLIC HEARINGS

2. **Subdivision Regulations Text Amendment.** Public Hearing to receive Public review and comment, and Planning Commission recommendations regarding the adoption of a proposed amendment to the Bixby Subdivision Regulations, pursuant to Oklahoma Statutes Title 11 Section 45-104 et seq., to remove the requirement for application fees to be adopted by Ordinance and allow for adoption by Resolution, and make other related amendments.
3. **Zoning Code Text Amendment.** Public Hearing to receive Public review and comment, and Planning Commission recommendations regarding the adoption of a proposed amendment to the Zoning Code of the City of Bixby, Oklahoma, pursuant to Oklahoma Statutes Title 11 Section 43-101 et seq. and Bixby Zoning Code/City Code Title 11 Section 11-5-3, to remove the requirement for application fees to be adopted by Ordinance and allow for adoption by Resolution, and make other related amendments.

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Chair Thomas Holland introduced the two (2) related items and asked Erik Enyart for the Staff Report and recommendation. Mr. Enyart summarized the Staff Report covering both agenda items as follows:

*To: Bixby Planning Commission*  
*From: Erik Enyart, AICP, City Planner*  
*Date: Tuesday, February 10, 2015*

7

**RE:** Report and Recommendations for:  
Zoning Code Text Amendment – Application Fees Adoption by Resolution  
  
and

Subdivision Regulations Text Amendment – Application Fees Adoption by Resolution

AGENDA ITEM(S):

**Subdivision Regulations Text Amendment.** Public Hearing to receive Public review and comment, and Planning Commission recommendations regarding the adoption of a proposed amendment to the Bixby Subdivision Regulations, pursuant to Oklahoma Statutes Title 11 Section 45-104 et seq., to remove the requirement for application fees to be adopted by Ordinance and allow for adoption by Resolution, and make other related amendments.

**Zoning Code Text Amendment.** Public Hearing to receive Public review and comment, and Planning Commission recommendations regarding the adoption of a proposed amendment to the Zoning Code of the City of Bixby, Oklahoma, pursuant to Oklahoma Statutes Title 11 Section 43-101 et seq. and Bixby Zoning Code/City Code Title 11 Section 11-5-3, to remove the requirement for application fees to be adopted by Ordinance and allow for adoption by Resolution, and make other related amendments.

ANALYSIS:

Bixby's primary fee schedule was adopted by Ordinance # 599 in 1988, and fees adopted thereby have not kept pace with inflation, more modern development review practices, or all planning services presently provided.

City Staff has conducted a fee schedule analysis, including a survey of several Tulsa Metropolitan Area communities to compare their fees to those presently charged by the City of Bixby. Surveyed communities include Broken Arrow, Glenpool, Jenks, Sand Springs, Tulsa, and Tulsa County. Using the policy guidance provided by the City Council, City Staff will propose new fees at the City Council meeting February 23, 2015.

All, or almost all fees charged by the City of Bixby are established by Resolution, not Ordinance. The City of Bixby did a comprehensive fee and preset fine analysis in 2013, and compiled all of the fees into a singular Resolution 2013-09. This Resolution was designed to be a singular resource for all existing fees and fines charged by the City for the conduct of City business. It was also designed to allow for future updates with any new fees or fines established by the City Council.

Since most of the Zoning and development-related fees were adopted by an Ordinance, they cannot be updated by a Resolution, and so an Ordinance must repeal Ordinance # 599 and allow for fees to be established by Resolution.

Additionally, certain provisions of the Zoning Code and Subdivision Regulations specify that fees are to be established by Ordinance. The City Attorney has stated that State Statutes do not require these fees be adopted by Ordinance. The amendments proposed by the attached draft Ordinance would remove the Ordinance adoption requirement of these provisions.

RECOMMENDATION:

Staff recommends Approval of both amendments.

After some discussion, Larry Whiteley made a MOTION to RECOMMEND APPROVAL of the Zoning Code Text Amendment and Subdivision Regulations Text Amendment as recommended by Staff. Jerod Hicks SECONDED the Motion. Roll was called:

ROLL CALL:

AYE: Holland, Whiteley, and Hicks.  
NAY: None.  
ABSTAIN: None.  
MOTION PASSED: 3:0:0

Jerod Hicks expressed favor for updating permit fees as well as Zoning and planning-related fees. Erik Enyart stated that, after this fee schedule update, the City would be proposing certain Building Permit-related fees. Mr. Hicks stated that the City of Muskogee charged \$35.00 per house for a "roof permit," with which they collected a lot of money when there was a recent hailstorm there. Mr. Hicks stated that this would help keep out the "fly-by-night" contractors. Mr. Hicks suggested that roofing contractors should get business licenses or contractors licenses just like electricians and plumbers do. Mr. Enyart clarified with Mr. Hicks that the City did not presently charge for a roofing permit. Mr. Enyart clarified with Mr. Hicks that he was suggesting (1) roofing contractors get licenses, and (2) that the City start charging a Building Permit fee for roofing projects. Mr. Enyart agreed to communicate this suggestion to the Public Works Director, who would be working on these Building Permit-related fees. Mr. Hicks stated that door-to-door contractors should be required to get a license. Mr. Enyart stated that the City had a "peddler's license" for this purpose. Mr. Hicks stated that a license would require they show their identification to the City, which could help prevent crime. Larry Whiteley referenced a recent news report of a contractor entering a woman's home in Moore after the 2013 tornados.

Patrick Boulden in around this time around 6:35 PM.

Erik Enyart reiterated that he would communicate Jerod Hicks' suggestion to the Public Works Director, who would be working on these Building Permit related fees.

#### PLATS

4. **Sketch Plat – Conrad Farms – Crafton Tull & Associates, Inc.** Discussion and consideration of a Sketch Plat for "Conrad Farms" for approximately 82.98 acres in part of the SE/4 of Section 23, T17N, R13E.  
Property Located: North and west of the intersection of 161<sup>st</sup> St. S. and Memorial Dr.

#### OTHER BUSINESS (Resumed)

5. **PUD 85 – Conrad Farms – Minor Amendment # 1.** Discussion and possible action to approve Minor Amendment # 1 to PUD 85 for approximately 136.48 acres in Section 23, T17N, R13E, with underlying zoning RS-3 Residential Single Family District, which amendment proposes to amend specific standards for Collector Street design, and making certain other amendments.  
Property Located: 7400 E. 151<sup>st</sup> St. S.

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Chair Thomas Holland introduced the two (2) related items and asked Erik Enyart for the Staff Report and recommendation.

Erik Enyart stated that the developer had asked that both applications be Tabled "for now." Mr. Enyart recommended that both applications be Tabled with the provision that they may be returned to any Planning Commission agenda within one (1) year, provided the Applicant gives the City at least one (1) month's advance notice of the next agenda placement. Chair Thomas Holland indicated question of the reason for the request for Tabling the applications. Mr. Enyart explained that the developer requested this just after the previous Friday's death in the Conrad family, that the

buyer and seller were in the middle of negotiating sale terms, that the City was insisting on the Collector Street connection to 151<sup>st</sup> St. S., which would likely require a bridge over Bixby Creek, and that he understood that the bridge and Collector Street extension matter was to be included in the negotiation of sale terms.

There being no further discussion, Larry Whiteley made a MOTION to TABLE the PUD 85 Minor Amendment # 1 and Sketch Plat of "Conrad Farms," provided that the Applicant may return the applications to any Planning Commission agenda within one (1) year, provided the Applicant gives the City at least one (1) month's advance notice of the next agenda placement, as recommended by Staff. Jerod Hicks SECONDED the Motion. Roll was called:

ROLL CALL:

AYE: Holland, Whiteley, and Hicks.  
NAY: None.  
ABSTAIN: None.  
MOTION PASSED: 3:0:0

OLD BUSINESS:

Chair Thomas Holland asked if there was any Old Business to consider. Erik Enyart stated that he had none. No action taken.

NEW BUSINESS:

Chair Thomas Holland asked if there was further New Business to consider. Erik Enyart stated that he had none. No action taken.

ADJOURNMENT:

There being no further business, Chair Thomas Holland declared the meeting Adjourned at 6:40 PM.

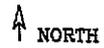
APPROVED BY:

\_\_\_\_\_  
Chair

\_\_\_\_\_  
Date

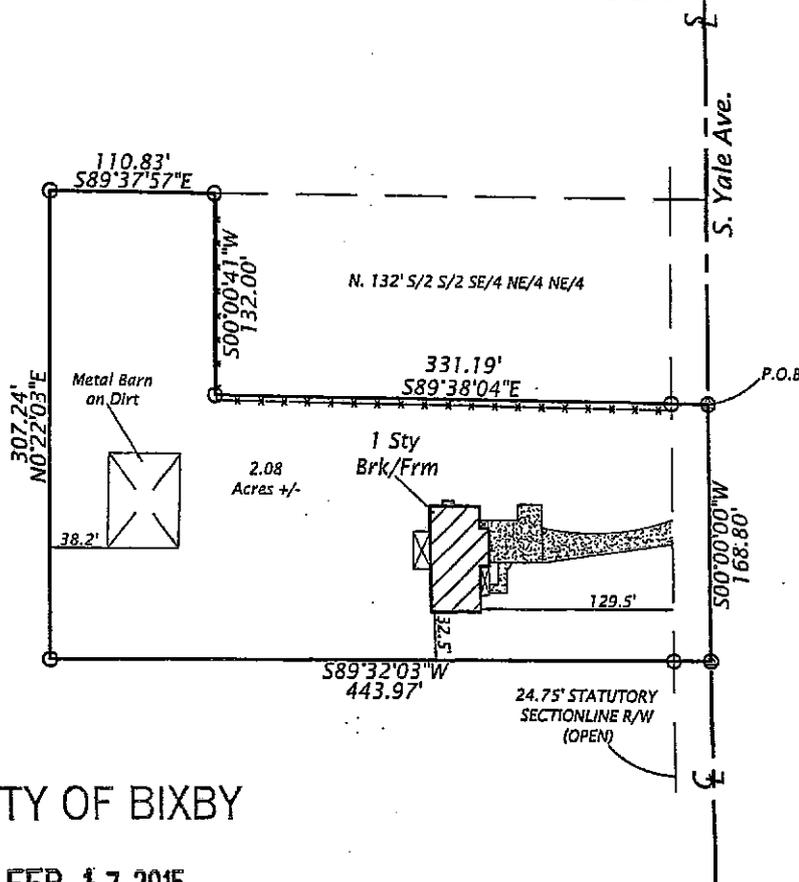
\_\_\_\_\_  
City Planner/Recording Secretary

SCALE: 1"=80'



Legal Description

A tract of land within the Northeast Quarter (NE/4) of Section Twenty-one (21), Township Seventeen North (17N), Range Thirteen East (13E) of the Indian Base and Meridian, Tulsa County, State of Oklahoma, more particularly described by metes and bounds as follows, to wit: BEGINNING at the Southeast corner of the North 132 feet of the East Half of the South Half of the South Half of the Southeast Quarter of the Northeast Quarter of the Northeast Quarter (E/2 S/2 S/2 SE/4 NE/4 NE/4) of said Section 21; thence S 00°00'00" W along the East line thereof a distance of 168.80 feet; thence S 89°32'03" W a distance of 443.97 feet; thence N 0°22'03" E a distance of 307.24 feet to a point on the North line of the South Half of the South Half of the Southeast Quarter of the Northeast Quarter of the Northeast Quarter (S/2 S/2 SE/4 NE/4 NE/4) of said Section 21; thence S 89°37'57" E along said North line thereof a distance of 110.83 feet to the Northwest corner of said North 132 feet; thence S 00°00'41" W along the West line thereof a distance of 132.00 feet to the Southwest corner of said North 132 feet; thence S 89°38'14" E along the South line thereof a distance of 331.19 feet to the POINT OF BEGINNING, containing 2.088 acres of land, more or less.



CITY OF BIXBY

FEB 17 2015

RECEIVED

By Enyart

cf. BL-396  
BBDA-597

THIS PLAT IS MADE FOR AND AT THE REQUEST OF:

Dorothy L. Biggers

THIS PLAT OF SURVEY MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

CERTIFICATE

I K.S. COLLINS, REGISTERED LAND SURVEYOR #1259 IN AND FOR THE STATE OF OKLAHOMA, HEREBY CERTIFY THAT THE ABOVE PLAT AND LEGAL DESCRIPTION REPRESENTS A BOUNDARY SURVEY PERFORMED UNDER MY DIRECT SUPERVISION. THE ABOVE PLAT MAY BE SUBJECT TO EASEMENTS AND/OR RIGHTS OF WAYS OF RECORD. NO RESEARCH OF ABSTRACT OR RECORD OFFICES HAS BEEN CONDUCTED.

LEGEND

- - FD. IRON PIN
- - SET IRON PIN
- ⊙ - SET P.R. NAIL
- LP. - IRON PIN
- X - CHISELED X IN CONC.
- — — - FENCE
- F.M. - FIELD MEASUREMENT

COLLINS LAND SURVEYING, INC.

3340 W. 151st ST. S. - P.O. Box 250  
MUEFER, OK. 74041

OFFICE (918)321-9400 FAX (918)321-9404

CA#2856 EXPIRES: 06/30/2018

BOUNDARY SURVEY

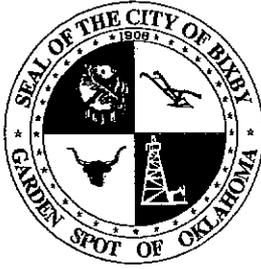
J.O. NO. 14-12-059

DATE: 02/05/2015

K.S. Collins  
K.S. COLLINS  
OKLAHOMA REGISTERED  
LAND SURVEYOR NO. 1259



SEAL



CITY OF BIXBY  
P.O. Box 70  
116 W. Needles Ave.  
Bixby, OK 74008  
(918) 366-4430  
(918) 366-6373 (fax)

## STAFF REPORT

**To:** Bixby Planning Commission  
**From:** Erik Enyart, AICP, City Planner   
**Date:** Tuesday, March 24, 2015  
**RE:** Report and Recommendations for:  
PUD 81 Major Amendment # 1 – “Chateau Villas PUD” – Larry Kester of Architects Collective

**LOCATION:**

16-Acre Tract: 8300-block of E. 121<sup>st</sup> St. S.  
7-Acre Tract: 12303 S. Memorial Dr.

**SIZE:**

23 acres, more or less, in two (2) tracts

**EXISTING ZONING:**

CS Commercial Shopping Center District, RM-3 Residential Multi-Family District, and OL Office Low Intensity District, & PUD 81

**EXISTING USE:**

16-Acre Tract: Vacant  
7-Acre Tract: Single-family house

**SUPPLEMENTAL ZONING:** PUD 81 “Chateau Villas PUD” and Corridor Appearance District (partial)

**REQUEST:**

Approval of Major Amendment # 1 to Planned Unit Development (PUD) # 81 (“Chateau Villas PUD”), with underlying zoning CS Commercial Shopping Center District, RM-3 Residential Multi-Family District, and OL Office Low Intensity District, which amendment proposes to increase the

maximum building height, amend the 75% minimum masonry standard, and make certain other amendments.

SURROUNDING ZONING AND LAND USE:

- North: CS & RM-1/PUD-6, RD, and RS-1; The *Memorial Square* duplex-style condo/apartments and vacant lots, and single-family residential to the northeast, commercial in the *Town and Country Shopping Center* to the northwest, and farther north, duplexes along 119<sup>th</sup> St. S., all in *Southern Memorial Acres Extended*.
- South: CS/PUD 29A, OL/RS-1/PUD 77, RS-1, and RS-2; *The Boardwalk on Memorial* commercial strip shopping center with vacant land behind zoned CS/PUD 29A, vacant land and a single-family dwelling zoned OL/RS-1/PUD 77 planned for a ministorage development, and single-family residential in *Gre-Mac Acres* and *Southern Memorial Acres No. 2* zoned RS-1 and RS-2.
- East: RS-1; Single-family residential in the *Houser Addition* and the Bixby Fire Station #2.
- West: CG, CS, OL, RS-3, & AG; Commercial development in *121st Center*, the *Spartan Self Storage* ministorage business on an unplatted 1-acre tract zoned CS at 12113 S. Memorial Dr., and (west of Memorial Dr.) agricultural land and the *Easton Sod* sales lot zoned RS-3, OL, & CS.

COMPREHENSIVE PLAN:

16-Acre Tract: Low/Medium Intensity + Vacant, Agricultural, Rural Residences, and Open Land

7-Acre Tract: Medium Intensity + Commercial Area

PREVIOUS/RELATED CASES:

BZ-30 – Frank Moskowitz – Request for rezoning from AG to CS for the W/2 of the NW/4 of the NW/4 of this Section 01, T17N, R13E (including 7-acre tract subject property) – PC on 01/27/1975 recommended CS for N. approx. 12.5 acres, OL for the S. approx. 5 acres of the N. approx. 17.5 acres, and AG zoning to remain for the balance of the 20 acres. City Council approved as PC recommended 03/18/1975 (Ord. # 270).

BCPA-3, PUD 68, & BZ-341 – North Bixby Commerce Park – Lou Reynolds for Alvis Houser – Request to amend the Comprehensive Plan to redesignate property (in part) “Medium Intensity,” rezone from AG to CS and OL, and approve PUD 68 for a ministorage, “trade center / office-warehouse,” and retail development on 16-acre tract subject property – PC voted 2 in favor and 3 opposed on a Motion to approve the development on 04/20/2009. On 04/27/2009, on appeal, the City Council reversed the Planning Commission’s action. On 06/08/2009, the City Council denied the ordinance which would have approved the rezoning, PUD, and Comprehensive Plan amendment, on the City Attorney’s advice regarding certain language in the ordinance, and called for the developer to proceed “under existing ordinances.” On 06/22/2009, the City Council Approved, by Ordinance # 2030, all three (3) applications as submitted, and with no Conditions of Approval. The legal descriptions in the ordinance reflected the underlying CS/OL zoning pattern as recommended by Staff, rather than per the “Exhibit 1” to the PUD.

Preliminary Plat of North Bixby Commerce Park (PUD 68) – Request for approval of a Preliminary Plat and certain Modifications/Waivers for a ministorage, “trade center / office-

13

warehouse,” and retail development on 16-acre tract subject property – PC recommended Conditional Approval 03/15/2010 and City Council Conditionally Approved 03/22/2010.

Final Plat of North Bixby Commerce Park (PUD 68) – Request for approval of a Final Plat and certain Modifications/Waivers for a ministorage, “trade center / office-warehouse,” and retail development on 16-acre tract subject property – PC recommended Conditional Approval 05/17/2010 and City Council Conditionally Approved 05/24/2010. City Council approved a revised Final Plat 09/13/2010.

BSP 2010-01 – North Bixby Commerce Park – RK & Associates, PLC / McCool and Associates, P.C. (PUD 68) – Request for approval of a PUD Detailed Site Plan for a ministorage, “trade center / office-warehouse,” and retail development on 16-acre tract subject property – PC Conditionally Approved 07/19/2010.

PUD 81 & BZ-368 – Chateau Villas PUD – AAB Engineering, LLC – Request for rezoning from CS, OL, and AG to CS and RM-3 and to approve PUD 81 for a Use Unit 8 multifamily residential and commercial development for subject property – PC recommended Conditional Approval, with a modified zoning schedule including OL zoning, 11/18/2013 and City Council Conditionally Approved, as modified, the applications 11/25/2013 and Conditionally Approved same by ordinance (Ord. # 2126) 02/24/2014.

BSP 2015-04 – “Chateau Villas” – Larry Kester of Architects Collective (PUD 81) – Request for approval of a PUD Detailed Site Plan for a Use Unit 8 multifamily residential and commercial development for subject property – Pending PC consideration 04/20/2015.

#### RELEVANT AREA CASE HISTORY:

BBOA-11 – Richard Ketchum for Tri-Kay Developers, Inc. – Request for [Variance] from bulk and area standards for the *Town and Country Shopping Center* on All of Block 18, *Southern Memorial Acres Extended* to the northwest of subject property – (“amended application” received 12/26/1972 deleted the additional request for a Variance from the off street parking requirements). Bulk and area standards requested for Variance appear to have been from Zoning Ordinance Section 6.3A “Waive the 2 acre maximum” lot area standard and Section 6.4 “Change the Floor area ratio from (1 to 4) to (1 to 3 ½)” in the C-1 District – BOA Approved 01/16/1973 “to change the floor area from (1 to 4) to (1 to 3 ½)” per case notes and a draft letter found in the case file (Minutes not found for any BOA meetings in 1973).

BBOA-20 – City of Bixby – Request for Special Exception to allow a Use Unit 5 use in an RS-1 district, the original Bixby Fire Station # 2, on Lot 2, Block 4, *Houser Addition* abutting subject property to the east at 8300 E. 121<sup>st</sup> St. S. – BOA Conditionally Approved 06/09/1975.

BZ-54 – [Charles] Roger Knopp – Request for rezoning from AG to OM & CG for a 3.56-acre area to the southwest of subject property at approximately the 12600-block of S. Memorial Dr. – PC Recommended Approval of CG zoning 02/28/1977 and City Council Approved 03/01/1977 (Ord. # 328).

BL-45 – Milton Berry – Request for Lot-Split approval to separate the S. 200’ of the W. 210’ of the N. 825’ of the W/2 of the NW/4 of the NW/4 of this Section 01, T17N, R13E (now the *Spartan Self Storage*) from the balance of the property, which balance was later platted as *121st Center* – both resultant tracts abut subject property to west and north – PC Motion to Approve died for lack of a Second 02/26/1979; City Council Conditional Approval is suggested by case notes. Deeds recorded evidently without approval certificate stamps 05/23/1978, which would have preceded the Lot-Split application.

BZ-135 – Eddie McLearan – Request for rezoning from AG to CS for an approximately 19-acre tract at 12300 S. Memorial Dr. to the west of subject property (now the *Easton Sod* business) – Withdrawn by Applicant 03/21/1983.

BZ-139 – Eddie McLearan – Request for rezoning from AG to RM-2, OL, & CS for an approximately 19-acre tract at 12300 S. Memorial Dr. to the west of subject property (now the *Easton Sod* business) – Planning Commission recommended Modified Approval of RS-3, OL, & CS Zoning on 04/25/1983 and City Council Approved RS-3, OL, & CS Zoning on 05/02/1983 (Ord. # 482).

BZ-140 – Patrick L. Murray – Request for rezoning from RM-1 to CS for approximately 1.6 acres consisting of Lots 7 through 12, inclusive, Block 17, *Southern Memorial Acres Extended* (later replatted as part of *Memorial Square*) across 121<sup>st</sup> St. S. to the north of subject property – PC Recommended Denial 05/31/1983 and City Council Approved 06/13/1983 (Ord. # 486).

B/PUD 6 – “South Memorial Duplexes” – Richard Hall & Associates for George E. Day – Request for PUD approval for a duplex development for approximately 9.4 acres consisting of Lots 7 through 12, inclusive, Block 16, and all of Block 17, *Southern Memorial Acres Extended* (later replatted as *Memorial Square*) across 121<sup>st</sup> St. S. to the north of subject property – PC Recommended Approval 11/28/1983 and City Council Approved 12/05/1983 (Ordinance # 498).

Final Plat of Memorial Square – Request for Final Plat approval for *Memorial Square* for approximately 9.4 acres, a resubdivision of Lots 7 through 12, inclusive, Block 16, and all of Block 17, *Southern Memorial Acres Extended* across 121<sup>st</sup> St. S. to the north of subject property – City Council Approved 02/1984 (per the plat approval certificate) (Plat # 4511 recorded 08/03/1984) (Preliminary Plat and PC approvals not researched).

Final Plat of Memorial Square – Request for Final Plat approval for *Memorial Square* for property across 121<sup>st</sup> St. S. to the north of subject property – City Council Approved 02/1984 (per the plat approval certificate) (Plat # 4511 recorded 08/03/1984) (Preliminary Plat and PC approvals not researched).

BBOA-135 – Alan Hall of A. C. Hall & Associates, Surveying for Milton H. Berry – Request for Special Exception to allow a Use Unit 17 carwash development in the CS district for the S. 200’ of the W. 210’ of the N. 825’ of the W/2 of the NW/4 of the NW/4 of this Section 01, T17N, R13E abutting subject property to the north at 12113 S. Memorial Dr. – BOA Approved 11/13/1984 subject to platting (not developed as a carwash; ultimately developed as the *Spartan Self Storage*).

Preliminary Plat of 121st Center – Request for Preliminary Plat approval for *121st Center* (abutting subject property to west and north) – PC Conditionally Approved 12/28/1987 (Council action not researched).

BBOA-199 – Spradling & Associates for Arkansas Valley Development Corporation – Request for Variance to reduce the minimum lot width/frontage in CS from 150’ to 125’ to permit platting the subject tract as *121st Center* (abutting subject property to west and north) – BOA Approved 01/11/1988.

Final Plat of 121st Center – Request for Final Plat approval for *121st Center* (abutting subject property to west and north) – PC Conditionally Approved 02/29/1988 and City Council Approved 07/11/1988 (per the plat approval certificate) (Plat # 4728 recorded 08/05/1988).

BZ-200 – Charles Roger Knopp – Request for rezoning from AG to CG for an approximately 2.27-acre area to the southwest of subject property in the 12300-block of S.

Memorial Dr. (perhaps then addressed 12340 S. Memorial Dr.) – PC Recommended Approval 07/20/1992 and City Council Approved 07/27/1992 (Ord. # 671).

BBOA-261 – Jack Spradling for Arkansas Valley Development Corporation – Request for Variance for Lot 5, Block 1, *121st Center* (abutting subject property to west and north), to reduce the minimum lot width/frontage in CS from 150' to 0' to permit a Lot-Split creating the E. 215' of the S. 125' of Lot 5, which tract is now the *Atlas General Contractors* office – BOA Conditionally Approved 02/01/1993 (Mutual Access Easement created to give access to 121<sup>st</sup> St. S.).

BBOA-300 – Tom Christopoulos – Request for Variance to the setback; an increase of the allowed maximum density; and a reduction of the parking standards of the RM-3 district (requested per BZ-212) for a multifamily development for the S. 200' of the W. 210' of the N. 825' of the W/2 of the NW/4 of the NW/4 of this Section 01, T17N, R13E abutting subject property to the north at 12113 S. Memorial Dr. – BOA Conditionally Approved 07/03/1995 (not developed as multifamily; ultimately developed as the *Spartan Self Storage*).

BZ-212 – Tom Christopoulos – Request for rezoning from CS to RM-3 for a multifamily development for the S. 200' of the W. 210' of the N. 825' of the W/2 of the NW/4 of the NW/4 of this Section 01, T17N, R13E abutting subject property to the north at 12113 S. Memorial Dr. – PC Recommended Approval 06/05/1995 and City Council Denied 07/10/1995 (not developed as multifamily; ultimately developed as the *Spartan Self Storage*).

BBOA-335 – Tom Christopoulos – Request for Special Exception to allow a ministorage development in the CS district for the S. 200' of the W. 210' of the N. 825' of the W/2 of the NW/4 of the NW/4 of this Section 01, T17N, R13E abutting subject property to the north at 12113 S. Memorial Dr. – BOA Approved 12/01/1997 (now the *Spartan Self Storage*).

PUD 29 – The Boardwalk on Memorial – Part of future Lot 1, Block 1, *The Boardwalk on Memorial* (abutting subject property to south) and Lots 1 and 2, Block 1, *Gre-Mac Acres* requested for rezoning and PUD approval – PC Recommended Approval 05/20/2002 and City Council Approved PUD 29 and CS zoning for *Gre-Mac Acres* Lot 1 and OL zoning for Lot 2 06/10/2002 (Ordinance # 850, evidently dated 06/11/2001 in error).

PUD 29A – The Boardwalk on Memorial – Request for Major Amendment to PUD 29 (abutting subject property to south), known as PUD 29A, which expanded the original PUD and underlying CS zoning to an unplatted area to the north of Lots 1 and 2, Block 1, *Gre-Mac Acres*, and rezoned Development Area B to AG for “open space” – PC Recommended Approval 03/17/2003 and City Council Approved 04/28/2003 (Ordinance # 867).

Preliminary Plat of The Boardwalk on Memorial – Request for Preliminary Plat approval for property abutting subject property to south – Recommended for Approval by PC 04/21/2003 and Approved by City Council 04/28/2003.

Final Plat of The Boardwalk on Memorial – Request for Final Plat approval for property abutting subject property to south – Recommended for Approval by PC 05/19/2003 and Approved by City Council 05/27/2003 (Plat # 5717 recorded 08/19/2003).

“Minor Amendment PUD 29b to PUD 29, 29a” – Request for Planning Commission approval of the first Minor Amendment to PUD 29A (could have been called “Minor Amendment # 1) for property abutting subject property to south to approve a drive through bank window on the south side of the building for *Grand Bank* – PC Approved 02/22/2005.

BBOA-444 – City of Bixby – Request for Special Exception to allow a Use Unit 5 use in an RS-1 district, allowing the expansion of Bixby Fire Station # 2 onto Lot 1, Block 4, Houser Addition located to east of subject property at 8300 E. 121<sup>st</sup> St. S. – BOA Approved 06/05/2006.

“PUD 29A Minor Amendment # 1 [2]” – Second request for Minor Amendment to PUD 29A to (1) Remove restrictions from east-facing signs and (2) Increase maximum display surface area for wall signs from 2 square feet per lineal foot of building wall to 3 square feet per lineal foot of building wall as permitted by the Zoning Code for property abutting subject property to south – Planning Commission Conditionally Approved 11/19/2007. Should have been called “Minor Amendment # 2.”

PUD 29A Minor Amendment # 3 – Request for Minor Amendments to PUD 29A to remove Development Area B from the PUD – Planning Commission Continued the application from the January 19, 2010 meeting to the February 16, 2010 meeting. The submission of PUD 29A Major Amendment # 1 in lieu of this application was recognized as the Withdrawal of this application.

BL-373 – William Wilson for Boardwalk on Memorial I., LP – Request for Lot-Split approval to separate the east approximately 472’ from the balance of the property abutting subject property to south – PC Approved 02/16/2010.

PUD 29A Major Amendment # 1 – Request for Major Amendments to PUD 29A to relax Zoning Code bulk and area requirements for Development Area B to allow for Lot-Split per BL-373, which Development Area B was required to be legally attached to lots having the minimum required amount of public street frontage – PC Recommended Approval 02/16/2010 and City Council Approved 03/08/2010 (Ord. # 2033).

PUD 70 & BZ-347 / PUD 70 (Amended) & BZ-347 (Amended) – Encore on Memorial – Khoury Engineering, Inc. – Request to rezone from AG to RM-3 and approve PUD 70 for a multifamily development on part of Knopp family property of approximately 140 acres to the southwest of subject property – PC Continued the application on 12/21/2009 at the Applicant’s request. PC action 01/19/2010: A Motion to Recommend Approval failed by a vote of two (2) in favor and two (2) opposed, and no followup Motion was made nor followup vote held. The City Council Continued the application on 02/08/2010 to the 02/22/2010 regular meeting “for more research and information,” based on indications by the developer about the possibility of finding another site for the development. Before the 02/22/2010 City Council Meeting, the Applicant temporarily withdrew the applications, and the item was removed from the meeting agenda, with the understanding that the applications were going to be amended and resubmitted.

The Amended applications, including the new development site, were submitted 03/11/2010. PC action 04/19/2010 on the Amended Applications: Recommended Conditional Approval by unanimous vote. City Council action 05/10/2010 on the Amended Applications: Entertained the ordinance Second Reading and approved the PUD and rezoning, with the direction to bring an ordinance back to the Council with an Emergency Clause attachment, in order to incorporate the recommended Conditions of Approval. City Council approved both amended applications with the Conditions of Approval written into the approving Ordinance # 2036 on 05/24/2010.

BSP 2010-03 – Encore on Memorial – Khoury Engineering, Inc. (PUD 70) – Request for Detailed Site Plan approval for a multifamily development on 14 acres to the southwest of subject property – PC Conditionally Approved 07/19/2010.

Preliminary Plat of Encore on Memorial (PUD 70) – Request for Preliminary Plat approval for a multifamily development on 14 acres to the southwest of subject property – PC recommended Conditional Approval 07/19/2010 and City Council Conditionally Approved 07/26/2010.

Final Plat of Encore on Memorial (PUD 70) – Request for Preliminary Plat approval for a multifamily development on 14 acres to the southwest of subject property – PC recommended Conditional Approval 08/16/2010 and City Council Conditionally Approved 08/23/2010 (Plat # 6380 recorded 04/12/2011).

PUD 76 “Scenic Village Park” & BZ-364 – Tanner Consulting, LLC – Request for rezoning from AG to CG and PUD approval for 92 acres acquired from the Knopp family acreage to the west of subject property – PC recommended Approval 02/27/2013 and City Council Conditionally Approved 03/25/2013 as amended at the meeting.

Preliminary Plat of “Scenic Village Park” – Tanner Consulting, LLC – Request for approval of a Preliminary Plat and a Modification/Waiver from certain right-of-way and roadway paving width standards of Subdivision Regulations Ordinance # 854 Section 9.2.2 for 92 acres acquired from the Knopp family acreage to the west of subject property – PC recommended Conditional Approval 02/27/2013 and City Council Conditionally Approved 03/25/2013.

BCPA-9, PUD 77, & BZ-365 – Byrnes Mini-Storages – JR Donelson, Inc. – Request to amend the Comprehensive Plan to remove in part the Residential Area specific land use designation, rezone in part from AG to OL, and approve PUD 77 for a ministorage development on property abutting subject property to the south – PC recommended Denial of all three (3) on 05/20/2013 by 2:1:0 vote. On 06/10/2013, the City Council, by 3:2:0 vote, Approved BCPA-9, Approved the appeal of BZ-365, and Conditionally Approved PUD 77. Ordinance First Reading held 06/24/2013. Ordinance Second Reading and consideration pending receipt of final PUD Text & Exhibits as Conditionally Approved.

Final Plat of “Scenic Village Park” – Tanner Consulting, LLC – Request for approval of a Final Plat for a northerly approximately 22 acres of a 92-acre PUD west of subject property – PC recommended Conditional Approval 05/20/2013 and City Council Conditionally Approved 05/28/2013 (Plat # 6477 recorded 06/20/2013).

PUD 76 “Scenic Village Park” Major Amendment # 1 – Tanner Consulting, LLC – Request for approval of Major Amendment # 1 to PUD 76 for a 92-acre PUD west of subject property – PC recommended Conditional Approval 09/30/2013. City Council Conditionally Approved the application and held an Ordinance First Reading 10/14/2013 and approved the Emergency Clause attachment 11/12/2014 (Ord. # 2123).

PUD 76 “Scenic Village Park” Major Amendment # 2 – Tanner Consulting, LLC – Request for approval of Major Amendment # 2 to PUD 76 for southerly 70 acres of PUD 76 to the west of subject property – PC Tabled Indefinitely on 10/21/2013 as requested by Applicant’s letter dated 10/18/2013.

PUD 70 “Encore on Memorial” Major Amendment # 1 – Khoury Engineering, Inc. – Request for approval of Major Amendment # 1 to PUD 70 for 15 acres abutting to the west and north, to allow a Use Unit 21 sign within the Development Area B right-of-way for 126<sup>th</sup> St. S., provide development standards for same, and make certain other amendments – PC consideration pending 02/18/2014.

Preliminary Plat of “Byrnes Mini-Storages” – JR Donelson, Inc. – Request for approval of a Preliminary Plat for property abutting subject property to the south – PC (03/17/2014) recommended Conditional Approval by 2:1:1 vote. Per the City Attorney, the Abstention

vote does not count, so the vote was recognized as 2:1 and the Motion passed with a simple majority. City Council Conditionally Approved 05/12/2014.

PUD 6 Major Amendment # 1 "Memorial Square" & BZ-374 – JR Donelson, Inc. – Request for approval of Major Amendment # 1 to Planned Unit Development (PUD) # 6 and rezoning from CS and RM-1 to CS, RM-1, and RT for property across 121<sup>st</sup> St. S. to the north of subject property – PC recommended Conditional Approval 05/19/2014 and City Council Conditionally Approved applications 06/09/2014. Ordinance approval pending receipt of PUD Amendment Text & Exhibits reflecting all the required corrections, modifications, and Conditions of Approval.

Preliminary Plat of "Memorial Square Amended" – Request for Preliminary Plat approval for "Memorial Square Amended" for property across 121<sup>st</sup> St. S. to the north of subject property – PC recommended Conditional Approval 07/21/2014. Not placed on City Council agenda per Applicant 08/07/2014.

BSP 2015-02 – QuikTrip No. 0098 – Request for approval of a site plan and modifications to certain development standards per Zoning Code Section 11-9-0.F for property across 121<sup>st</sup> St. S. to the northwest of subject property at 12037 S. Memorial Dr. – City Council Conditionally Approved 02/09/2015.

BL-397 – Mike Ward on behalf of QuikTrip Corporation for T C 94, LP – Request for Lot-Split approval for property across 121<sup>st</sup> St. S. to the northwest of subject property at 12037 S. Memorial Dr. – Planning Commission Approved 02/17/2015.

PUD Requirement Waiver for Ramsey & Easton Properties – JR Donelson of JR Donelson, Inc. – Request for a Temporary Waiver of the PUD requirement of Zoning Code Section 11-5-2 for the Ramsey and Easton properties located to the west of subject property at the southwest corner of 121<sup>st</sup> St. S. and Memorial Dr. – City Council Approved 02/23/2015 subject to (1) requirement shall be restored prior to the development of the concerned property and (2) that (A) the temporarily suspended requirement, and (B) the requirement's design in furtherance of the City Council's express policy preferring retail uses, shall be disclosed to prospective buyers.

BZ-379 – JR Donelson for Bill J. Ramsey Trust – Request for rezoning from AG and CG to CS for commercial use for 14 acres to the west of subject property at the 12200-block of S. Memorial Dr. – PC consideration pending 04/20/2015.

BZ-380 – JR Donelson for John C. Easton Trust & Easton Family, LP – Request for rezoning from AG and CG to CS for commercial use for 19 acres to the west of subject property at 12300 S. Memorial Dr. – PC consideration pending 04/20/2015.

Staff searched for but did not find any Zoning or site plan approval records related to the *Spartan Self Storage*, a 1-acre ministorage development at 12113 S. Memorial Dr. which appears to have 0' setbacks along the north/side, east/rear, and south/side property lines. The Tulsa County Assessor's records indicate the facility was constructed in 1998.

#### BACKGROUND INFORMATION:

No applications were received for the March 16, 2015 Planning Commission Regular Meeting. This application form was received February 26, 2015, and was completed with the receipt of the required electronic versions of certain application materials on March 19, 2015. On behalf of the Applicant's special development review timeline needs and as requested by Staff, Chair Thomas Holland agreed to cancel the March Regular Meeting and call a Special Meeting for

19

March 25, 2015. The "Chateau Villas" development will ultimately need to be approved for Preliminary Plat, Final Plat, and PUD Detailed Site Plan. The Applicant is working with AAB Engineering, LLC to prepare the plats. The PUD Detailed Site Plan application was received March 24, 2015, and is scheduled for the April 20, 2015 Regular Meeting.

The original PUD 81 Major Amendment # 1 application included the following elements:

- Application form and review fee
- Exhibit G legal description (note: Staff did not use as it did not correspond to existing parcel legal descriptions as used with the original PUD ordinance)
- PUD Amendment text / letter dated 2/26/15
- Photo attachment cited in letter depicting existing multifamily development The Reserve at Elm in Jenks
- "Site Plan" drawing P1
- "Access Gate" drawing P2
- "Trash Enclosure" drawing P5
- "Fence Details" drawing P6.1
- "Fence Details" drawing P6.2
- "Exterior View" elevation rendering

Since the original submittal, different versions of different drawings have been provided in different formats and in different combinations. Staff has attempted to update the PUD Major Amendment # 1 documents with the latest versions of each, and the same are attached to this report. On March 19, 2015, the "Exterior View" elevation rendering was replaced with seven (7) different elevation rendering drawings bearing no unique drawing names or drawing numbers and no date, differentiated only by key codes such as "A1/A2 3/4."

For the sake of comparison, the "Final As Approved" version of PUD 81 is attached to this report.

#### ANALYSIS:

Subject Property Conditions. The subject property of approximately 23 acres in two (2) tracts:

1. An approximately 16-acre vacant tract at the 8300-block of E. 121<sup>st</sup> St. S., and
2. An approximately 7-acre tract at 12303 S. Memorial Dr. with what appears to be an unoccupied split-level house on it.

The subject property is zoned CS, RM-3, and OL with PUD 81 "Chateau Villas PUD."

The subject property is moderately sloped and primarily drains to the southeast to an unnamed tributary of Fry Creek # 1, and presently contains an area of 100-year floodplain, attendant to an improved drainage channel along and within the eastern boundary of the 16-acre tract. Per a letter dated September 21, 2009, the previous owner/developer was approved by FEMA for a CLOMR-F to widen the channel and increase its capacity to a level providing for the 100-year flow and use the borrow material as fill to elevate the development land above the 100-year Floodplain. Widening the channel, under the approved CLOMR-F, would remove the need for

onsite stormwater detention for the 16-acre tract. As originally conceived, the channel was only going to be widened enough to drain the 16-acre tract, and no other properties in the area. The area downstream of the southeast corner of the property may have already been widened. Per PUD 81 Applicant Alan Betchan of AAB Engineering, LLC on November 11, 2013, the new development plans may not require widening of the channel located on the subject property, or perhaps not as much widening, due to the creation of less impervious surface compared to the previous development plan. However, it is not clear if the channel on the subject property has already been widened or not. The plans may be modified and resubmitted to the City and FEMA in order to incorporate the 7-acre tract that is now a part of this development proposal. Pursuant to the original, approved CLOMR-F, the previous owner/developer proceeded with the grading; however, Staff has been informed that the grading has not been completed in accordance with the CLOMR-F as of this time. The floodplain issue must be resolved through the City and FEMA approval process before the subject property can be developed. The development will pay a fee-in-lieu of providing onsite stormwater detention. This situation is described in the "Drainage" section of the original PUD Text.

The subject property appears to presently be served by the critical utilities (water, sewer, electric, etc.) and has access to the stormwater drainage in the unnamed tributary to Fry Creek # 1 to the east. Plans for utilities were adequately described in the original PUD's Text and represented on the original Exhibit F, and is discussed further in the City Engineer's memo.

Comprehensive Plan. The Comprehensive Plan designates the 16-acre tract subject property as (1) Low/Medium Intensity and (2) Vacant, Agricultural, Rural Residences, and Open Land. The Medium Intensity designation covers the west 6.26 acres of the 16-acre tract, pursuant to BCPA-3 approved by Ordinance # 2030 in 2010. The 7-acre tract is designated (1) Medium Intensity and (2) Commercial Area.

The "Matrix to Determine Bixby Zoning Relationship to the Bixby Comprehensive Plan" ("Matrix") on page 27 of the Comprehensive Plan provides that CS zoning is *In Accordance*, RM-3 zoning *May Be Found In Accordance* with the Medium Intensity designation, and OL zoning *May Be Found In Accordance* with the Low Intensity designation of the Comprehensive Plan Land Use Map. Since RM-3 and OL zoning districts were approved by ordinance of the City Council, these districts have been recognized as being *In Accordance* with the Comprehensive Plan in the context of PUD 81.

During the review and approval of PUD 81, Staff worked with the Applicant to adjust relative proportions of CS, RM-3, and OL zoning and relative proportions of commercial floor area and numbers and types of multifamily dwelling units to conform to the Comprehensive Plan designations as amended by BCPA-3.

Per the Matrix, PUDs (as a zoning district) *May Be Found In Accordance* with the Low Intensity designation of the Comprehensive Plan Land Use Map. Since PUD 81 was approved by ordinance of the City Council, it has been recognized as being *In Accordance* with the Comprehensive Plan as a zoning district.

PUD 81 Major Amendment # 1 proposes making certain changes to design features of the development, but no significant changes to the proposed schedule of land uses compared to the original PUD 81.

Therefore, Staff believes that the existing underlying zoning patterns and PUD 81, and the proposed land uses per PUD 81 Major Amendment # 1, are all consistent with the Comprehensive Plan.

General. The Applicant is requesting approval of Major Amendment # 1 to PUD 81. As submitted, this PUD Major Amendment proposes:

- (1) to increase the maximum building height from 48' to 54' and four (4) stories, and
- (2) to amend the 75% minimum masonry standard, which applies to all buildings, to define masonry to include "concrete or clay brick of any size, natural stone of any size, manufactured stone of any size, cement based stucco, manufactured cement fiber based stucco panels and manufactured cement fiber horizontal siding."

Since the application was submitted, City Staff has had several meetings and other communication with the Applicant to refine the intent of the two (2) amendments, and suggest other amendments be made to facilitate the most appropriate development of the property.

Per the original PUD 81 Exhibit B Conceptual Site Plan, the multifamily element of the development included 12 multifamily buildings and one (1) clubhouse/leasing office. All multifamily buildings were understood to be three (3) stories in height with clay tile rooves and a "Tuscan" theme. The clubhouse was to be between 7,500 and 8,000 square feet, and was to cost \$1 Million. The artist's/architect's perspective renderings of the original designs were included in a PUD Text & Exhibits package received November 25, 2013, and these and certain other drawings were presented at certain meetings including the City Council meeting held on that date. One of the drawings was published in a November 14, 2013 *Tulsa World* article entitled "High-end apartment complex likely coming to Bixby." Per these exhibits, the buildings appeared to be five-tone, box-like structures with flat elevations except for protruding exterior stairwells. The elevations, considering their description as "masonry," appeared to be traditional stucco or otherwise another cementitious product resembling stucco. The original intent was not clear. Copies of the three (3) perspective drawings are attached to this report for reference.

Since the original November, 2013 PUD approval, the developer has engaged an architect and the designs have changed. The new plans call for a 3,950 square foot "clubhouse" (and an additional detached structure, potentially a poolhouse and/or maintenance and/or mailroom and/or laundryroom building of undisclosed size) and 20 multifamily buildings with a mix of 2-, 3-, and 4-story buildings with variegated elevations and certain percentage of "concrete stone masonry material" and "brick veneer masonry," with the balance of the elevations to be composed of "cement fiberboard masonry material siding." Staff recommends the Applicant bring examples of these products to the Planning Commission and City Council meetings for clarification of the intended materials. The relative percentages of masonry and masonry-alternative types has not been provided. The rooves, apparently of a similar pitch but now more

variegated than the originals, are now proposed to be composed of “architectural asphalt shingles.” The open stairwells are now brought within the building footprints. Staff has received several versions of several architectural plans, but no instructions on what drawings are now intended to be used as exhibits to the PUD Major Amendment # 1 and which are to be recognized as part of the BSP 2015-04 PUD Detailed Site Plan pending Planning Commission consideration April 20, 2015. Un-numbered, undated exhibits have been received showing certain interior and exterior building materials, and appliances, but there are no keys to explain what the codes mean. Per discussions with the developer and architect, the 4-story buildings are not planned to include elevators at this time, but rather would be 2-story units accessed from the open stairwells, with an additional stairwell interior to the units providing access to the 4<sup>th</sup> floor bedroom(s).

PUD 81 allows, for DA B, 375 units total with a minimum of 75 1-bedroom and 300 maximum “Two+” bedroom. Per the “Unit Mix” table on “Site Plan” drawing P1, the PUD restrictions will be met. Interior floorplans, such as would allow for verification of unit schedule and such as were included with the Encore on Memorial development, have not been provided. These should be included with the PUD Detailed Site Plan.

The traditional definition of masonry includes brick, stone, and stucco. Other masonry-like materials, such as cementitious fiber, are generally categorized as “masonry alternatives.” The Applicant should specify the proposed overall percentages of masonry, including “concrete stone masonry material” and “brick veneer masonry,” and the proposed balance of the elevations, understood to be composed of “cement fiberboard masonry material siding.” Staff is not supportive of the current proposed approach to define masonry as including cementitious fiber. Staff has found no record that the City Council has ever officially recognized masonry to include cementitious fiber or other masonry-like products; such products have always been categorized as “masonry alternatives.” The architect should clarify or explain the intent of the term “concrete or clay brick of any size,” to avoid the possibility of any interpretation allowing cinder block, CMU, or patterned concrete stained to resemble traditional brick. The architect should clarify or explicitly describe the term “cement based stucco” (e.g. application of stucco to a traditional concrete masonry base or to a wire mesh, number of coats, and proscription of EIFS or synthetic stucco). Alternatively, if stucco is not actually planned, as suggested by the latest building elevations, it does not need to be listed. Currently, the 75% masonry requirement applies to every building, and individually and equally. The PUD Text should include language providing for additional flexibility, to explain the proportions of exterior materials are calculated when each building elevation type may vary the relative proportions. For example, building “B1/B2 3” may have A% brick, B% stone, and C% cementitious fiber, while building “B1/B2 3/4” may have X% brick, Y% stone, and Z% cementitious fiber. If the 75% masonry standard is to be modified to some smaller percentage, with the balance being a masonry alternative, Staff has recommended the developer propose the exterior-facing elevations of all buildings, especially those facing Memorial Dr. and 121<sup>st</sup> St. S., honor the spirit and intent of the masonry requirement by having 75% masonry, with the other, more interior-facing elevations having a smaller percentage. However proposed, this language change to the PUD Text must be clear.

See the attached correspondence from the Fire Marshal regarding the proposed building height increase.

The Applicant originally hoped to have the PUD Detailed Site Plan application also on this March 25, 2014 Planning Commission Special Meeting agenda, and on the March 30, 2015 City Council Special Meeting agenda. However, the application was not completely submitted until March 24, 2015 (which requires a Waiver of the application submission deadline), and in Staff's estimation, was not in order for consideration as a PUD Detailed Site Plan, which is the final step in the development review process before Building Permits are issued. The developer has not yet had the Preliminary or Final Plats prepared, or the engineering grading, paving, stormwater drainage, utilities, etc. construction plans prepared, which will invariably significantly alter the site plans. Therefore, as recommended by Staff, the Applicant agreed to forestall the PUD Detailed Site Plan review and allow its placement on the April 01, 2015 TAC and April 20, 2015 Planning Commission Regular Meeting agendas. Per discussions with the Applicant, Staff understands that the Applicant desires that the site plan and building elevations be included as exhibits to this PUD Major Amendment # 1, thus to allow the City Council to approve them conceptually and allow for financing to be secured. The financing will depend on whether the numbers and sizes of buildings, including some with four (4) stories, whether the water features may constructed within the development, and whether all other major features of site design will ultimately be approved. To integrate the site plans and building elevations into the PUD Text and Exhibits framework,

- (1) the "Site Plan" drawing P1 should be renamed "Conceptual Site Plan for Chateau Villas" Exhibit B,
- (2) the elevations drawings should have distinct drawing names and numbers,
- (3) the PUD Text under section "Building Façade" should be amended to
  - (A) specifically reference them by name and Exhibit/drawing number and
  - (B) revise the text stating that the elevations will be submitted for Council review at the time of detailed site plan to provide that "final elevations, including every building side, but only one (1) per each unique building type, ...", and
- (4) the PUD amendment letter / text must
  - (A) describe all changes being made (scope of amendment),
  - (B) specify that the site plans are all conceptual in nature and are subject to change,
  - (C) specifically explain that there are now discrepancies between the new Exhibit B and the other exhibits included with the original PUD, and
  - (D) provide that the City of Bixby has the exclusive authority to resolve any design requirement discrepancies between the original and replacement Exhibits B and the other exhibits included with the original PUD.

As they are incompatible with the PUD Text and Exhibits framework, Staff has not reviewed "Access Gate" drawing P2, "Trash Enclosure" drawing P5, "Fence Details" drawing P6.1, or "Fence Details" drawing P6.2 for accuracy or appropriateness. These will be reviewed as a part of the PUD Detailed Site Plan. However, if required for financing purposes, these and/or other site plan drawings may be included, and in such case should also be labeled "Conceptual Site Plan for Chateau Villas" with distinct drawing numbers B.1, B.2, etc. Each such drawing must have a large disclaimer note specifying that they are conceptual and subject to change.

The unidentified detached structure, potentially a poolhouse and/or maintenance and/or mailroom and/or laundryroom, should have building elevations provided and be factored into the overall masonry calculations.

Nonresidential Development Area (DA) A appears to have parking lots overlapping into multifamily DA B. To ensure the creation of no imbalances in the proportional shares of multifamily and nonresidential uses carefully calculated with the original PUD, the DA boundary should be reconfigured around the proposed use areas to avoid this overlap, while retaining the relative proportions of land area. The PUD Text should be amended to explain the change. The DA labels and certain DA boundary lines are missing from site plan, and need to be added. Another linetype, lacking dimensions, resembling a DA boundary is shown separating DA B into northerly and southerly parts – this should be explained. If Staff determines it is not useful for PUD and public development review purposes, it may be removed. The westerly DA D line appears to be represented but is not labeled or dimensioned as to its width (confirm 45'). Another line appears to cut through all the 2-story buildings. Due to relative placement and resemblance, it appears to have been an original parking lot curblin that was not removed when buildings were superimposed. Commercial DA C should include labels on either side of the proposed private street/drive stating “future commercial/office,” as per the original Exhibit B and as indicated for DA A. This all needs to be clarified.

The site plan now indicates the addition of water features within the development, identified as “ponds.” An apparent, narrow “landbridge” separates the largest proposed new pond from the stormwater retention pond located within Reserve Area A of 121st Center. The width dimension should be added. Reserve Area A should be labeled. The label “detention pond” needs to be replaced with the correct terminology “retention pond.” The interfaces between all these features are not clear. Plans for safety around the water features has not been provided. Water depths, existing and proposed, have not been provided. The [new] “pond(s)” have been described as including fountains, but the site plans do not show same and no plans have been provided.

The key codes used on the building elevations (e.g. “A1/A2 3/4”) do not match those used on the site plan (e.g. “A1/A2.3”). The “Building Footprints” legend on the site plan does not explain why some portions of certain buildings are shaded (likely indicative of building parts extending to the fourth story). This should be labeled to remove the necessity of guesswork. Certain building types may be missing, and should be added in that case.

The building elevations provided show only the building fronts; side and rear elevations have not been provided. This will be a requirement for the PUD Detailed Site Plan as per PUD 81 and as per the replacement language recommended herein.

In the interest of efficiency and avoiding redundancy, regarding PUD particulars for minor needed corrections and site development considerations, please review the recommended Conditions of Approval as listed at the end of this report. For the same reason, the more substantial review comments described in this analysis are not individually repeated in the recommendations, but are covered by a review comment referring back here.

The Fire Marshal's, City Engineer's, and City Attorney's review correspondence are attached to this Staff Report (if received). Their comments are incorporated herein by reference and should be made conditions of approval where not satisfied at the time of approval.

Since the building height and masonry and other siding materials matters do not necessarily require technical or engineering input, since the PUD Detailed Site Plan will be reviewed by the Technical Advisory Committee (TAC) in the April agenda cycle, due to the lateness of the submission of all required documents, and due to the irregular scheduling of this application, Staff did not schedule, and the TAC did not meet to discuss this PUD Major Amendment.

Access and Internal Circulation. Plans for access and internal circulation are described in the "Vehicular and Pedestrian Access and Circulation" section of the PUD Text as follows:

"The attached Exhibit E depicts the vehicular and pedestrian access points and circulation anticipated to accommodate the conceptual site plan. Access to the parcels of development area A and B will be provided by a privately maintained street. This street will be maintained by the property owners association created for the development. The Multi-Family portion of the development will restrict access to the general public using gates, the specific location of which will be determined at detailed site plan submittal. All such gates will be subject to approval of the City of Bixby Fire Marshall and Engineering. Access to the lots within Development Area C will be derived by privately maintained streets and shall not be permitted more than one (1) direct connections to 121<sup>st</sup> Street South per lot. All driveway and/or street connections shall be reviewed and approved by all jurisdictions having authority, including but not limited to City of Bixby Engineering and Fire Marshall and the Oklahoma Department of Transportation.

Pedestrian connectivity will be provided by new sidewalks along all private streets as well as internal sidewalk circulation within the Multi-Family development. This sidewalk system will be designed to not only serve the immediate access issues to each building but also to serve as a walking trail system that will circulate throughout the property."

Plans for access can be further inferred from the site plans. Primary access to the development would be via one (1) boulevard-style private street connecting to Memorial Dr. and serving DAs A and B, and a secondary private street connecting to 121<sup>st</sup> St. S. The multifamily development will be gated.

Sidewalks internal to the multifamily development are indicated, but not labeled as such or as to width. The Exhibit B Conceptual Site Plan does not indicate sidewalks along Memorial Dr. or 121<sup>st</sup> St. S., as required, nor along the private streets/drives connecting to both arterials, as should be expected. Sidewalks connecting the multifamily and commercial development areas appear to be indicated, but they are not labeled as such or as to width. Accessible paths between public streets and building entrances, as may be required by ADA standards, should be represented on the "Site Plan" drawing P1 or detailed on same when reviewed in the context of BSP 2015-04 in April.

In Staff's opinion, the current site plan indicates inadequate sidewalk connectivity to meet the PUD Text's plans to "not only serve the immediate access issues to each building but also to

serve as a walking trail system that will circulate throughout the property.” This PUD language was added in response to Staff’s suggestion to enhance the development quality by adding a walking trail amenity along the Fry Creek tributary, a standard recommendation for multifamily developments. Alternatively, a walking trail amenity could be added as originally recommended. Water features are normally ringed by pedestrian pathways, but none is indicated on the site plan. Most parking lots do not show sidewalks connecting to the apartment buildings. In Staff’s estimation, the existing Exhibit B conceptual site plan shows a much superior sidewalk connectivity plan than is now proposed. Enhancements appear to be in order.

Surrounding Zoning and Land Use. Surrounding zoning is a mixture of AG, RS-1, RS-2, RS-3, RD, CS/RM-1/PUD 6, OL, CS, CG, CS/PUD 29A, and OL/RS-1/PUD 77. See the case map for illustration of existing zoning patterns, which are described in the following paragraphs.

Across 121<sup>st</sup> St. S. to the north is the *Memorial Square* duplex-style condo/apartments and vacant lots zoned CS & RM-1/PUD-6, and single-family residential to the northeast zoned RS-1, commercial in the *Town and Country Shopping Center* to the northwest zoned CS, and further north, duplexes along 119<sup>th</sup> St. S. zoned RD, all in *Southern Memorial Acres Extended*.

South of the subject property is *The Boardwalk on Memorial* commercial strip shopping center zoned CS/PUD 29A, vacant land and a single-family house behind it zoned OL/RS-1 and PUD 77 zoning for a ministorage development. Farther south is single-family residential in *Gre-Mac Acres* and *Southern Memorial Acres No. 2* zoned RS-1 and RS-2.

Abutting to the east is single-family residential and the Bixby Fire Station #2, all in the *Houser Addition* and zoned RS-1.

Abutting to the west is commercial development in *121st Center* and the *Spartan Self Storage* ministorage business on an unplatted 1-acre tract zoned at 12113 S. Memorial Dr., all zoned CS. Across Memorial Dr. to the west is Rd. is agricultural land zoned AG and CG and the *Easton Sod* sales lot zoned RS-3, OL, and CS.

Duplex residential uses in *Memorial Square* are fairly well buffered by the 121<sup>st</sup> St. S. primary arterial and its stormwater detention facility to the north of the street. Residential uses to the northeast in *Southern Memorial Acres Extended* are buffered by Bixby Fire Station # 2 and the large stormwater drainage and detention facility on Lots 8 and 9, Block 15, *Southern Memorial Acres Extended*. Residential uses to the south in *Gre-Mac Acres* are buffered by the 170’-wide vacant tract of OL-zoned land behind *The Boardwalk on Memorial* shopping center, which has received some development entitlements for the “Byrnes Mini-Storages” Use Unit 16 ministorage development pursuant to PUD 77, which zoning districts and ministorage use are appropriate buffers between residential and more intensive uses.

Staff believes that, in its final form, the existing underlying zoning patterns and the original PUD 81 are consistent with the surrounding zoning, land use, and development patterns and are appropriate in recognition of the available infrastructure and other physical facts of the area. The multifamily use of the majority of the acreage, and the OL district which remains on the easterly approximately 10 acres of the 1.6-acre tract, should provide an appropriate transition

zone between the large commercial area and CS district to the west and the single-family residential uses to the east and southeast in *Houser Addition* and *Southern Memorial Acres No. 2*.

Maintenance of Original Minimum Buffering Standards. As expressed in the review of PUD 81, Staff has some concerns that the plans for screening, landscaping, and buffering as now proposed would not compare favorably to the minimum standards of PUD 68, which it replaced.

For PUD 68, the "Screening" Development Standards for Development Areas C (ministorage on Lot 3) and D (drainage channel, etc.) provided:

"[The east boundary of] Development Area ["C" / "D"] shall be [permanently] screened from the [adjoining] residential district [to the east and south] by an opaque wall or fence which shall be:

1. Designed, constructed and arranged to provide a visible separation of uses, irrespective of vegetation;
2. A minimum height of 6 FT placed inside the [D]evelopment [A]rea boundary line; and
3. Constructed with all braces and supports on the interior.

The visual screening shall be maintained by the owner of the lot or lots comprising Development Area "C".

Per the Conditionally Approved revised plat of "North Bixby Commerce Park," the easterly 55' to 85' of the 16-acre tract was to be platted as Reserve A. The 85'-wide section had an additional 30' to accommodate the private commercial street, and the 55' balance was to contain the widened drainage channel. When the Planning Commission Conditionally Approved the Detailed Site Plan (BSP 2010-01) for PUD 68 on July 19, 2010, it approved a low masonry wall for not less than the northerly 100' of the easterly property line, and for the balance, a 6'-high wood screening fence along the east, south, and west borders of the 16-acre tract, the west border to the extent it abutted the 7-acre subject property. For the masonry wall section, it was allowed to be a low-slung wall, matching the height and masonry style used in front of the Fire Station # 2. Ultimately, that developer proposed to provide 125' of this masonry wall, corresponding to the southerly line of Fire Station # 2 (but stopping short of the northeast lot corner due to drainage infrastructure). The PUD requirements for DAs C and D were interpreted at that time as requiring only one (1) screening wall/fence, provided that there was adequate overlap toward the southerly end of the easterly line, where the drainage channel exited the east property line. The PUD 68 exhibit indicated 25 landscaping trees along the easterly property line, and BSP 2010-01 as approved included 32 along this boundary. For the most part of the easterly line, the trees were on the top of the west bank of the widened channel, providing additional screening. The original PUD 81 Exhibit B conceptual site plan indicated the replacement or addition of existing chain-link and wood fence sections along the easterly line of DA D with a "wood fence," and the addition of a "combination wood and ornamental

fence” along the westerly line of DA D. The current site plan indicates a singular “wood fence” some unspecified distance west of and parallel to the westerly line of DA D, with no plans for the easterly line of DA A. Although not a part of this PUD 81 Major Amendment # 1, the current landscape plan, received March 24, 2015, indicates approximately 28 trees along the east side of the multifamily DA B, which is fewer than the 32 trees originally approved for the PUD 68 “North Bixby Commerce Park” development. Recognizing that the most critical areas in need of buffering are to the east and southeast, Staff recommends, for this PUD 81 Major Amendment # 1, that the commercial and multifamily uses be screened by no less a standard than was last approved for the subject property. Any changes to plans pursuant to this recommendation should be specified in the relevant section of the PUD text and be represented on an appropriate exhibit. The exception to this recommendation is the masonry wall element, as that was likely in response to the need to screen “trade center” / “office-warehouse” buildings from view on 121<sup>st</sup> St. S., which buildings would likely have been metal. In this PUD, the uses would consist of multifamily buildings and conventional retail along the street frontage.

The easternmost buildings now planned have been reduced to 2 stories, to the benefit of the privacy of the single-family residential uses in *Houser Addition*. The buildings now are indicated farther westerly than the 75’ minimum setback recommended and included in the original PUD 81. However, Staff continues to recommend the Applicant should consider window-facing restrictions or window-screening measures, etc. Clerestory lighting/windows would appear to be a method to address privacy concerns while allowing natural light from easterly/northeasterly-facing 2-story buildings.

PUD Prerequisites. Zoning Code Section 11-7I-8.C requires PUDs be found to comply with the following prerequisites:

1. Whether the PUD is consistent with the comprehensive plan;
2. Whether the PUD harmonizes with the existing and expected development of surrounding areas;
3. Whether the PUD is a unified treatment of the development possibilities of the project site; and
4. Whether the PUD is consistent with the stated purposes and standards of this article.

Regarding the fourth item, the “standards” refer to the requirements for PUDs generally and, per Section 11-7I-2, the “purposes” include:

- A. Permit innovative land development while maintaining appropriate limitation on the character and intensity of use and assuring compatibility with adjoining and proximate properties;
- B. Permit flexibility within the development to best utilize the unique physical features of the particular site;

C. Provide and preserve meaningful open space; and

D. Achieve a continuity of function and design within the development.

Subject to meeting the recommendations below, Staff believes that the prerequisites for PUD approval per Zoning Code Section 11-71-8.C will be met in this application.

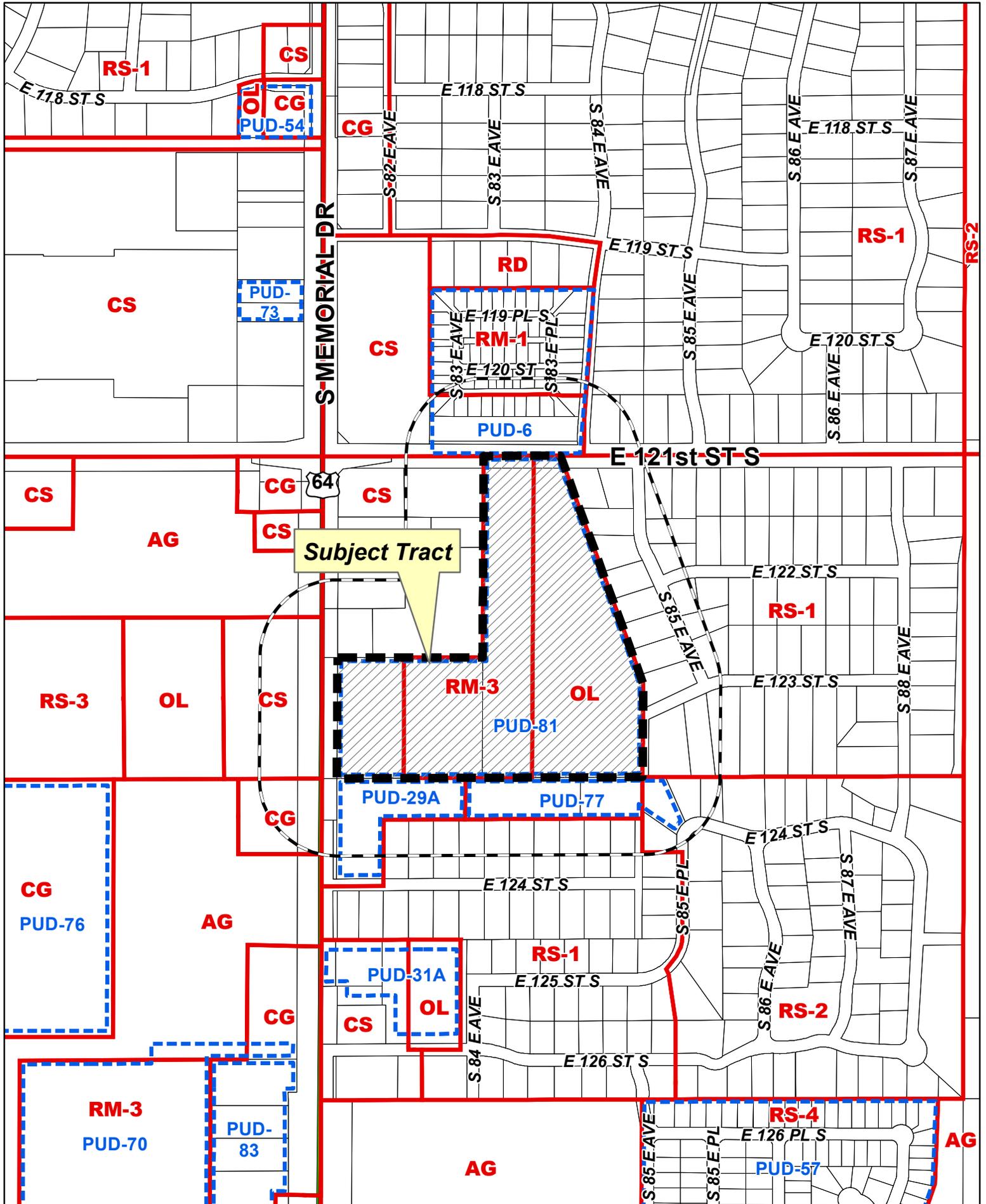
Staff Recommendation. For all the reasons outlined above, Staff recommends Approval subject to the following corrections, modifications, and Conditions of Approval:

1. As acknowledged in the original PUD 81 Text, subject to the satisfaction of all outstanding Fire Marshal, City Engineer, and City Attorney recommendations.
2. As acknowledged in the original PUD 81 Text, Subject to City Engineer curb cut and/or ODOT driveway permit approval for the proposed access points to Memorial Dr. (US Hwy 64) and 121<sup>st</sup> St. S., and the Fire Marshal's approval of locations, spacing, widths, and curb return radii.
3. As acknowledged in the original PUD 81 Text, the subject property presently contains an area of 100-year floodplain, attendant to an improved drainage channel along and within the eastern boundary of the 16-acre tract. Per a letter dated September 21, 2009, the previous owner/developer was approved by FEMA for a CLOMR-F to widen the channel and increase its capacity to a level providing for the 100-year flow and use the borrow material as fill to elevate the development land above the 100-year Floodplain. The floodplain issue must be resolved through the City and FEMA approval process before the subject property can be developed.
4. In the interest of efficiency and avoiding redundancy, regarding PUD particulars for major needed corrections and site development considerations, please see Analysis above.
5. The "drivelane" term used on the site plan is imprecise – please replace with more appropriate terminology. PUD 81 describes the accessways as "private streets." Please amend the relevant PUD Text if any part or all of former "private streets" are now proposed to be private driveways.
6. The Location Map used on the site plans does not include all of the subject property – please revise.
7. Please remove inaccurate information "West Jasper Street" from the Location Map.
8. Dimensions are lacking along DA C and elsewhere throughout the site plan – please revise.
9. Please identify linetypes within and just east of the southeast corner of the 16-acre tract.
10. Please explain "RIP RAP" within and just east of the southeast corner of the 16-acre tract.
11. Please reconcile the discrepancy between building type keycodes used on P1 and on the elevations drawings.
12. The "Building Footprints" legend on "Site Plan" drawing P1 includes symbols customarily associated with exterior light fixtures, which would appear to be wall-mounted lights in this case. These are appropriate on BSP 2015-04 "Site Lighting Plan" drawing P1-1 (or perhaps, "P1-L"), but should be removed from P1.

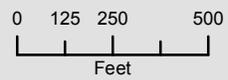
13. Please identify areas proposed for landscaping consistent with the original Exhibit B (e.g. "landscaping," "sod," "grass," etc.).
14. The original "Site Plan" drawing P1 showed "Combination Ornamental Metal and Wood Fence," but the version received 03/24/2015 now shows these fence sections as simply "wood fence." The original Exhibit B showed these fence sections as "Combination Wood and Ornamental Iron Fence." Please reconcile the fence plans shown on P1 with the original Exhibit B, or explain discrepancies. Upgrade substitutions will be acceptable, but downgrade substitutions and removals will not.
15. All proposed fences need to be labeled as to height and composition.
16. All existing fences need to be labeled "existing" or similar and described as to height and composition, to allow them to be differentiated from new fences proposed. Please also explain if any will be removed or if new fences will be installed parallel to same, along with details on offsets.
17. A fence is now indicated as proposed along the southerly propertyline. Please explain plans for coordination with the "Byrnes Mini-Storages" development. Reference relevant analysis in original PUD 81 Staff Report.
18. A fence, likely required for the sake of safety, is not indicated around the pool – please revise or advise.
19. Street right-of-way width dimensions included on Exhibit B, for both Memorial Dr. and 121<sup>st</sup> St. S., are not included on proposed replacement P1 Exhibit B. Please add.
20. Extreme text and linework congestion at the northeast corner needs resolved.
21. Please compare P1 to the original Exhibit B and restore all missing information.
22. Text and linework along the top of P1 appears to be cut off – please restore.
23. The private street, from the circular drive west to the intersection with Memorial Dr., is missing width dimensions and radii.
24. Please identify the "cell-like" polygons around the northerly and easterly sides, which resemble parking spaces. If they are parking spaces, please label as such, provide dimensions and, if the same would not comply with the parking design standards of the Zoning Code, please provide for design flexibility within the text of the PUD amendment.
25. Please add the number of parking spaces in each parking lot strip, as customary, to allow for verification of parking number counts cited.
26. Southeastern-most 2-story building missing proposed setback from easterly propertyline. Please add this and all others missing.
27. The southeastern-most 2-story building does not appear to comply with the 75' setback from *Houser Addition* – please revise.
28. Please correct the representation of the 75' building setback line from *Houser Addition*.
29. Please resolve text/linework congestion along the 130' PUD boundary shared with *Houser Addition* and elsewhere throughout the "Site Plan" drawing P1.
30. Linetypes, abbreviations, and symbols used throughout P1 are not included in a Legend – please add a Legend with all such elements or identify each in situ.
31. Project Data Form summary: Please explain terminology "Grandview Heights."
32. Project Data Form summary: Other than the minimum number of parking spaces required for the schedule of unit types listed, Staff has not verified the numbers or calculations provided – please double check for accuracy and make any corrections necessary.

33. Staff has not yet reviewed the PUD Detailed Site Plan for compliance with the Zoning Code or PUD 81. It is highly likely that additional PUD amendments may be required upon a full review. The Applicant is advised to review their site plans and compare same to the Zoning Code and PUD 81 and propose any additional PUD amendments as may be found necessary.
34. For the recommended Conditions of Approval necessarily requiring changes to the Text or Exhibits, recognizing the difficulty of attaching Conditions of Approval to PUD ordinances due to the legal requirements for posting, reading, and administering ordinance adoption, please incorporate the changes into appropriate sections of the PUD, or with reasonable amendments as needed. Please incorporate also the other conditions listed here which cannot be fully completed by the time of City Council ordinance approval, due to being requirements for ongoing or future actions, etc. Per the City Attorney, if conditions are not incorporated into the PUD Text and Exhibits prior to City Council consideration of an approval ordinance, the ordinance adoption item will be Continued to the next City Council meeting agenda.
35. A corrected PUD Text and Exhibits package shall be submitted incorporating all of the corrections, modifications, and conditions of approval of this PUD: two (2) hard copies and one (1) electronic copy (PDF preferred).

32



**PUD-81-1**



01 17-13





# City of Bixby Application for PUD

Applicant: LARRY KESTER  
 Address: 4200 E SKELLY DRIVE; TULSA, OK 74135  
 Telephone: 918-492-2987 Cell Phone: \_\_\_\_\_ Email: LCKESTER@APID.NET

Property Owner: BLACK GOLD GROUP, LLC If different from Applicant, does owner consent? YES  
 Property Address: SOUTHEAST CORNER OF MEMORIAL AND 121ST  
 Existing Zoning: CS RM3 & OL Requested Zoning: \_\_\_\_\_ Existing Use: VACANT  
 Proposed Use: COMMERCAIL AND MULTI-FAMILY Use Unit #: \_\_\_\_\_

LEGAL DESCRIPTION (If unplatted, attach a survey with legal description or copy of deed):

SEE ATTACHED EXHIBIT "G"

Does Record Owner consent to the filing of this application?  YES  NO  
 If Applicant is other than Owner, indicate interest: ARCHITECT  
 Is subject tract located in the 100 year floodplain?  YES  NO  
 Are 5 copies of the PUD text and exhibits package attached?  YES  NO

Application for:  PUD  Major Amendment  Minor Amendment  Abandonment

BILL ADVERTISING CHARGES TO: BLACK GOLD GROUP, LLC (KEVIN JORDAN CEO)  
 \_\_\_\_\_ (NAME)  
2021 S. LEWIS AVE, SUITE 301 TULSA, OK \_\_\_\_\_  
 \_\_\_\_\_ (ADDRESS) (CITY) \_\_\_\_\_ (PHONE)  
918-585-5900 EXT 202

I do hereby certify that the information submitted herein is complete, true and accurate:

Signature: *Kevin Jordan* Date: 2-26-15

Major Amd. #1 **APPLICANT - DO NOT WRITE BELOW THIS LINE**

PUD 81 Date Received 02/26/2015 Received By Enya K Receipt # 01231019  
 Planning Commission Date 03/25/2015 City Council Date 03/30/2015

1 Sign(s) at \$ 50.00 each = \$ 50.00; Postage \$ ✓; Total Sign + postage \$ 50.00

FEES:	PUD TYPE	ACREAGE	BASE FEE	ADD.	TOTAL
					<u>\$285.00</u>

PC Action \_\_\_\_\_ City Council Action \_\_\_\_\_  
 DATE / VOTE \_\_\_\_\_ DATE / VOTE \_\_\_\_\_  
 STAFF REC. \_\_\_\_\_ ORD. NO. \_\_\_\_\_

**EXHIBIT G**  
Legal Description

(not used)

A TRACT OF LAND BEING PART OF THE NW/4 OF SECTION 1, T-17-N R-13-E, TULSA COUNTY, STATE OF OKLAHOMA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SECTION 1; THENCE NORTH 88°39'06" EAST ALONG THE NORTH LINE OF SAID NW/4 SECTION 1, FOR A DISTANCE OF 663.98 FEET; THENCE SOUTH 01°20'54" EAST FOR A DISTANCE OF 50.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 88°39'06" EAST AND PARALLEL TO SAID NORTH LINE, FOR A DISTANCE OF 330.71 FEET; THENCE SOUTH 21°10'49" EAST ALONG THE WEST LINE OF BLOCK 4, HOUSER ADDITION, SUBDIVISION IN THE CITY OF TULSA, FOR A DISTANCE OF 952.20 FEET TO A POINT ON THE EAST LINE OF GOVERNMENT LOT 4 SECTION 1; THENCE SOUTH 01°00'25" EAST ALONG THE EAST LINE OF LOT 4 SECTION 1, FOR A DISTANCE OF 386.00 FEET TO THE SOUTHEAST CORNER OF LOT 4 SECTION 1; THENCE SOUTH 88°30'56" WEST ALONG THE SOUTH LINE OF LOT 4 SECTION 1, FOR A DISTANCE OF 755.29 FEET; THENCE NORTH 00°59'41" WEST FOR A DISTANCE OF 508.54 FEET TO A POINT ON THE SOUTH LINE OF 121<sup>ST</sup> CENTER, AN ADDITION TO THE CITY OF TULSA; THENCE NORTH 88°39'06" EAST ALONG THE SOUTH LINE OF 121<sup>ST</sup> CENTER FOR A DISTANCE OF 95.96 FEET TO THE SOUTHEAST CORNER OF 121<sup>ST</sup> CENTER; THENCE NORTH 00°59'54" WEST ALONG THE EAST LINE OF 121<sup>ST</sup> CENTER FOR A DISTANCE OF 775.00 FEET TO THE POINT OF BEGINNING.

SAID TRACT CONTAINS 747,133 SQUARE FEET OR 17.152 ACRES.

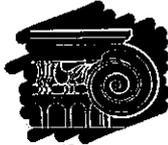
AND

A TRACT OF LAND BEING PART OF THE NW/4 OF SECTION 1, T-17-N R-13-E, TULSA COUNTY, STATE OF OKLAHOMA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF GOVERNMENT LOT 4 SECTION 1; THENCE NORTH 88°30'56" EAST ALONG THE SOUTH LINE OF SAID LOT 4 SECTION 1, FOR A DISTANCE OF 64.38 FEET TO THE POINT OF BEGINNING; THENCE NORTH 88°30'56" EAST CONTINUING ALONG THE SOUTH LINE OF SAID LOT 4 SECTION 1, FOR A DISTANCE OF 504.30 FEET; THENCE NORTH 00°59'41" WEST FOR A DISTANCE OF 508.54 FEET TO A POINT ON THE SOUTH LINE OF 121<sup>ST</sup> CENTER, AN ADDITION TO THE CITY OF TULSA; THENCE SOUTH 88°38'59" WEST ALONG THE SOUTH LINE OF 121<sup>ST</sup> CENTER, FOR A DISTANCE OF 503.85 FEET; THENCE SOUTH 00°56'41" EAST FOR A DISTANCE OF 509.72 FEET TO THE POINT OF BEGINNING.

SAID TRACT CONTAINS 256,633 SQUARE FEET OR 5.892 ACRES.

BASIS OF BEARING OF PROPERTY DESCRIPTIONS IS THE SOUTH LINE OF GOVERNMENT LOT 4 SECTION 1, BEING NORTH 88°30'56" EAST.



# Architects Collective

Project: Chateau Villas  
Date: 2/26/15  
From: Larry C. Kester  
To: Erik Enyart

Fax  
 Mail  
 Overnight

Erik,

We are proposing two basic amendments to the approved Chateau Villas PUD, dated October 18, 2013.

**Amendment One** - Amend the height restriction from 48' (approved PUD) and three stories (underlying zoning) to 54' and four stories. The tallest point on the buildings proposed, which is in the four story portion, is 50' (see attached proposed elevation). We are proposing an amended height of 54' to allow some latitude in roof changes as we finalize our designs.

Further, we have located the buildings that have four story sections, away from the single family to the east (see site plan) and have provided two story buildings along this boundary to provide a visual buffer. Each of these two story buildings have garages on the first floor and two dwelling units on the second floor.

**Amendment Two** - Amend the wording in the "Building Facade" section of the approved PUD, to state that "all buildings shall be constructed of not less than 75% masonry materials from the ground to the top floor plate" to include a definition of what constitutes masonry materials. We propose the definition of masonry materials be worded as follows.

Starting with "not less than 75% masonry materials", we propose to add that "masonry materials are defined as concrete or clay brick of any size, natural stone of any size, manufactured stone of any size, cement based stucco, manufactured cement fiber based stucco panels and manufact red cement fiber horizontal siding".

The manufactured cement fiber based stucco panels would include rigid semi-concealed joint components that essentially make the joints water proof and difficult to see (see attached photo) and carries a 30 year product warranty. The materials and colors would have variations from building to building to provide more diversity.

The manufactured cement fiber based horizontal siding would be placed only in limited areas that are difficult to observe, such has in the balcony areas and breezeway areas.

Larry Kester



NORTHERLY LINE OF NW/4 SECTION 1

E. 121st ST. S.

GRATE=607.67  
FL=605.22 18"RCP

26" RCP  
FL=603.30

24" RCP  
FL=604.57

INLET  
GRATE=608.11  
FL=605.49 24"RCP

STMH  
RIM=607.80  
FL=604.41 32"RCP

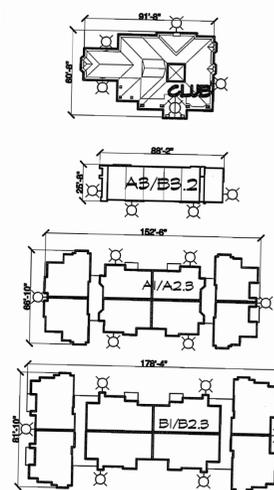
SSMH  
RIM=610.70  
FL=602.20

STMH  
RIM=608.00  
FL=603.65 32"RCP  
FL=604.30 18"RCP  
FL=603.60 32"RCP

STMH  
RIM=608.36  
FL=603.51 32"RCP  
RIM=606.72  
FL=604.22 18"RCP

SSMH  
RIM=611.37  
FL=601.07

BUILDING FOOTPRINTS:



REVISIONS

Chateau Villas

Bixby, OK  
Black Gold Group, LLC

PROJECT:  
LOCATION:  
CLIENT:

SCALE:



NOTICE OF COPYRIGHT  
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN ARCHITECTURAL WORK UNDER SECTION 101 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ELEMENTS OF DESIGN, UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE PLANS, WORK OR BUILDINGS REPRESENTED CAN LEGALLY RESULT IN THE SEIZURE OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO ARCHITECTS COLLECTIVE.

Project Data Form

Project:	Chateau Villas Apartments	Date:	2/26/2015
City:	Bixby	State:	Oklahoma
Product Type:	Grandview Heights		
Clubhouse:		Area:	3,950 s.f.
Special Instr. Lot Area =	709,114 s.f.		16.28 acres
Unit Mix:			
76 Unit Type:	A1 one bedroom @	806 S.F.	= 61,256 S.F.
76 Unit Type:	A2 one bedroom @	891 S.F.	= 67,716 S.F.
7 Unit Type:	A3-1 bed (garage) @	814 S.F.	= 5,698 S.F.
92 Unit Type:	B1 two bedroom @	1,081 S.F.	= 99,452 S.F.
92 Unit Type:	B2 two bedroom @	1,135 S.F.	= 104,420 S.F.
7 Unit Type:	B3 2-bed (garage) @	1,119 S.F.	= 7,833 S.F.
12 Unit Type:	C1 three bedroom @	1,216 S.F.	= 14,592 S.F.
12 Unit Type:	C2 three bedroom @	1,420 S.F.	= 17,040 S.F.
374 Total Units			378,007 S.F.
22.97 units/acre (Lot Area)			
	668.5 Minimum Parking Required		
	42 Garages (11% of total units)		
	630 Open parking spaces		
	672 Total Parking (open + garages)		

A DETAIL SITE PLAN - AREA B



PROJECT NUMBER

DATE: 3/15/15

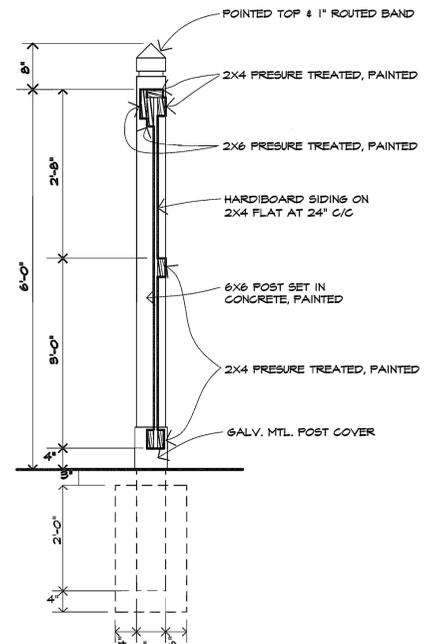
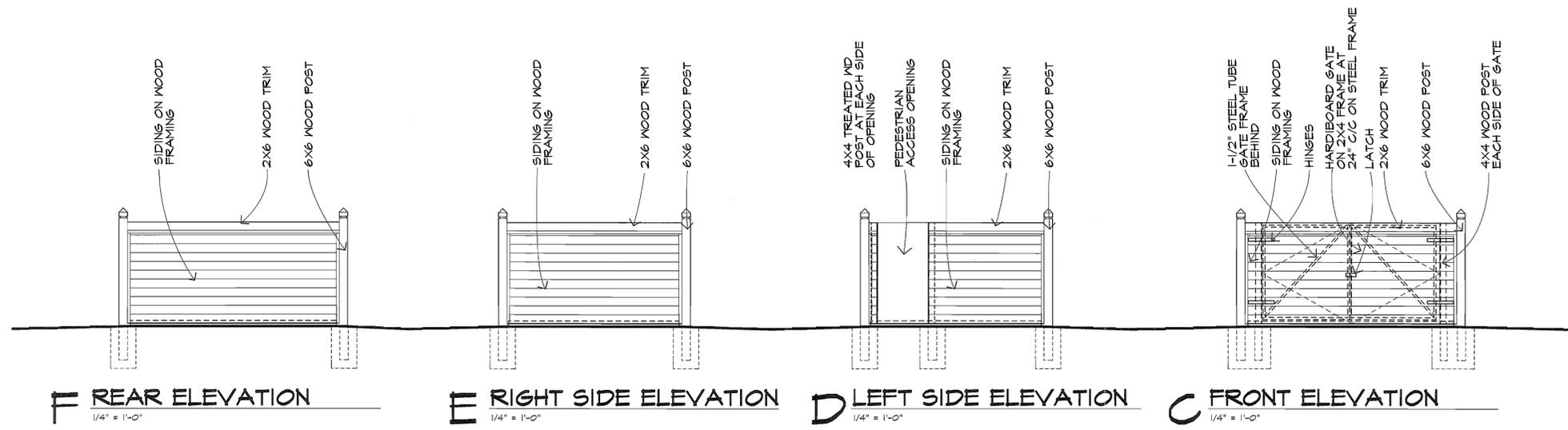
SHEET TITLE:

SITE PLAN

SHEET NUMBER:

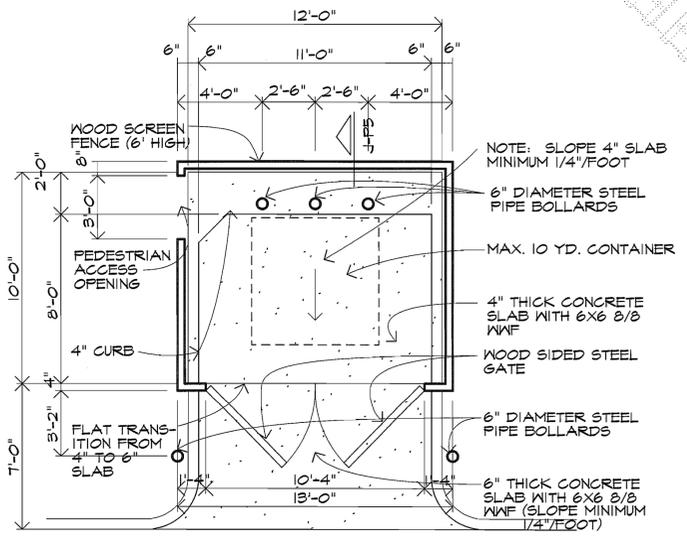
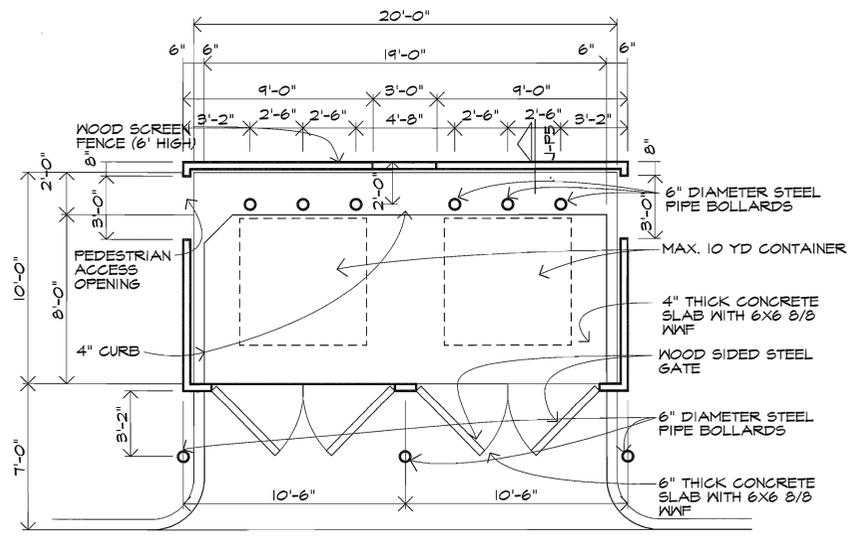
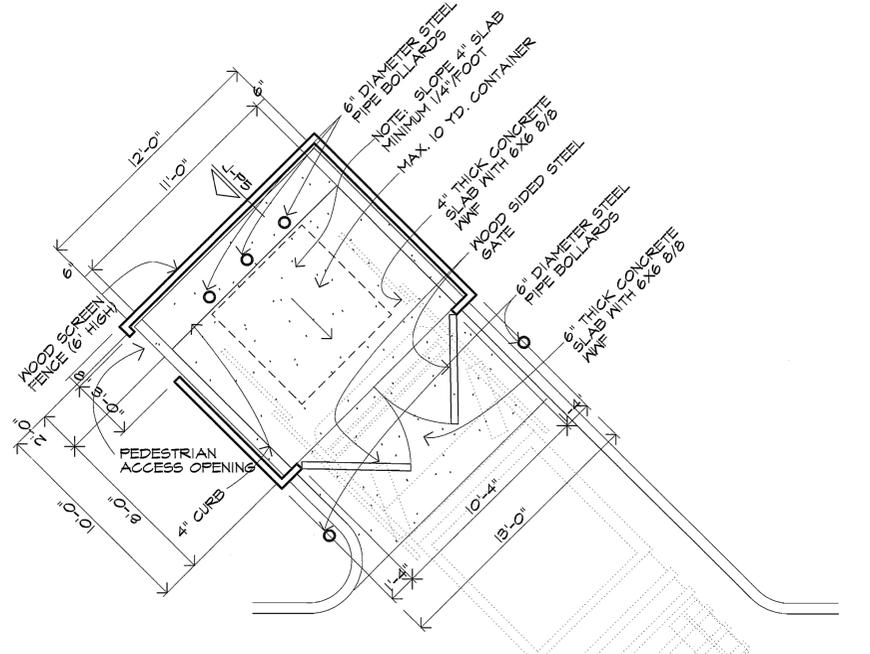
P1





**CONTAINERS (BASED UPON BFI)**

CONTAINER DESCRIPTION	CONTAINER DIMENSIONS		
	LENGTH	WIDTH	HEIGHT
TWO YARD	6'-0"	3'-0"	3'-4-1/4"
THREE YARD	6'-0"	3'-6"	4'-0-1/2"
FOUR YARD (TOP LOADING)	6'-0"	4'-6"	4'-0-1/2"
FOUR YARD (APARTMENT)	6'-0"	3'-6"	5'-3"
FIVE YARD (TOP/END LOADING)	6'-0"	4'-6"	5'-0-3/4"
SIX YARD (LOW TOP/END LOADING)	6'-0"	5'-6"	5'-0"
SIX YARD (HIGH TOP/END LOADING)	6'-0"	4'-6"	6'-0-1/2"
EIGHT YARD (TOP/END LOADING)	6'-0"	5'-6"	6'-8"
TEN YARD (TOP/END LOADING)	6'-0"	6'-0"	7'-8"



REVISIONS

Chateau Villas

Bixby, OK  
Black Gold Group, LLC

PROJECT: LOCATION: CLIENT:

SEAL:



**NOTICE OF COPYRIGHT**  
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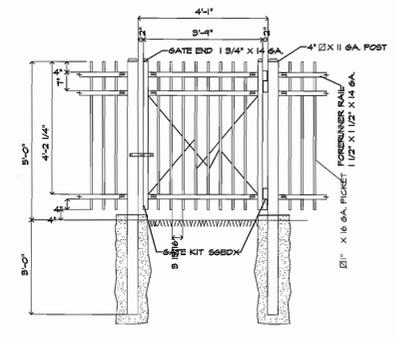
**Architects Collective**  
4200 EAST SKELLY DRIVE SUITE 750  
TULSA, OKLAHOMA 74135  
918/492-2987

PROJECT NUMBER:  
DATE: 3/13/15  
SHEET TITLE:  
TRASH ENCLOSURE

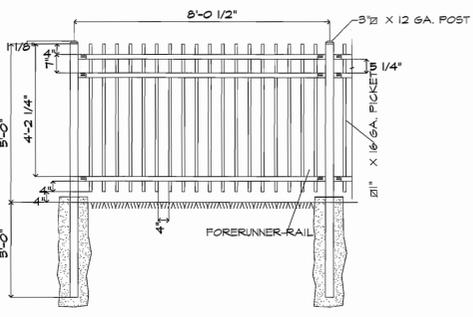
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P5

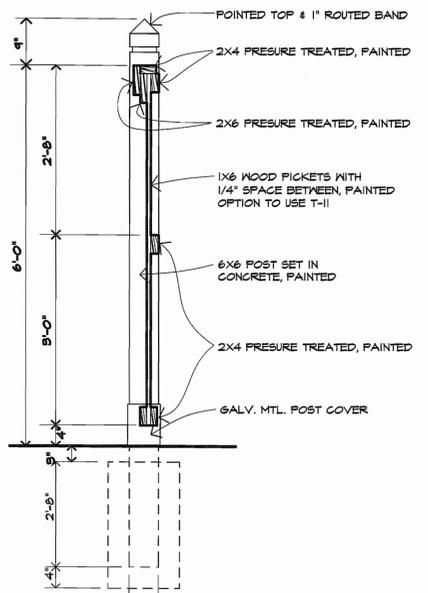
**M METAL FENCE GATE**  
3/8" = 1'-0"



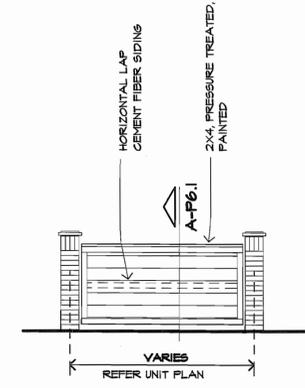
**L METAL FENCE RUN**  
3/8" = 1'-0"



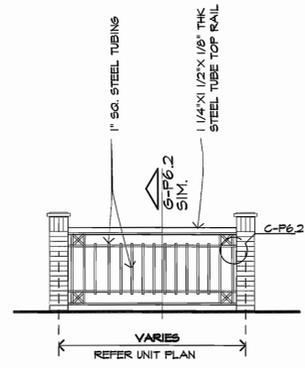
**L WOOD FENCE SECTION**  
3/4" = 1'-0"



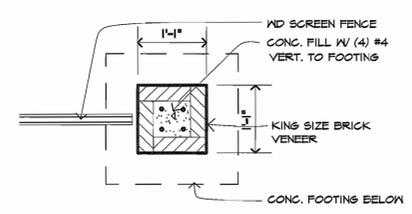
**G PATIO SCREEN ELEV.**  
1/4" = 1'-0"



**E PATIO SCREEN OPTION**  
1/4" = 1'-0"

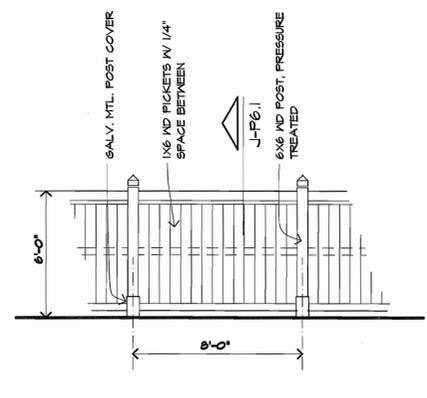


**D COLUMN PLAN**  
3/4" = 1'-0"

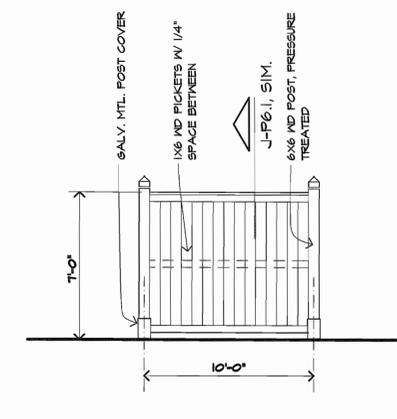


THIS COLUMN TO BE USED AT ALL PATIO SCREENS, UNLESS OTHERWISE NOTED ON SITE PLAN.

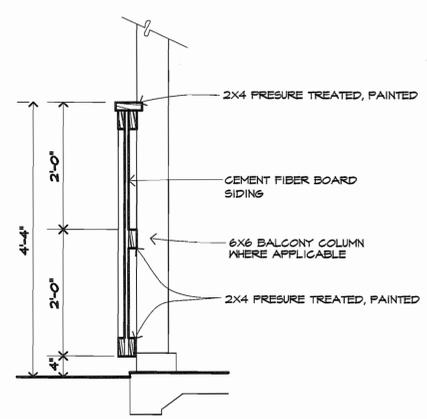
**F WOOD FENCE ELEV.**  
1/4" = 1'-0"



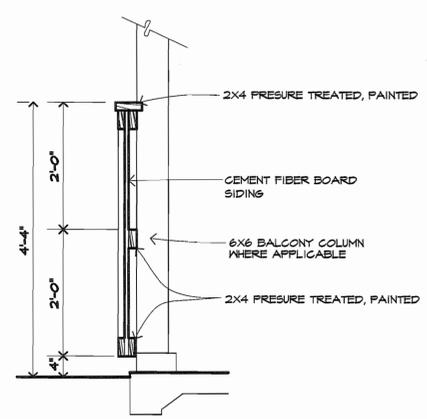
**C METER SCREEN ELEV.**  
1/4" = 1'-0"



**B PATIO SCREEN ELEV.**  
1/4" = 1'-0"

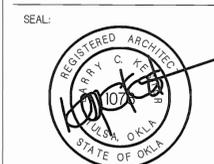


**A PATIO SCREEN SECTION**  
3/4" = 1'-0"



- KEYED NOTES:**
- 2 SITE WORK
  - 2.1 CONCRETE SIDEWALK, WIDTH AS NOTED ON PLAN
  - 3 CONCRETE
  - 3.1 FOUNDATION SYSTEM, REFER TO STRUCTURAL DRAWINGS
  - 3.2 4" CONCRETE SLAB WITH 6#6, 10'0" WELDED WIRE MESH OVER WATERPROOF MEMBRANE ON MINIMUM 4" CRUSHED ROCK
  - 3.3 CONCRETE SLAB WITH 6#6, 10'0" WELDED WIRE MESH OVER WATERPROOF MEMBRANE ON 4" SAND CUSHION
  - 3.4 FLOORCEILING ASSEMBLY - REFER ASSEMBLY LEGEND
  - 3.5 BREASTWAY FLOORCEILING ASSEMBLY - REFER ASSEMBLY LEGEND
  - 4 MASONRY
  - 4.1 8" CONCRETE RETAINMENT WALL WITH WATERPROOFING MEMBRANE 1 MILK PROTECTIVE BOARD ON EXTERIOR FACE AND WITH 5#8 @ 16" BOARD ON 1/4" FURRING AT 24" O.C. WITH 5#4 RIGID INSULATION ON EXTERIOR FACE (SEE FOUNDATION DETAIL FOR REINFORCEMENT)
  - 4.2 8" CONCRETE STEM WALL, PAINT ALL EXPOSED SURFACES. ALL PORTIONS OF CONCRETE BLOCK STEM WALLS TO BE COVERED WITH SIDING ON FURRING STRIPS FOR ANY AREA TALLER THAN 8' ABOVE GRADE
  - 4.3 16" SQUARE BRICK COLUMN ON 24" SQUARE FOOTING, BRICK VENEER, REFER BELOW PLANS
  - 4.4 BRICK SOLDIER COURSE (COLOR MAY DIFFER FROM FIELD BRICK COLOR) ALL 2400
  - 4.5 BRICK ROWLOCK COURSE
  - 5 METALS
  - 5.1 STEEL FRAMED STAIR, WITH PRECAST CONCRETE TREAD
  - 6 FLOOR AND PLASTER
  - 6.1 TREATED 2X4 SOLID PLATE 1/2" ROUND X 12" LONG AS AT 48" O.C. OR APPLICABLE CODE APPROVED THE DOWN CLIP, INSTALL ANCHOR BOLT AT EACH END OF ALL SHORT WALLS WITH A MINIMUM OF TWO 3/8" PER SECTION OF WALL
  - 6.2 STRUCTURAL GRADE THERMAL FLY SHEATHING (TYPICAL ALL LOCATIONS)
  - 6.3 TRUSSED RAFTERS AT 24" O.C.
  - 6.4 1/4" TRUSS BRIDGING AT TOP AND BOTTOM CHORDS AND X-BRIDGING AT LAST 8 SPANS
  - 6.5 X-BRIDGING BETWEEN FLOOR JOISTS AT MAXIMUM 8' SPACING AT CONTRACTOR'S OPTION USE SOLID 2X BRIDGING
  - 6.6 2X10 BALCONY JOISTS (MOISTURE RESISTANT), JOIST BRANER
  - 6.7 2X4 DECKING (MOISTURE RESISTANT), 2X6 TRUSSES MAY BE USED AT CONTRACTOR'S OPTION 5/4" PLYWOOD ON FLOOR JOISTS OR FLOOR TRUSSES WITH 5/2" BATT INSULATION DOUBLE FLOOR TRUSSES UNDER WALLS PARALLEL TO TRUSS INSTALL BRACKETS TO ALL JOISTS OF OPENING AT CONTIGUOUS FLOOR SLABING
  - 6.8 2X4 RAFTER EXTENSIONS
  - 6.9 EXTERIOR WALL ASSEMBLY - REFER ASSEMBLY LEGEND, PSI
  - 6.10 SEALANT JOINT AT ALL INTERSECTIONS OF SIDING TO TRIM
  - 6.11 1/2" PLYWOOD
  - 6.12 4X4 WOOD POST
  - 6.13 2 X 4 STUDS AT 16" O.C.
  - 6.14 3/4" ROUGH SAWN PLYWOOD SOFFIT WITH 1X2 TRIM 3/4" PLYWOOD FINE STOP OR 2X BRIDGING
  - 6.20 2 X 12 RM JOIST OR EQUIVALENT
  - 6.21 WOOD CHAIRNAIL AT DRIVING ONLY
  - 6.22 PREPARE WOOD FIREPLACE MANTLE AND SURROUND
  - 6.23 CEMENT FIBERBOARD FROM OVERHANG SUB BACKER SOFFIT, CEMENT FIBERBOARD
  - 6.24 WOOD TRIM
  - 6.25 NOT USED
  - 6.26 2X4 JOIST, DECKING, ALL 1:1 PRESSURE TREATED WOOD TO BE CONTINUOUS AT ALL SIDING
  - 6.27 PAINTED WOOD SILL OF DEEP AT WINDOW SILL HEIGHT
  - 6.28 CEILING ASSEMBLY - REFER ASSEMBLY LEGEND, PSI
  - 6.29 2X2 TRUSSER
  - 6.30 FUR DOWN SHADED AREA TO 1'-0" ABOVE FINISH FLOOR LEVEL
  - 6.31 SLOPE CEILING WITH 5/12 PITCH TYPICAL AT ALL TOP FLOOR LIVING ROOM CEILING AND BEDROOM CEILING AS SHOWN ON UNIT PLAN
  - 6.32 STAIR CEILING CHANGES
  - 6.33 WALL CABINET AND SHELVES ABOVE
  - 6.34 BASE CABINET AND SHELVES
  - 6.35 DRAWERS TYPICAL
  - 6.36 4X4 WOOD SHELVES, 12" DEEP TYPICAL
  - 6.37 NOT USED
  - 6.38 BREASTWAY WALL ASSEMBLY - REFER ASSEMBLY LEGEND, PSI
  - 7 THERMAL AND MOISTURE PROTECTION
  - 7.1 ROOF ASSEMBLY - REFER ASSEMBLY LEGEND, PSI
  - 7.2 BATT OR BLOWN INSULATION (R-30) TYPICAL ALL ROOF AREAS
  - 7.3 BATT INSULATION (R-11)
  - 7.4 SEALANT
  - 7.5 BATT INSULATION (R-5) TYPICAL ALL EXTERIOR WALLS
  - 7.6 FURFISHED GUTTER AND DOWNSPOUT WITH SPLASH BLOCK
  - 7.7 EXTERIOR FINISHED TO MATCH SHINGLES
  - 7.8 24 GAUGE PAINTED GALV METAL CAP WITH NERVED EDGES
  - 7.9 26 GAUGE PAINTED GALV METAL STEP FLASHING
  - 7.10 INSULATION TO BE CONTINUOUS AT ALL SIDING ENDS AT CHASE WALL TYPICAL
  - 7.11 POLY VAPOR BARRIER TREATED AT PERIMETERS OF ALL WINDOWS AND DOORS
  - 7.12 WALL TO RECEIVE BATT INSULATION
  - 7.13 SADDLE TYPICAL ALL PLEDO CHIMNEYS, FLASHING LET UNDER THRESHOLD
  - 8 DOORS AND WINDOWS
  - 8.1 1'-0" X 2'-6" ATTIC ACCESS, REFER BLOCK PLAN
  - 8.2 DIVIDED LITE THERMAL GLAZED ALUMINUM WINDOW IN WHITE ALUMINUM FINISH
  - 8.3 PAINTED, INSULATED METAL GLAD PANELIZED DOOR, IN SPRING LOADED BUTTS, ALL DOORS TO HAVE DOOR VENER AND HAVE FOAM CORE
  - 8.4 PAINTED, FILL GLASS IN DIVIDED LITE METAL GLAD INSULATED PATIO DOOR, INSTALL STORM DOOR OR TRIPLE GLAZING WHERE REQUIRED, USE SAFETY GLASS
  - 8.5 DOOR BUG AND TRIP
  - 8.6 PAINTED WOOD SILL AT WINDOW SILL HEIGHT
  - 8.7 THRESHOLD SET IN SEALANT
  - 9 FINISHES
  - 9.1 ONE LAYER OF 1/2" 9/16" RD ATTIC DRAFT STOPPING ABOVE AND IN LINE WITH ALL TENANT SEPARATION WALLS
  - 9.2 TENANT SEPARATION WALL ASSEMBLY - REFER ASSEMBLY LEGEND, PSI
  - 9.3 EXTENT OF WALL/PAPER BORDER IN KITCHEN AND BATH ONLY
  - 9.4 5/8" 9/16" BOARD ON 2X4 STUDS
  - 9.5 5/8" FIBERGLASS 9/16" BOARD
  - 9.6 1/2" 9/16" BOARD
  - 9.7 CHANNEL AT CORNER
  - 9.8 8X8 CERAMIC TILE AT 1/8" ENCLOSURE
  - 9.9 CERAMIC TILE AT 1/8" ENCLOSURE
  - 9.10 CERAMIC TILE AT 1/8" ENCLOSURE
  - 9.11 CERAMIC TILE AT 1/8" ENCLOSURE
  - 9.12 CERAMIC TILE AT 1/8" ENCLOSURE
  - 9.13 CERAMIC TILE AT 1/8" ENCLOSURE
  - 9.14 CERAMIC TILE AT 1/8" ENCLOSURE
  - 9.15 CERAMIC TILE AT 1/8" ENCLOSURE
  - 9.16 CERAMIC TILE AT 1/8" ENCLOSURE
  - 9.17 CERAMIC TILE AT 1/8" ENCLOSURE
  - 9.18 CERAMIC TILE AT 1/8" ENCLOSURE
  - 9.19 CERAMIC TILE AT 1/8" ENCLOSURE
  - 9.20 CERAMIC TILE AT 1/8" ENCLOSURE
  - 10 SPECIALTIES
  - 10.1 EXHAUST GRILLE IN HARDWARE CLOTH COVER
  - 10.2 PAINTED WOOD OR GALV MTL ROOF VENTILATOR COVER IN BACKING GREEN, SIZE TO BE IN ACCORDANCE WITH CODE REQUIREMENTS
  - 10.3 MAIL BOX
  - 10.4 TOWEL BAR AT 4'-6" A.F.F., PROVIDE 2X6 BLOCING FLAT IN WALL
  - 10.5 GRAB BAR AND SOAP HOLDER, TYPICAL ALL TUB ENCLOSURES, PROVIDE 2X6 BLOCING FLAT IN WALL 1/4" POLISHED PLATE MIRROR WITH MAXIMUM GAP OF 1" AT PERIMETER OF MIRROR
  - 11 EQUIPMENT
  - 11.1 MICROWAVE OVEN / RANGE HOOD COINATION
  - 11.2 REFRIGERATOR IN ICEBANK
  - 11.3 DISHWASHER
  - 11.4 HOT RANGE
  - 11.5 WASHER (N.G.)
  - 11.6 DRYER (N.G.)
  - 12 MECHANICAL
  - 12.1 PLUMBING ACCESS PANEL, TYPICAL ALL TUB / SHOWER LOCATIONS
  - 12.2 HOT WATER HEATER ACCESS PANEL, TYPICAL AT WATER HEATER LOCATIONS
  - 12.3 EXHAUST FAN VENT THROUGH ROOF AT TOP FLOOR, THROUGH WALL VIA FLOOR FRAMING SPACE AT ALL OTHER FLOORS, TERMINATING DEVICE TO HAVE HARDWARE CLOTH COVER
  - 12.4 CONDENSING UNITS ON CONC. PAD, PRECAST OR PREFORMED PAD, ALL RETURN LINES TO BE COMPLETELY CONCEALED FROM VIEW
  - 12.5 DRYER VENT, VENT THRU ROOF AT TOP FLOOR, THRU WALL VIA FLOOR JOIST SPACE AT ALL OTHER FLOORS, TERMINATING DEVICE TO HAVE HARDWARE CLOTH COVER
  - 12.6 ROOF-CUT AND CONDENSATE DRAIN FOR WATER HEATER
  - 12.7 ROOF MOUNTED ATTIC VENTS PER APPLICABLE CODE REQUIREMENTS
  - 12.8 WATER METERS
  - 12.9 PREINSULATED HANGER HOOK-UP BOX, PROVIDE HOT AND COLD WATER SUPPLY AND DRAIN ALTERNATE STOP VALVE
  - 12.10 RANGE HOOD VENT, VENT THRU ROOF AT TOP FLOOR, THRU WALL VIA FLOOR JOIST SPACE AT ALL OTHER FLOORS, TERMINATING DEVICE TO HAVE HARDWARE CLOTH COVER
  - 12.11 ENCASE SPRINKLER PIPES IN RIGID INSULATION AT ALL BREASTWAY LOCATIONS, REFER FIRE SPRINKLER PLANS
  - 13 ELECTRICAL
  - 13.1 ELECTRICAL METERS, TYPICAL LOCATION
  - 13.2 J-BOX FOR RANGE HOOD ON SEPARATE CIRCUIT-120V
  - 13.3 JUNCTION BOX FOR DISHWASHER - 120V
  - 13.4 JUNCTION BOX FOR DISPOSAL - 120V
  - 13.5 JUNCTION BOX FOR FURBAGE - 240V
  - 13.6 JUNCTION BOX FOR WATER HEATER - 240V
  - 13.7 LIGHT FIXTURE TYPICAL DESIGNATION
  - 13.8 ELECTRIC FURNACE
  - 13.9 ELECTRIC WATER HEATER

**Chateau Villas**  
PROJECT: LOCATION: CLIENT:  
Bixby, OK Black Gold Group, LLC



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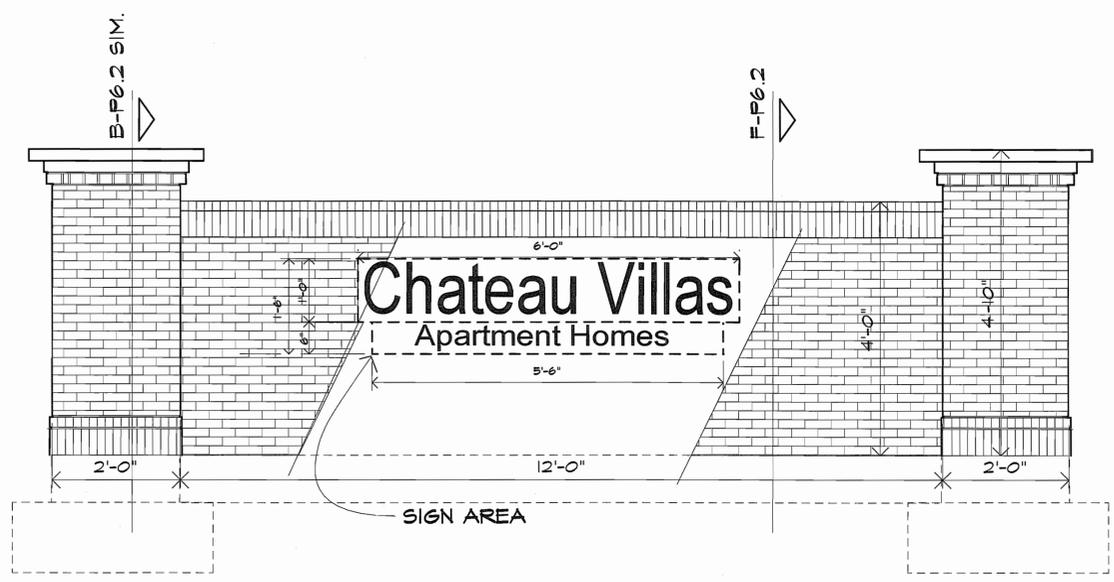
**Architects Collective**  
4200 EAST SKELLY DRIVE SUITE 750  
TULSA, OKLAHOMA 74135  
918/492-2987

PROJECT NUMBER: DATE: 3/13/15

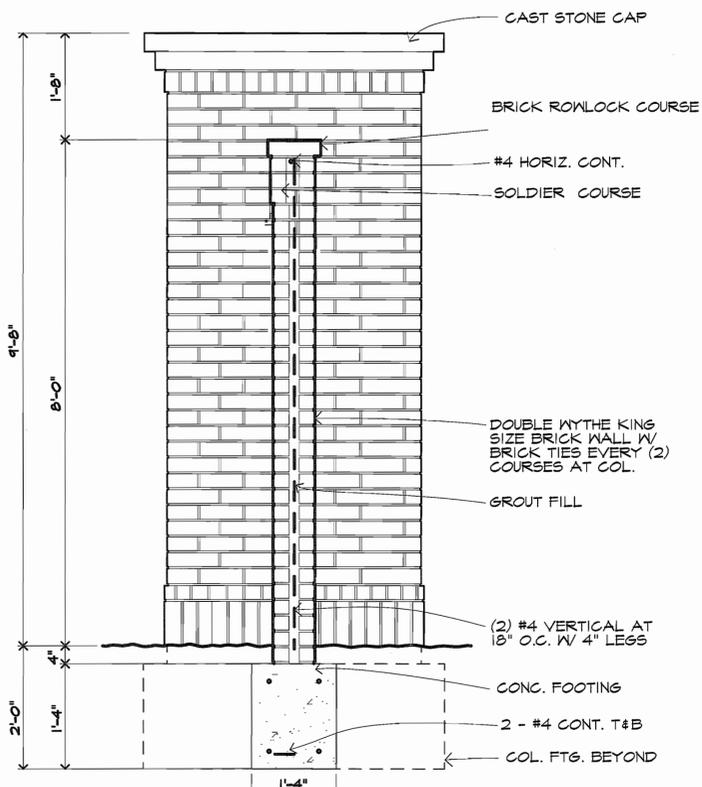
SHEET TITLE: FENCE DETAILS

SHEET NUMBER:

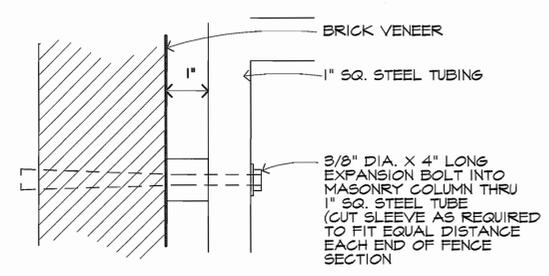
P6.1



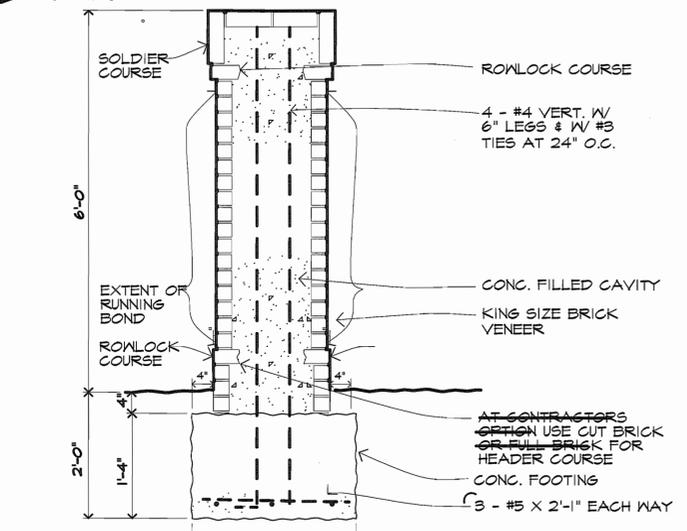
**J MAIN ENTRY SIGN ELEVATION**  
3/8" = 1'-0"



**I BRICK WALL SECTION**  
3/4" = 1'-0"

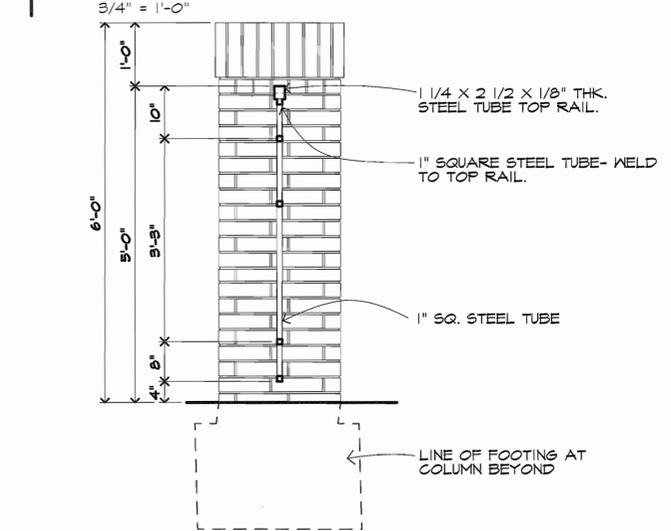


**C FENCE CONNECTION DTL.**  
6" = 1'-0"

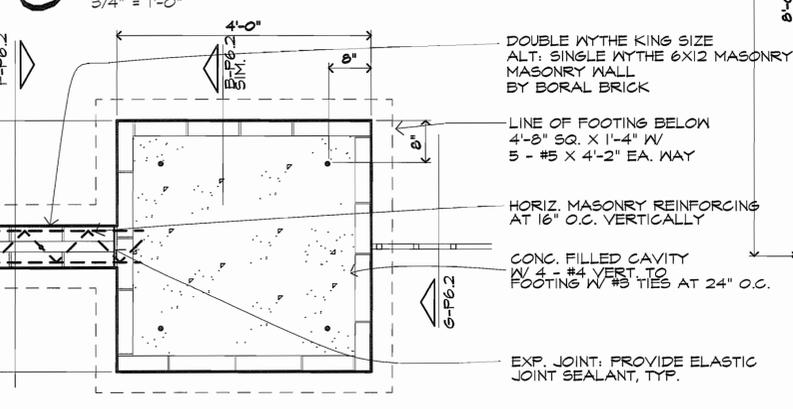


**B COLUMN SECTION**  
3/4" = 1'-0"

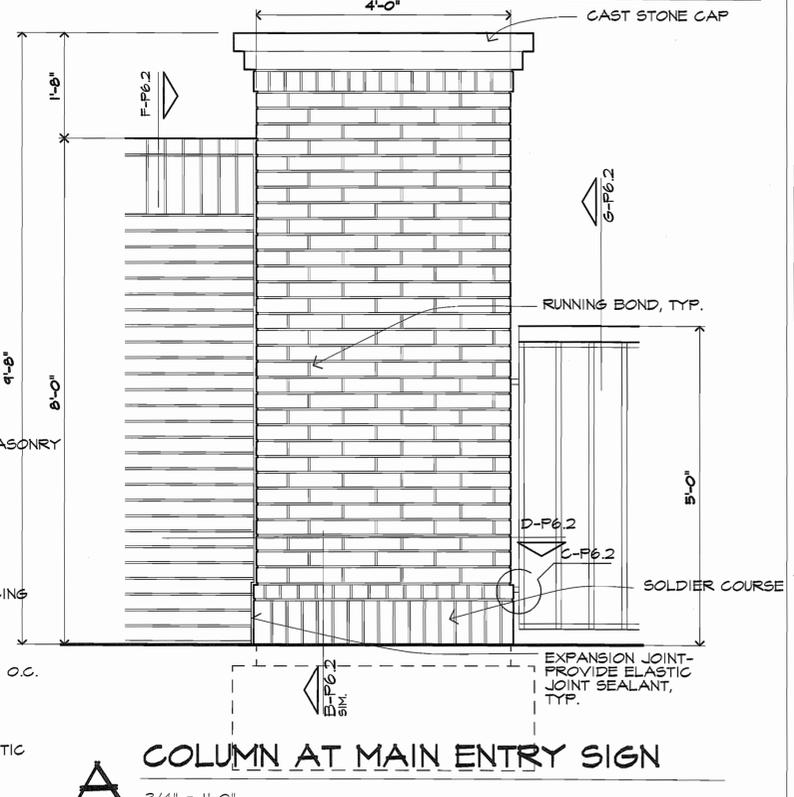
FOR EXACT FOOTING DEPTH, REFER FOUNDATION DETAILS



**G METAL FENCE SECT.**  
3/4" = 1'-0"

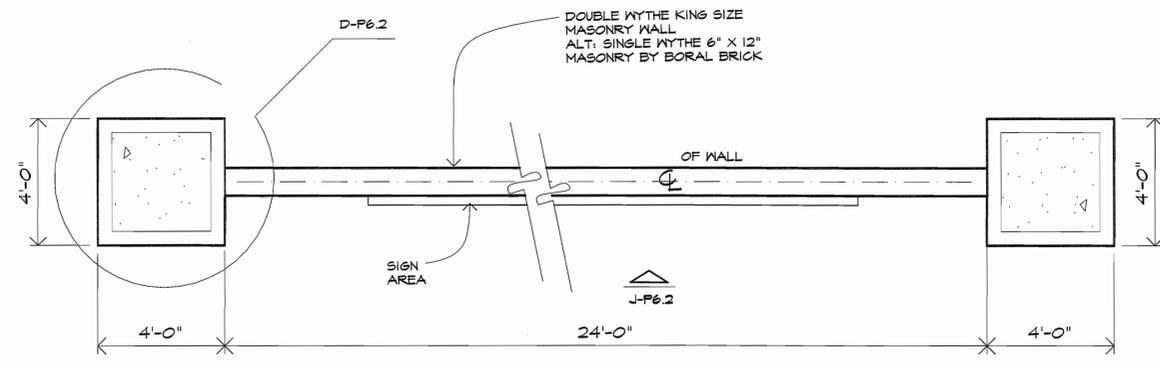


**D COLUMN PLAN AT MAIN ENTRY SIGN**  
3/4" = 1'-0"

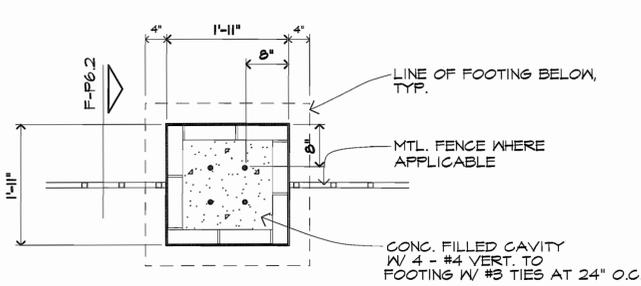


**A COLUMN AT MAIN ENTRY SIGN**  
3/4" = 1'-0"

NOTE:  
ALL BRICK IS KING SIZE  
ACTUAL SIZE: 2 5/8" X 3" X 1 5/8"  
NOMINAL FACE SIZE: 3" X 10"



**H MAIN ENTRY SIGN PLAN**  
3/8" = 1'-0"



**E COLUMN PLAN, TYP.**  
3/4" = 1'-0"

REVISIONS

**Chateau Villas**

**Bixby, OK**  
Black Gold Group, LLC

PROJECT: LOCATION: CLIENT:

SEAL:

REGISTERED ARCHITECT  
HARRY C. KAY, JR.  
TULSA, OKLA.  
STATE OF OKLA.

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Architects Collective  
4200 EAST SKELLY DRIVE SUITE 750  
TULSA, OKLAHOMA 74135  
918/492-2987

PROJECT NUMBER:  
DATE: 3/13/15  
SHEET TITLE:  
FENCE DETAILS  
SHEET NUMBER:  
**P6.2**



Cement Fiberboard  
Masonry Material Siding

Architectural Asphalt Shingles

45'

Concrete Stone Veneer Masonry

BVB2 3  
NO SCALE

# Chateau Villas

Bixby Oklahoma

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Concrete Stone Masonry

BVB2 3/4  
NO SCALE

Brick Veneer Masonry

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Chateau Villas  
Bixby Oklahoma





Cement Fiberboard Masonry Material Siding

Architectural Asphalt Shingles

45'0"

Concrete Stone Masonry Material

A1A2 3

NO SCALE

Brick Veneer Masonry

# Chateau Villas

Bixby Oklahoma

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Cement Fiberboard Masonry Material Siding

Architectural Asphalt Shingles

50'

Concrete Stone Masonry Material

A1/A2 3/4  
NO SCALE

Brick Veneer Masonry

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# Chateau Villas

*Bixby* *Oklahoma*





Architectural Asphalt Shingles

Cement Fiberboard Masonry Material

Brick Veneer Masonry

Overhead Door

A3 B3 2 BLDG  
NO SCALE

Concrete Stone Masonry Material

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# Chateau Villas

*Bixby* *Oklahoma*





EXTERIOR VIEW  
NO SCALE

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# Chateau Villas

Bixby Oklahoma





# Chateau Villas

Bixby Oklahoma



F10

F11

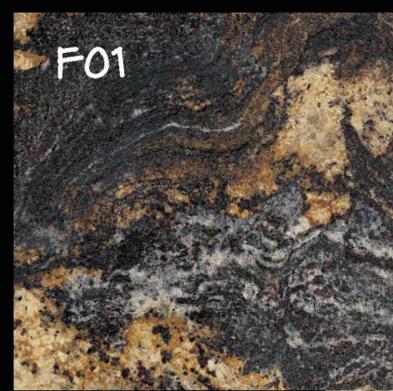
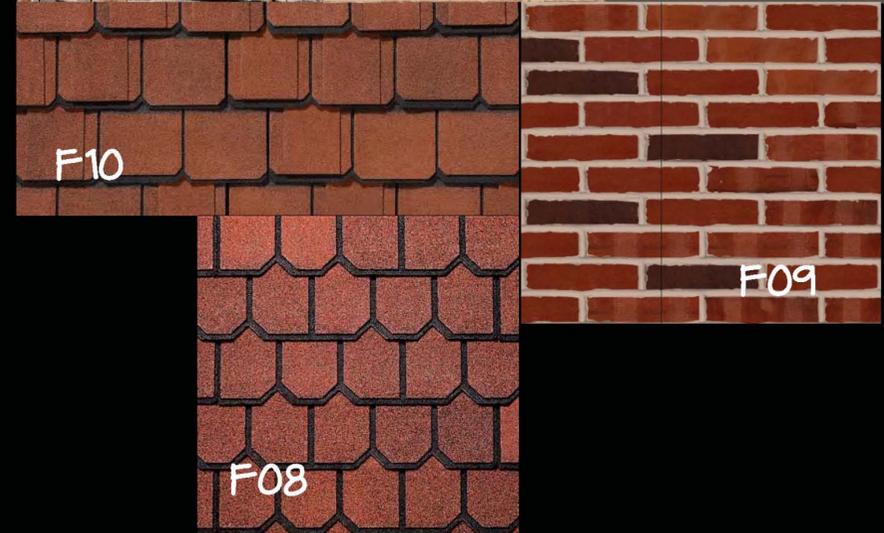
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F10

F09

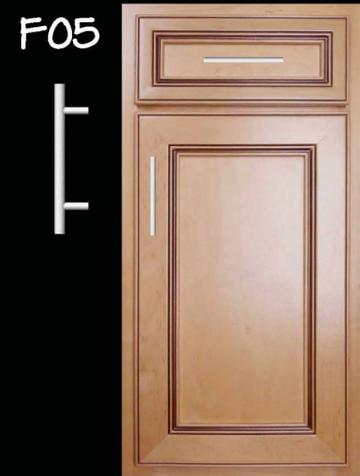
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F01



F03

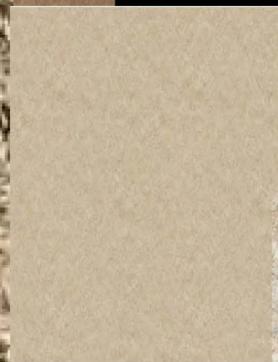


F05

F04



F02



F06



F07



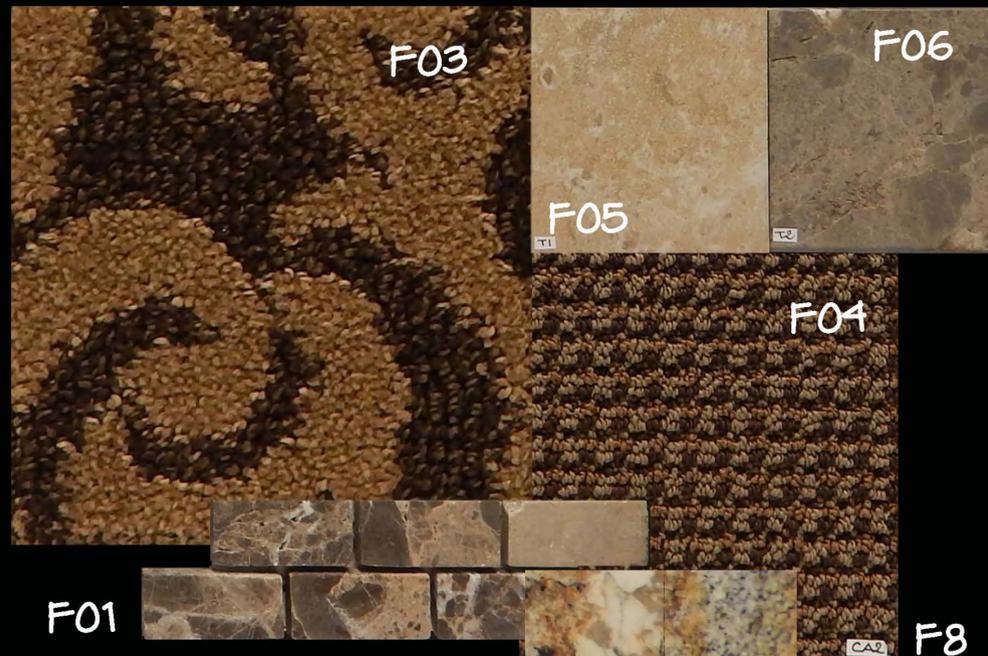
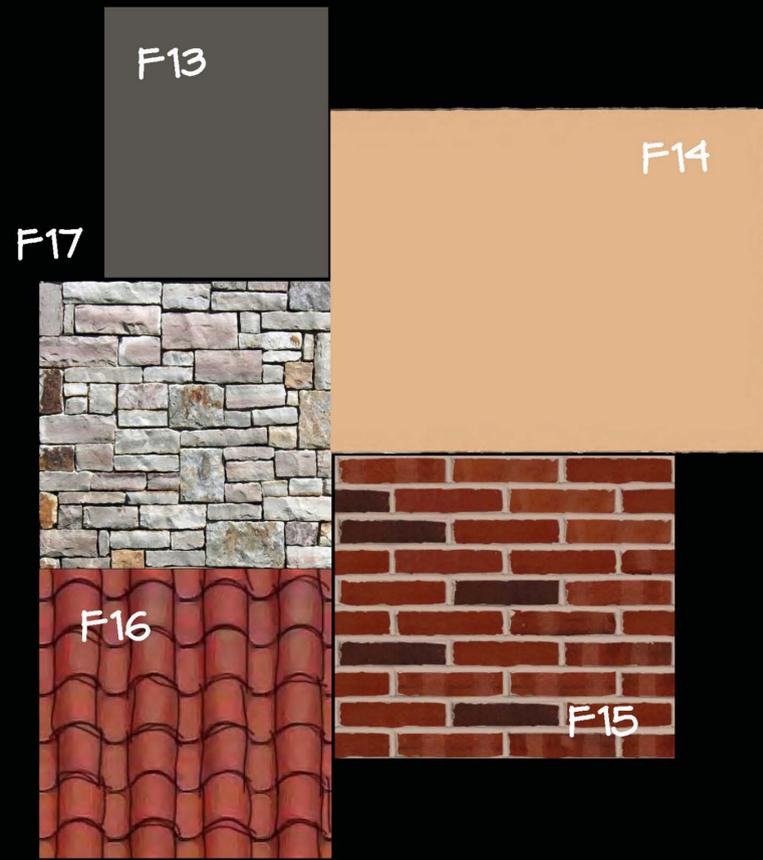
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# Chateau Villas

Bixby Oklahoma



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# CITY OF BIXBY

P.O. Box 70  
116 W. Needles Ave.  
BIXBY, OK 74008  
(918) 366-4430  
(918) 366-6373 (fax)

## Engineering Department Memo

**To:** Erik Enyart, City Planner

**From:** Jared Cottle, PE *JWC*

**CC:** Bea Aamodt, PE  
File

**Date:** 03/03/15

**Re:** Chateau Villas PUD 81  
Major Amendment #1

---

### General Comments:

1. Many of the comments below are a reiteration of comments presented on the original PUD Application, as the comments are still applicable.

### Grading/Drainage/Paving Comments:

2. This project is located within the Fry Creek drainage basin. Fee-in-lieu for storm water will be required.
3. A Drainage Report addressing all on-site and off-site runoff conveyed across the property will be required.
4. The drainage plan must address the location and number of discharge points. The approved HRA Drainage Plan and FEMA submittal consisted of a single discharge into the Fry Tributary. The final hydrologic model utilized will need to be submitted to FEMA for approval with the LOMR. Any changes or modifications required by FEMA will need to be completed by the Developer prior to final project approval.
5. Cross-sections of the channel and adjacent property must be provided for verification prior to LOMR submittal. The cross-sections must include the original design in the background along with the as-built conditions.
6. Site access and circulation must be reviewed and approved by the Fire Marshall.
7. A soils report including pavement design recommendations based on the City Engineering Design Manual will be required for proposed streets.

### Sanitary Sewer Comments:

8. An updated conceptual layout reflecting the changes to the site plan will be required.
9. Manholes & lines should lie outside of parking areas, avoiding long, oblique crossings under drives, and generally should be located on the opposite side of the street from the water mains.
10. Connection(s) to the proposed Byrnes Mini-storage on the south could reduce the overall system length required. (*J.R. Donelson is the local contact for the project.*)

38

# CITY OF BIXBY

P.O. Box 70  
116 W. Needles Ave.  
BIXBY, OK 74008  
(918) 366-4430  
(918) 366-6373 (fax)

## **Water Comments:**

11. An updated conceptual layout reflecting the changes to the site plan will be required.
12. Lines should lie outside of parking areas, avoiding long, oblique crossings under drives, and generally be located on the opposite side of the street from the sanitary sewer.
13. Connection(s) to the proposed Byrnes Mini-storage on the south could reduce the overall system length/loops required. (*J.R. Donelson is the local contact for the project.*)
14. All valves and fitting should be located outside of paved areas.
15. Fire hydrant locations must be approved by the Fire Marshall.

## Erik Enyart

---

**From:** Erik Enyart  
**Sent:** Tuesday, March 24, 2015 11:26 AM  
**To:** Fire Marshal  
**Cc:** Bryan Wood  
**Subject:** RE: BSP 2015-04 – "Chateau Villas" – application materials received 03-19-15

**Importance:** High

To be clear, the "B1/B2 3/4" elevation drawing shows a 51' height with a chimney extending slightly above – is 50' hard and fast or can they be approved as per this elevation? They also originally requested to go to 54' just to have some flexibility on the final design. I just need to know what to write in the report. Thanks,

Erik

---

**From:** Fire Marshal  
**Sent:** Tuesday, March 24, 2015 11:20 AM  
**To:** Erik Enyart  
**Cc:** Bryan Wood  
**Subject:** RE: BSP 2015-04 – "Chateau Villas" – application materials received 03-19-15

Erik,

The fire department is ok with a 2 foot increase to the City of Bixby's 48 foot residential height limitations. The buildings proposed shall be no more than 50 feet in height, and all items shall be addressed in the letter attached by Larry Kester with Architects Collective. One requirement that is not mentioned in Mr. Kester's letter, all open ended corridors and stairways shall be sprinkled. There may very well be further requirements when architectural plans are submitted to this office.

Thanks,

Joey Wiedel/Fire Marshal  
City of Bixby Fire Dept.  
116 W. Needles  
Bixby, OK 74008  
PH: (918)366-0436  
F: (918)366-4416

---

**From:** Erik Enyart  
**Sent:** Tuesday, March 24, 2015 10:58 AM  
**To:** Fire Marshal  
**Subject:** BSP 2015-04 – "Chateau Villas" – application materials received 03-19-15

As discussed – thanks,

Erik Enyart, AICP, City Planner  
City of Bixby, PO Box 70  
Bixby, OK 74008

Ph. (918) 366-0427  
Fax (918) 366-4416  
[eenyart@bixby.com](mailto:eenyart@bixby.com)  
[www.bixby.com](http://www.bixby.com)



We ~~are~~ will  
also sprinkle  
the breez-  
ways,

Project: Chateau Villas  
Date: 3/23/15  
From: Larry C. Kester  
To: Joey Wiedel  
City of Bixby Fire Marshal

Fax  
 Mail  
 Overnight

Joey,

As a follow up to our last Friday's discussions, I offer the following memo of understanding. During our meeting we discussed three basic areas of concern as follows.

1. Site PUD requirements and Fire Department Access.

Each building will be evaluated and designed to provide a maximum of 150' fire hose lay to every point on each building. In some cases, as short fire lane will be provided between the ends of the buildings to achieve this 150' hose lay.

All drives will be a minimum of 26' in width and designed to allow fire truck access. This is except the one way drives at the boulevard entry.

There will be a secondary emergency vehicle fire access road on the North side of the property out to 121st street, which may be realigned at some time in the future.

The vehicular entry gates will be designed to allow fire department access, either through siren activation or other acceptable means. Each will also have a Knox switch.

An acceptable means of providing information with regard to which building activated the fire alarm system will be considered, reviewed and designed.

A single fire/domestic water line will be provided to each building, designed in accordance with NFPA 13R. Each building will have an accessible FDC also in accordance with NFPA 13R.

2. Site Code Requirements. We discussed several issues pertaining to the building code and our responses were as follows.

Each building will be evaluated for proximity to other buildings and to property lines. The associated partial walls, if necessary, will be designed as a one hour rated wall, with all openings considered and protected if necessary.

Where windows are required to be protected, we will use a fire sprinkler head to achieve this protection.

3. Building Code Requirements. We discussed several issues pertaining to the building code and our responses were as follows.

The apartment buildings will be classified as use group R2, Multifamily and will be designed as a Type 4B construction classification with a NFPA 13R fire suppression system.

The buildings will be built with all 5/8" fireguard gyp board even though 4B does not require this.

The walls between dwelling units and the floor/ceiling assemblies will be one hour rated assemblies. The walls between dwelling units will be fire partitions.

Each Apartment building will have a structurally independent, two hour fire wall metal stud/drywall fire wall at the center of each building. Breezeways, i.e. open ended corridors, will be designed as a one hour rated fire barrier at all three story buildings and a two hour rated fire barrier at all four story buildings.

42

Each balcony will be protected with a fire sprinkler head.  
Should you have any questions, please feel free to call me.

Larry Kester

Larry Kester

413

# Memo

To: Erik Enyart, AICP, City Planner

From: Joey Wiedel

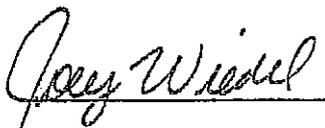
Date: 03-13-2015

Re: PUD 81 "Chateau Villas"

---

PUD 81 "Chateau Villas" are approved by this office with the following conditions:

1. Fire Hydrant spacing shall be no further than 300 feet apart. All hydrants shall be operable before construction begins.
  - Brand- AVK or Mueller , Color- Chrome Yellow
  - Fire line supporting the fire hydrants shall be looped.
2. All roads and Second means of access capable of supporting an imposed load of 75,000 pounds shall be in place before construction. (IFC 2009 Appendix D)
  - Turn Around shall conform to 2009 IFC Chapter 5 and Appendix D
  - Fire Lanes shall be installed per 2009 IFC Chapter 5 and Appendix D
  - Fire Apparatus access roads shall extend to within 150 feet of all portions of the facility or portions of the exterior walls. (2009 IFC 503.1.1)
  - Gate shall conform to City of Bixby Ordinance 9-7-2
    - Recommend radio transmitters for emergency vehicle access.
3. Each building shall be addressed independently to allow emergency response with Fire Alarm system.
4. Property Line – Whenever the exterior wall is located in excess of 11 feet and less than 30 feet at any point from the nearest property line, the wall shall have a fire resistance rating of at least one (1) hour per City of Bixby Ordinance 9-7-2.



Joey Wiedel

3/13/2015

Date

**Planned Unit Development No. 81**

**Zoning Case BZ-368**

**Chateau Villas PUD**

**October 18, 2013**

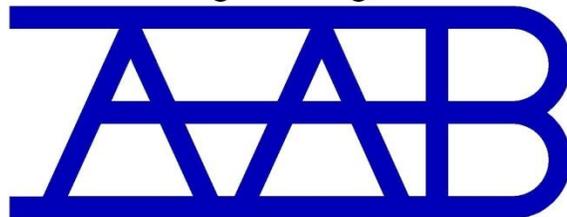
**Revised February 20, 2014**

**Owner:**

**Black Gold Group, LLC**

**Prepared By:**

**AAB Engineering, LLC**



**Engineering • Land Planning**

PO Box 2136 Sand Springs, OK 74063  
Office: (918) 514-4283 Fax: (918) 514-4288

## **Property Description and Development Concept**

PUD 81 is a Planned Unit Development overlay of existing OL, AG, and CS zoned parcels (see Exhibit A for existing zoning map) along the east side of Memorial Drive and along the south side of 121<sup>st</sup> Street South. This PUD is being filed in conjunction with a rezoning application (BZ-368) for approximately 10 acres of RM-3 with the balance of the medium intensity designated area being rezoned to CS. The OL zoning will remain on the balance of the property. The majority of the site is vacant land with the exception of a single story residential house along Memorial Drive on the western part of the site which will be razed and replaced with commercial uses. The south and east part of the site will consist of luxury multi-family development. The northern part of the site will consist of commercial shopping. The conceptual site plan for the project can be seen in the attached Exhibit B.

The multi-family component of development will provide a style of apartment living more often found in condominium developments than apartments. One, two, and three bedroom layouts will be intermixed throughout the project. The building architecture will be predominantly masonry with many articulations and balconies. It will feature numerous high-end amenities including a luxury club house, a fitness room, a business service area, opulent landscaping, a zero entry pool, and a separate kid's splash pool. The development aims to provide a truly unmatched apartment living experience.

The PUD consists of four development areas matching the above described development configuration (see the attached Exhibit C for development areas). Access to development area B will be provided via a privately maintained road through development area A and development area C.

## **PUD Legal Description**

See Attached Exhibit G for the full PUD Legal Description.

## Development Standards-Area A

### Land Area

Gross Lot Area	209,987 sq. ft.	4.83 ac
Net Lot Area	177,082 sq. ft.	4.03 ac

### Permitted Uses

Uses permitted by right (including all uses customarily accessory thereto) within the CS district except any Sexually Oriented Business (as defined by Zoning Code Section 11-7D-6) and Use Unit 19 shall be restricted to Hotel uses only. The following special exception uses shall also be allowed:

- Use Unit 15: Other Trades and Services
- Use Unit 17: Automotive and Allied Activities
- Use Unit 18: Drive-in Restaurants

**Maximum Building Square Footage** 56,600 sq. ft.

### Minimum Building Setbacks

South Memorial Drive Right of Way	50 FT
All other Boundaries	10 FT*

\*Building line shown shall be the minimum allowed and may be increased due to the proximity of the existing offsite structures and drainage facilities or as required for utility installation within perimeter easements.

**Maximum Building Height:** 30 FT

### Lighting

All parking and building mounted lighting shall be oriented to minimize light leaving the development. All lights shall face down and away from the boundary of the development. All pole mounted lighting shall be located to minimize light crossing property lines. No lighting standard shall exceed 30' in height as measured from the pavement to the light fixture. A lighting standard of 0 foot candles shall be enforced at the eastern boundary of Development Area D.

### Signage

Signs shall be limited to the following:

- One double sided project identification ground sign not exceeding 25' in height shall be permitted along Memorial Drive, provided it does not exceed 175 square feet of display surface area per side. Signage for both Development Areas A and B shall be allowed on this sign.
- One double sided ground sign not exceeding 20' in height shall be permitted for each lot along Memorial Drive, provided it does not exceed 100 square feet of display surface area per side.

- Wall signs shall be limited to 2 square feet per linear foot of building wall to which the signs are affixed.
- No roof or projecting signs shall be permitted.

**Screening**

All trash and mechanical areas shall be screened from public view of person standing at ground level. A fabric mesh with a minimum opacity of 95% may be allowed on enclosure doors. Separation between Development Area A and Development Area B will be provided by a security fence constructed of wrought iron with masonry columns. Limits and configuration of screening will be determined at detailed site plan submittal.

**Landscaping**

The PUD shall meet the requirements of Chapter 12 Landscape Requirements of the City of Bixby Zoning code in all other manners.

**Development Standards-Area B**

**Land Area**

Gross Lot Area	709,114 sq. ft.	16.28 ac
Net Lot Area	709,114 sq. ft.	16.28 ac

**Permitted Uses**

Uses permitted by right (including all uses customarily accessory thereto) within the following Use Units:

Use Unit 8: Multi-Family Dwelling and Similar Uses

**Maximum Number of Dwelling Units**

375 Units (Total Maximum)  
 75 Single Bedroom (Minimum)  
 300 Two+ Bedroom (Maximum)

**Minimum Building Setbacks**

South Development Area Boundary	15 FT
Eastern Line of Development Area D (Houser Addn)	75 FT
All other Boundaries	10 FT*

\*Building line shown shall be the minimum allowed and may be increased due to the proximity of the existing offsite structures and drainage facilities or as required for utility installation within perimeter easements.

**Maximum Building Height:**

48 FT

## **Building Façade**

All buildings shall be constructed of not less than 75% masonry materials from the ground to the top floor top plate. Proposed architecture elevations of each building proposed shall be submitted for council review at the time of detailed site plan.

## **Lighting**

All parking and building mounted lighting shall be oriented to minimize light leaving the development. All lights shall face down and away from the boundary of the development. All pole mounted lighting shall be located to minimize light crossing property lines. No lighting standard shall exceed 30' in height as measured from the pavement to the light fixture. A lighting standard of 0 foot candles shall be enforced at the eastern boundary of Development Area D.

## **Signage**

Signs shall be limited to the following:

- Wall signs shall be limited to 2 square feet per linear foot of building wall to which the signs are affixed. Wall signs shall be limited to the clubhouse and/or office building.
- No roof or projecting signs shall be permitted.
- Directional signage limited to 6 square feet of display surface area per side and customary parking and driveway signage will be permitted subject to Detailed Site Plan approval.

## **Screening**

All trash and mechanical areas shall be screened from public view of person standing at ground level. A fabric mesh with a minimum opacity of 95% may be allowed on enclosure doors. Screening and security separation between Development Area B and the surrounding properties/development areas will be provided through a mix of wood screening fences and wrought iron fence with masonry columns. Fencing between the adjacent mini storage uses may be omitted. A security fence constructed of wrought iron and masonry columns shall be allowed between Development Area B and adjacent Development Areas C & D. The limits and configuration of screening will be determined at detailed site plan submittal.

## **Landscaping**

Minimum internal landscaped space

15%

The PUD shall meet the requirements of Chapter 12 Landscape Requirements of the City of Bixby Zoning code in all other manners.

## Development Standards-Area C

### Land Area

Gross Lot Area	86,466 sq. ft.	1.99 ac
Net Lot Area	72,824 sq. ft.	1.67 ac

### Permitted Uses

Uses permitted by right (including all uses customarily accessory thereto) within the CS district except any Sexually Oriented Business (as defined by Zoning Code Section 11-7D-6) and Use Unit 19.

**Maximum Building Square Footage** 28,800 sq. ft.

### Minimum Building Setbacks

East 121 <sup>st</sup> Street South Right of Way	50 FT
All other Boundaries	10 FT

**Maximum Building Height:** 30 FT

### Lighting

All parking and building mounted lighting shall be oriented to minimize light leaving the development. All lights shall face down and away from the boundary of the development. All pole mounted lighting shall be located to minimize light crossing property lines. No lighting standard shall exceed 30' in height as measured from the pavement to the light fixture. A lighting standard of 0 foot candles shall be enforced at the eastern boundary of Development Area D.

### Signage

Signs shall be limited to the following:

- One double sided project identification ground sign not exceeding 25' in height shall be permitted along 121<sup>st</sup> Street, provided it does not exceed 175 square feet of display surface area per side. Signage for both Development Areas C and B shall be allowed on this sign.
- One double sided ground sign not exceeding 20' in height shall be permitted for each lot along 121<sup>st</sup>, provided it does not exceed 100 square feet of display surface area per side.
- Wall signs shall be limited to 2 square feet per linear foot of building wall to which the signs are affixed.
- No roof or projecting signs shall be permitted.

**Screening**

All trash and mechanical areas shall be screened from public view of person standing at ground level. A fabric mesh with a minimum opacity of 95% may be allowed on enclosure doors.

Separation between Development Area C and Development Area B may be provided using either a wood screening fence and wrought iron fence with masonry columns. The limits and configuration of screening will be determined at detailed site plan submittal.

**Landscaping**

The PUD shall meet the requirements of Chapter 12 Landscape Requirements of the City of Bixby Zoning code in all other manners.

**Development Standards-Area D****Land Area**

Gross Lot Area	47,190 sq. ft.	1.03 ac
Net Lot Area	44,747 sq. ft.	1.08 ac

**Permitted Uses**

Development Area D will be an open area used for storm sewer conveyance, floodplain, and landscaping. No buildings, parking, lighting, signage, or other above ground improvements shall be permitted. Such proscription shall not apply to fences or City of Bixby approved drainage improvements.

**Screening**

The east boundary of Development Area D will be screened from the adjoining residential district by a 6' wood screening fence conforming to Zoning Code Section 11-8-10. The fence shall be allowed to stop at the southwest corner of the Fire station property located immediately south of 121<sup>st</sup> Street.

## **Development Information and Standards for All Areas**

### **Topography & Soils**

The elevation of the existing site varies from approximately 612' along the Memorial frontage to 607' at the top of the tributary channel bank (all elevations referenced to the North American Vertical Datum). The Tributary channel drains from north to south with elevations ranging from 603' at the north to 601' at the south. The developed site will maintain this drainage pattern with the inclusion of a storm sewer system that will route onsite drainage to the Fry Ditch Tributary channel.

The Tulsa County Soils survey defines the onsite soils as 50% Choska Fine Sandy Loam and 50% Osage Silty Clay. A geotechnical engineer has been contracted to perform a preliminary soils analysis but the results are not yet complete.

The attached Exhibit D depicts an aerial of the existing site as well as topography.

### **Drainage**

The tributary of Fry Ditch No. 1 has been widened to allow for the majority of the site to be removed from the FEMA floodplain. The widening of the tributary also removes the requirement of onsite detention. A CLOMR-F for the widening work was previously approved by FEMA. The work has mostly been completed with the notable exception of a need for additional fill along the southern portion of the site. This project will complete those fills and provide the necessary construction documentation for City of Bixby and FEMA approval. The proposed project grading and drainage plans, as well as any deviations from the previously approved CLOMR, will be submitted to City of Bixby for approval prior to any construction. Any widening or channel modifications will be covered by easements as required by City of Bixby Engineering.

The majority of the site will be graded to allow for surface water to drain directly to the improved tributary or be collected in an internal storm sewer system that will route it to the improved tributary. The final drainage and grading design will allow for an overland flow capacity capable of routing discharges from the existing total retention facility within 121<sup>st</sup> Center across the site to the tributary. This will be designed in conformance with City of Bixby Engineering Design Criteria.

### **Vehicular and Pedestrian Access and Circulation**

The attached Exhibit E depicts the vehicular and pedestrian access points and circulation anticipated to accommodate the conceptual site plan. Access to the parcels of development area A and B will be provided by a privately maintained street. This street will be maintained by the property owners association created for the development. The Multi-Family portion of the development will restrict access to the general public using gates, the specific location of which will be determined at detailed site plan submittal. All such gates will be subject to approval of the City of Bixby Fire Marshall and Engineering. Access to the lots within Development Area C will be derived by privately maintained streets and shall not be permitted more than one (1)

direct connections to 121<sup>st</sup> Street South per lot. All driveway and/or street connections shall be reviewed and approved by all jurisdictions having authority, including but not limited to City of Bixby Engineering and Fire Marshal and the Oklahoma Department of Transportation.

Pedestrian connectivity will be provided by new sidewalks along all private streets as well as internal sidewalk circulation within the Multi-Family development. This sidewalk system will be designed to not only serve the immediate access issues to each building but also to serve as a walking trail system that will circulate throughout the property.

### **Utilities**

Water service is provided to the site by an existing 12" waterline along the north side of 121<sup>st</sup> Street South and an existing 12" waterline along the east side of Memorial Drive. A waterline loop will be constructed to provide fire protection and water service to Development Area B.

A 10" sanitary sewer line extends northwest to southeast on the east side of the tributary of Fry Ditch No. 1 along the eastern property line of the PUD. A line will be extended of this existing line to serve the site as required by the City of Bixby.

Other utility services are currently provided to the site and will continue to be provided via underground services. The required 17.5' perimeter utility easement may be reduced by wavier during the plating and site plan process. See attached Exhibit F for the conceptual improvements plan.

### **Parking**

Parking shall be provided in accordance with the City of Bixby Zoning Code. Final parking requirements may be modified at the time of detailed site plan review.

### **Detailed Site Plan Review**

No building permit shall be issued until a detailed site plan is submitted to and approved by the Bixby Planning Commission and City Council in accordance with the City of Bixby Zoning Code. Any standard requirements of the City of Bixby Fire Marshal, City Engineer, and City Attorney shall be met prior to site plan approval.

### **Requirement to Plat**

No building permit shall be issued until a plat containing restrictive covenants memorializing the above development standards is prepared and filed in accordance with the City of Bixby Subdivision Regulations.

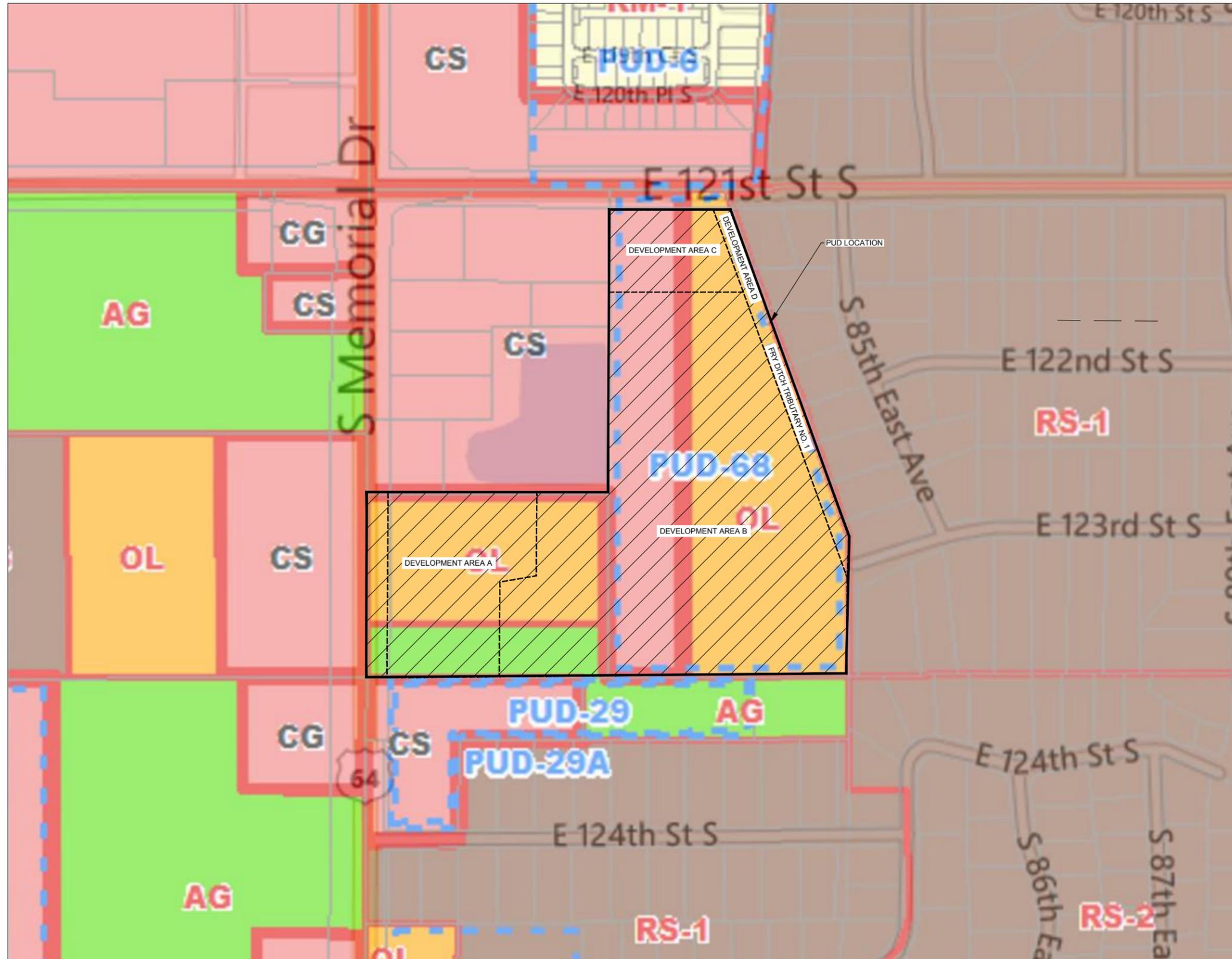
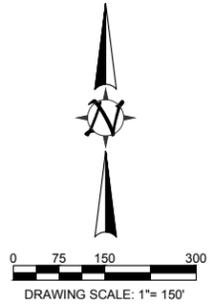
### **Schedule of Development**

Development of the apartment complex is expected to begin in Spring of 2014.

# Exhibit A

Existing Zoning Map  
for

# Chateau Villas



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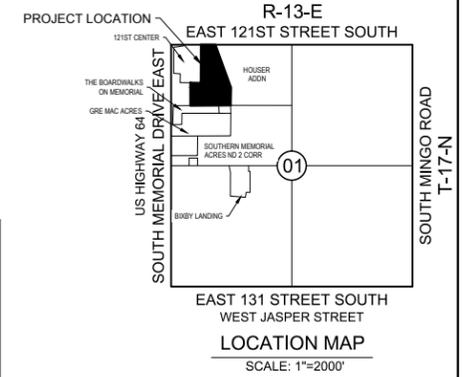
# Exhibit B

## Conceptual Site Plan

# for Chateau Villas



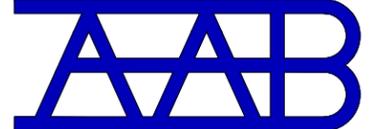
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AAB Engineering, LLC



Engineering • Land Planning

PO Box 2136 Sand Springs, OK 74063  
OK CA#6318 Exp: June 30, 2014

Office: (918) 514-4283 Fax: (918) 514-4288

PREPARED FEBRUARY 20, 2014

# Exhibit C

Developmental Areas  
for  
**Chateau Villas**



0 40 80 160  
DRAWING SCALE: 1" = 80'



- COMMERCIAL/ OFFICE
- LUXURY MULTIFAMILY RESIDENTIAL
- DETENTION

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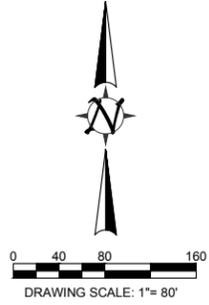
**AAB Engineering, LLC**

**AAB**

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PO Box 2136 Sand Springs, OK 74063  
OK CA#6318 Exp: June 30, 2014  
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PREPARED FEBRUARY 20, 2014

# Exhibit D

Existing Aerial and Topo  
for  
**Chateau Villas**



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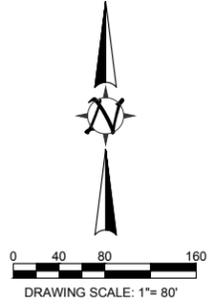
Office: (918) 514-4283 Fax: (918) 514-4288

PREPARED FEBRUARY 20, 2014



# Exhibit F

## Conceptual Improvements for Chateau Villas



### LEGEND

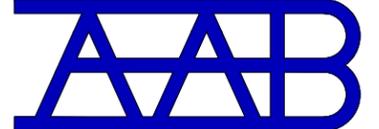
- SS — PROPOSED SANITARY SEWER LINE
- WL — PROPOSED WATER LINE
- SD — PROPOSED STORM SEWER LINE

SOUTH MEMORIAL DRIVE  
(165' ROW, 65' PAVING)

EAST 121st STREET SOUTH  
(100' ROW, 30 PAVING)



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PREPARED FEBRUARY 20, 2014

# EXHIBIT G

## Legal Description

A TRACT OF LAND BEING PART OF THE NW/4 OF SECTION 1, T-17-N R-13-E, TULSA COUNTY, STATE OF OKLAHOMA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SECTION 1; THENCE NORTH 88°39'06" EAST ALONG THE NORTH LINE OF SAID NW/4 SECTION 1, FOR A DISTANCE OF 663.98 FEET; THENCE SOUTH 01°20'54" EAST FOR A DISTANCE OF 50.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 88°39'06" EAST AND PARALLEL TO SAID NORTH LINE, FOR A DISTANCE OF 330.71 FEET; THENCE SOUTH 21°10'49" EAST ALONG THE WEST LINE OF BLOCK 4, HOUSER ADDITION, SUBDIVISION IN THE CITY OF TULSA, FOR A DISTANCE OF 952.20 FEET TO A POINT ON THE EAST LINE OF GOVERNMENT LOT 4 SECTION 1; THENCE SOUTH 01°00'25" EAST ALONG THE EAST LINE OF LOT 4 SECTION 1, FOR A DISTANCE OF 386.00 FEET TO THE SOUTHEAST CORNER OF LOT 4 SECTION 1; THENCE SOUTH 88°30'56" WEST ALONG THE SOUTH LINE OF LOT 4 SECTION 1, FOR A DISTANCE OF 755.29 FEET; THENCE NORTH 00°59'41" WEST FOR A DISTANCE OF 508.54 FEET TO A POINT ON THE SOUTH LINE OF 121<sup>ST</sup> CENTER, AN ADDITION TO THE CITY OF TULSA; THENCE NORTH 88°39'06" EAST ALONG THE SOUTH LINE OF 121<sup>ST</sup> CENTER FOR A DISTANCE OF 95.96 FEET TO THE SOUTHEAST CORNER OF 121<sup>ST</sup> CENTER; THENCE NORTH 00°59'54" WEST ALONG THE EAST LINE OF 121<sup>ST</sup> CENTER FOR A DISTANCE OF 775.00 FEET TO THE POINT OF BEGINNING.

SAID TRACT CONTAINS 747,133 SQUARE FEET OR 17.152 ACRES.

AND

A TRACT OF LAND BEING PART OF THE NW/4 OF SECTION 1, T-17-N R-13-E, TULSA COUNTY, STATE OF OKLAHOMA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF GOVERNMENT LOT 4 SECTION 1; THENCE NORTH 88°30'56" EAST ALONG THE SOUTH LINE OF SAID LOT 4 SECTION 1, FOR A DISTANCE OF 64.38 FEET TO THE POINT OF BEGINNING; THENCE NORTH 88°30'56" EAST CONTINUING ALONG THE SOUTH LINE OF SAID LOT 4 SECTION 1, FOR A DISTANCE OF 504.30 FEET; THENCE NORTH 00°59'41" WEST FOR A DISTANCE OF 508.54 FEET TO A POINT ON THE SOUTH LINE OF 121<sup>ST</sup> CENTER, AN ADDITION TO THE CITY OF TULSA; THENCE SOUTH 88°38'59" WEST ALONG THE SOUTH LINE OF 121<sup>ST</sup> CENTER, FOR A DISTANCE OF 503.85 FEET; THENCE SOUTH 00°56'41" EAST FOR A DISTANCE OF 509.72 FEET TO THE POINT OF BEGINNING.

SAID TRACT CONTAINS 256,633 SQUARE FEET OR 5.892 ACRES.

BASIS OF BEARING OF PROPERTY DESCRIPTIONS IS THE SOUTH LINE OF GOVERNMENT LOT 4 SECTION 1, BEING NORTH 88°30'56" EAST.

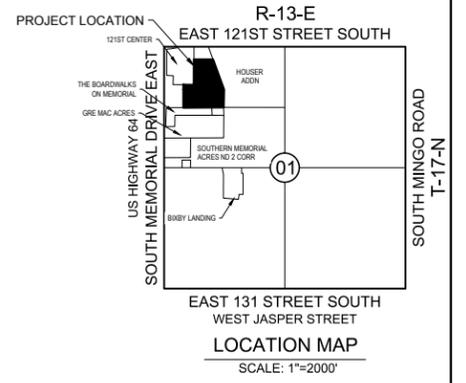
# Exhibit H

Surrounding Areas  
for

# Chateau Villas



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DRAWING SCALE: 1"= 80'



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