

AGENDA
TECHNICAL ADVISORY COMMITTEE
CONFERENCE ROOM
DAWES BUILDING CITY OFFICES
113 WEST DAWES AVE
BIXBY, OK 74008
December 05, 2012 – 10:00 AM

1. Call to Order
2. Approval of schedule of meetings and application submission deadlines for 2013.
3. **BCPA-7 – JR Donelson, Inc. for Clinton Miller and Roger Metcalf.** Public Hearing to receive Public review and comment, and Planning Commission recommendations regarding the adoption of a proposed amendment to the Comprehensive Plan of the City of Bixby, Oklahoma, specifically to redesignate certain property on the Comprehensive Plan Land Use map from “Water” to “Medium Intensity” with no specific land use designation.
Property Located: North dead-end of Riverview Rd.; Northwest corner of the intersection of Riverview Rd. and E. Westminster Pl. N.
4. **PUD 74 – RiverLoft ADDITION – JR Donelson, Inc.** Public Hearing, discussion, and consideration of a rezoning request for approval of a Planned Unit Development (PUD) for part of Government Lot 7 lying West of the Centerline of Old U.S. Hwy 64 and lying North of Bentley Park in Section 13, T17N, R13E.
Property Located: North dead-end of Riverview Rd.; Northwest corner of the intersection of Riverview Rd. and E. Westminster Pl. N.
5. **BCPA-8 – JR Donelson, Inc. for Roger & LeAnn Metcalf.** Public Hearing to receive Public review and comment, and Planning Commission recommendations regarding the adoption of a proposed amendment to the Comprehensive Plan of the City of Bixby, Oklahoma, specifically to redesignate certain property on the Comprehensive Plan Land Use map from “Low Intensity” and/or “Special District # 4” to “Medium Intensity” and to remove the “Special District #4” designation.
Property Located: 15329 S. Sheridan Rd.
6. **PUD 75 – LeAnn Acres – JR Donelson, Inc.** Public Hearing, discussion, and consideration of a rezoning request for approval of a Planned Unit Development (PUD) for part of the W/2 of the NW/4 of Section 23, T17N, R13E.
Property located: 15329 S. Sheridan Rd.
7. **BSP 2012-02 – “Andy’s Frozen Custard” – Lewis Engineering, P.L.L.C. (PUD 63).** Discussion and consideration of a Detailed Site Plan and building plans for “Andy’s Frozen Custard,” a Use Unit 12 restaurant development for Lot 2, Block 3, *101 South Memorial Plaza.*

8. **V-44 – Patterson Law Firm.** Discussion and consideration of a request to Close a Utility Easement within Lots 15 and 16, Block 3, *The Enclave at Legacy*.
Property Located: 10807 S. 91st E. Ave.
9. Old Business
10. New Business
11. Adjournment

Posted By: _____

Date: _____

Time: _____



CITY OF BIXBY
P.O. Box 70
116 W. Needles Ave.
Bixby, OK 74008
(918) 366-4430
(918) 366-6373 (fax)

MEMORANDUM

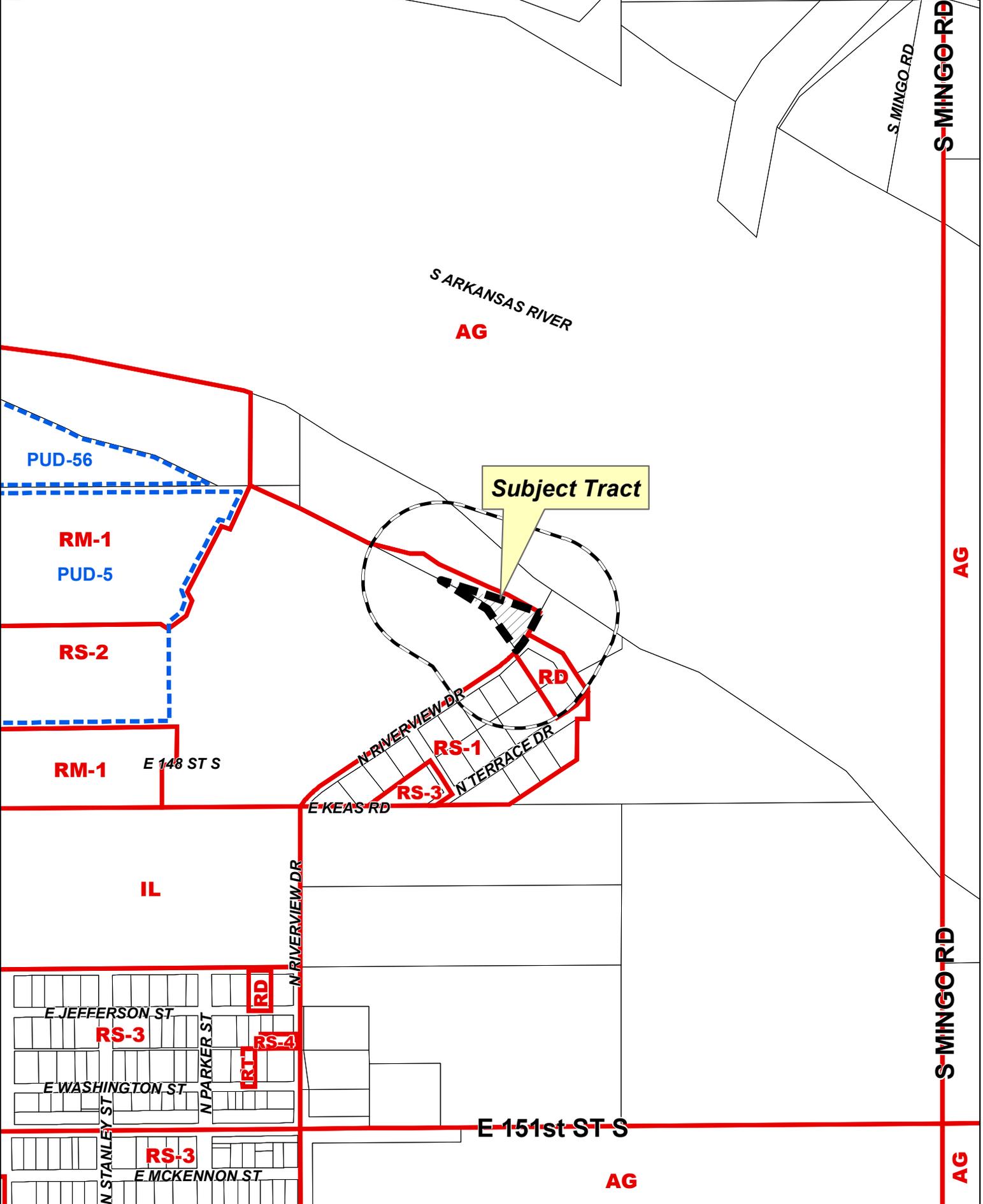
To: Bixby Technical Advisory Committee
From: Erik Enyart, AICP, City Planner *EE*
Date: Monday, November 26, 2012
RE: Technical Advisory Committee meeting schedule and application deadlines for 2013

The following is proposed to be the 2013 schedule for the Technical Advisory Committee:

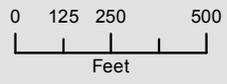
<u>DATE</u>	<u>TIME</u>	<u>PLACE OF MEETING</u>
January 02, 2013	10:00 AM	113 W. Dawes, Dawes Building Conference Room, Bixby
February 06, 2013	10:00 AM	113 W. Dawes, Dawes Building Conference Room, Bixby
March 06, 2013	10:00 AM	113 W. Dawes, Dawes Building Conference Room, Bixby
April 03, 2013	10:00 AM	113 W. Dawes, Dawes Building Conference Room, Bixby
May 01, 2013	10:00 AM	113 W. Dawes, Dawes Building Conference Room, Bixby
June 05, 2013	10:00 AM	113 W. Dawes, Dawes Building Conference Room, Bixby
July 03, 2013	10:00 AM	113 W. Dawes, Dawes Building Conference Room, Bixby
August 07, 2013	10:00 AM	113 W. Dawes, Dawes Building Conference Room, Bixby
September 04, 2013	10:00 AM	113 W. Dawes, Dawes Building Conference Room, Bixby
October 02, 2013	10:00 AM	113 W. Dawes, Dawes Building Conference Room, Bixby
November 06, 2013	10:00 AM	113 W. Dawes, Dawes Building Conference Room, Bixby
December 04, 2013	10:00 AM	113 W. Dawes, Dawes Building Conference Room, Bixby

APPLICATION DEADLINES

Four (4) weeks prior to the Planning Commission meeting, or the South County Leader's Public Notice publication deadline plus one (1) working day, whichever is sooner. The City Manager shall have the authority to make an exception to the deadline in cases of hardship or unusual circumstances.



BCPA-7



13 17-13



JR Donelson, Inc.

12820 So. Memorial Dr., Office 100

Bixby, Oklahoma 74008

918-394-3030

Email: jrdon@easytelmail.com

November 8, 2012

Erik Enyart
City Planner
City of Bixby
Bixby, Oklahoma

CITY OF BIXBY

NOV 13 2012

RECEIVED

By Enyart
cf. BCRA-7

Re: Request to modify the Bixby Comprehensive Plan

Clinton Miller and Roger Metcalf request the Bixby Comprehensive Plan be modified to Medium Intensity, to allow the RM-1 (Residential Multi-family) zoning classification on their property described in the attachment.

Thank you,

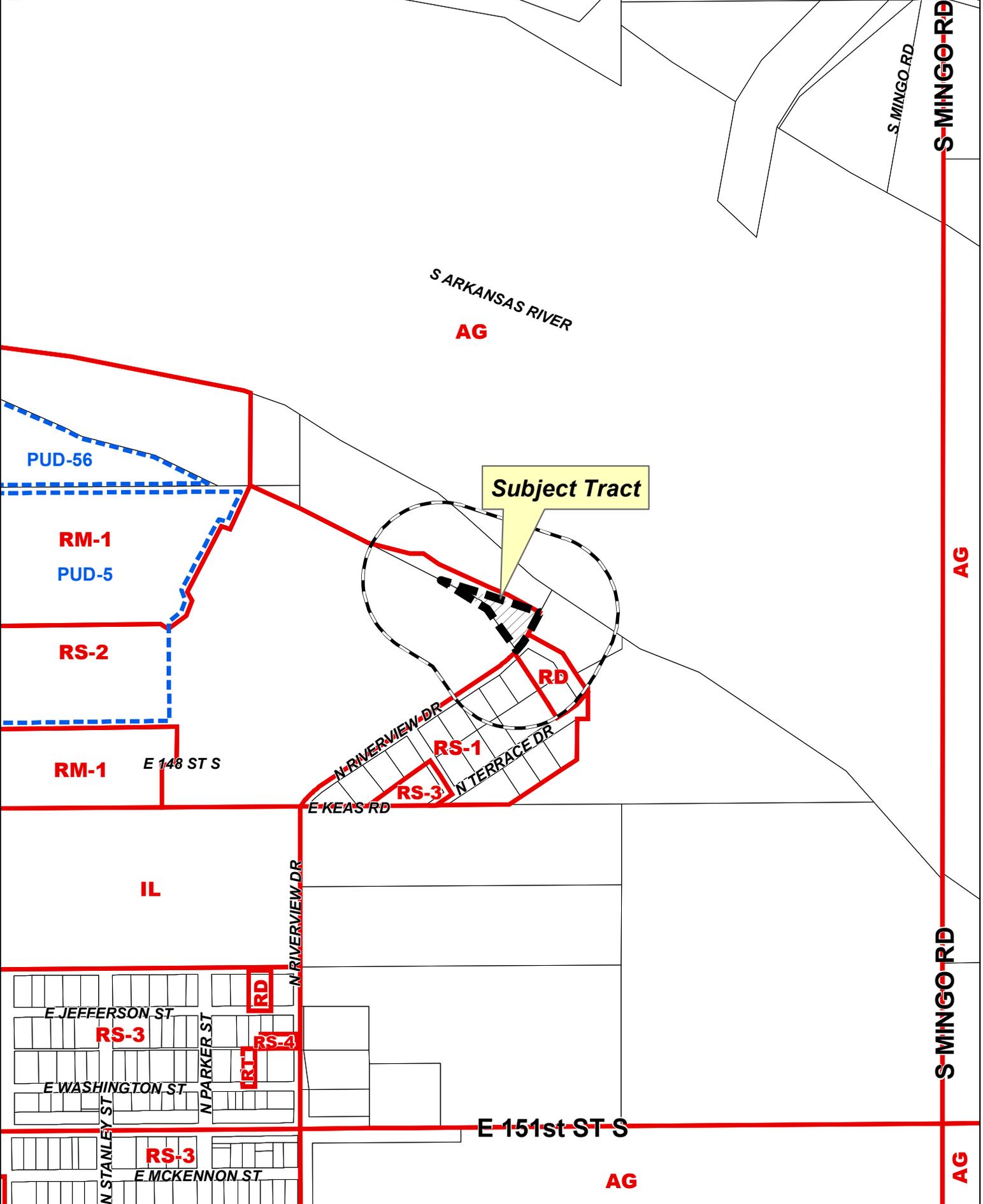

JR Donelson

Legal desk
missins
Tel Co, ok

Exhibit B-1

PUD Site Legal Description

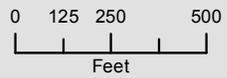
A tract of land in the North half of the Southeast Quarter (N/2 SE/4) of Section 13, T-17-N, R-13-E, of the Indian Base & Meridian, according to the U.S. Government Survey thereof, being more particularly described as follows; Commencing at the Northwest Corner of the Southwest Quarter of said Section 13; thence N 89°42'35"E on the North line of said Southwest Quarter a distance of 2346.31 feet to a point on the Northeasterly line of a 20 foot wide right-of-way easement (easement), also on the North line of a tract of land described in a General Warranty Deed recorded in Book 5286 at Page 1019 (deed); thence continuing N 89°42'35"E on the North line of said Southwest Quarter and the North line of said deed a distance of 119.11 feet; thence S 63°00'20"E on the Northeasterly line of said deed a distance of 820.61 feet to a point on the Northeasterly line of said easement and the Point of Beginning; Thence S 74°30'56"E on the Northeasterly line of said easement a distance of 428.54 feet to a point on the Northwesterly right-of-way line of Riverview Road (Old Highway No. 64); thence S 30°17'42"W on the Northwesterly right-of-way of said Riverview Road a distance of 68.42 feet; thence on a curve to the right, having a radius of 675.25 feet and a central angle of 9°27'30", a distance of 111.47 feet to a point on the Northeasterly line of said deed; thence N 35°20'02"W on the Northeasterly line of said deed a distance of 200.41 feet; thence N 63°00'42"W on the Northeasterly line of said deed a distance of 200.41 feet; thence N 63°00'42"W on the Northeasterly line of said deed a distance of 222.94 feet to the point of beginning, and containing 0.61 acres more or less.



 300' Radius

 Subject Tract

PUD-74



13 17-13



RiverLoft ADDITION

Bixby, Oklahoma

October 15, 2012

Prepared For:

**Roger Metcalf and Clinton Miller
15329 So. Sheridan Road
Bixby, Oklahoma 74008**

Prepared By:

**J.R. Donelson, Inc.
12820 So. Memorial Dr., Office 100
Bixby, Oklahoma 74008**

RiverLoft Addition, Planned Unit Development No. ____

RiverLoft Addition

Planned Unit Development Number _____

Introduction.

RiverLoft Addition is a planned development for Multi-family intensity. The overall site totals 0.61 acres. The site is located on the south side of the Arkansas River and west of Riverview Road. See Exhibit A, which is a Preliminary Plat of the Site.

As depicted on Exhibit B to this Planned Unit Development (PUD), the proposed PUD consists of one development area.

Development Area A will be defined as RiverLoft Addition. The legal description for this PUD is shown in Exhibit B1.

Zoning.

The Site, Development Area A currently is zoned "RS-2", (Residential Single Family District). An underlying zoning change is requested from "RM", (Residential Multi-family). Attached as Exhibit C is a map from INCOG that identifies the existing zoning of the site and surrounding area. All uses by right of "RM", (Residential Multi-family) zoning will be allowed in Development Area A. The RM-1, RM-2 and RM-3 districts are designed to permit the development and conservation of multi-family dwelling types such as garden apartments and townhouses, in suitable environments and in a variety of densities to meet the varying requirements of families. (Ord. 272, 4-2-1974).

The Comprehensive land-use Plan.

The Site is located within the jurisdiction of the Bixby Comprehensive Plan 2001-2020. According to the Bixby Comprehensive Plan Map and Text, the Site is designated "Low Intensity, Residential Area and Special District #1", which does not support the intensity of development planned for the Site in this PUD. A letter to amend the Bixby Comprehensive Plan 2001-2020, to allow "RM" zoning and its uses on this site will be submitted to the City of Bixby.

Features of the Site and surrounding area; viability and compatibility.

This site is located on the north side of the downtown Bixby business district, designated as "Special District #1". East 151st Street South has been widened to four lanes of traffic. The scenic Arkansas River is located adjacent to and north of this project. The City of Bixby operates Bentley park to the south of this site. Riverview Terrace, a residential development, is located to the east of this site. Compatibility of the proposed PUD with the existing and planned uses surrounding the site further is achieved by the development standards explained in the following text. A Detailed Site Plan, adequate to demonstrate compliance with applicable standards and including details on proposed parking and landscape plans, shall be submitted for Planning Commission approval as required by the Zoning Code Sections 11-7G and 11-7I-8.B.5 and this PUD.

Site Soil Conditions

The Soil Survey of Tulsa County, Oklahoma list the soil for this site to be "Choska very fine sandy loam". This is a nearly level, well drained, moderately permeable soil.

Development Standards

A. **DEVELOPMENT AREA A**

LAND AREA:

Gross:	0.61 acres	26,571 square feet
Net:	0.61 acres	26,571 square feet

PERMITTED USES (to be allowed by right):

Those uses permitted are all the Use Units allowed by right within the RM zoning district of the City of Bixby Zoning Code; and all accessory uses permitted in the underlying zoning district and in the Planned Unit Development Chapter of the City of Bixby Zoning Code.

MINIMUM FRONTAGE N/A feet

MAXIMUM BUILDING FLOOR AREA (using .70 FAR): 18,599.70 square feet

MAXIMUM BUILDING HEIGHT: Three Stories
Or 48 feet

MINIMUM BUILDING SETBACKS
Pursuant to Section 11-7D-4 of the City of Bixby Zoning Code: N/A feet

B. DEVELOPMENT STANDARDS FOR THE DEVELOPMENT AREA

1. LANDSCAPED AREA AND SCREENING

- a. A Preliminary Landscape and Screening Plan is depicted on Exhibit B to the PUD Text.
- b. Frontage and Perimeter Requirements. The street yard landscape percentage requirement does not apply to this Site. The building will be setback 20'-0" from the north property line. Landscaping and grass will be placed in the street yard along Riverview Drive.

2. SIGNS

- a. Signage shall comply with the PUD Chapter (Chapter 7-I). Riverview Road separates this site from the Riverview Terrace subdivision. A ground sign will be permitted. The ground sign will not exceed 15'-0" in height.
- b. No sign permits shall be issued for erection of a sign within the PUD until a detail sign plan for that lot has been submitted to the Bixby Planning Commission and approved as being in compliance with the approved PUD development standards.
- c. Flashing signs, changeable copy signs, running light or twinkle signs, animated signs, revolving or rotating signs with movement shall be prohibited, except as may be permitted by the Bixby Planning Commission as part of the approved detail sign plan.

3. LIGHTING

- a. Lighting used to illuminate the development area shall be so arranged as to shield and direct the light away from adjacent residential areas. No light standard or building-mounted light shall exceed 20 feet in height.

4. TRASH, MECHANICAL AND EQUIPMENT AREAS

- a. There shall be no storage of recyclable materials, trash or similar material outside a screened receptacle. All trash, ground supported mechanical and equipment areas, shall be screened from adjacent properties and Riverview Road.

5. SITE GRADING

- a. Fill material brought on this site to elevate the building finish floor will come from the same drainage basin. Fill material taken from the same drainage basin will provide for compensatory storage in the drainage basin.
- b. The FEMA Firm Map, 40143C0434L, revised October 16, 2012 shows the 100 year water surface elevation to be 600.9 on this site.

5. TOPOGRAPHY, DRAINAGE AND UTILITIES

- a. Topography. Topography of the Site is depicted on Exhibit D.
- b. Drainage. Storm water roof drainage shall be connected to the underground storm water drainage system. The storm water will be directed to the Arkansas River. Storm water drainage adjacent to and along Riverview Road will sheet flow overland to the asphalt street.

A Professional Engineer registered in the State of Oklahoma shall certify to the appropriate City official that all required storm water drainage requirements serving the Site have been installed in accordance with the approved plans prior to issuance of an Occupancy Permit on that lot.

During construction on the property, the owner will provide adequate and reasonable erosion control methods, and after construction, will provide and maintain vegetative, landscaped ground cover so that soil does not erode on or from the property.

- c. Utilities. Water and sanitary sewer service will be provided by the City of Bixby. An existing water line is located on the east side of Riverview Road. The existing sanitary sewer line is located along the south side of the Bixby Multi-purpose building. Storm water runoff will be piped to the Arkansas River.

6. ACCESS, CIRCULATION AND PARKING

- a. Access, traffic circulation and parking is depicted on Exhibit B. All drives and parking areas within the PUD shall be privately owned and maintained.
- b. An existing walk trail exists north of this site along the Arkansas River. There are no sidewalks along Riverview Road. No sidewalk is planned to be constructed along the east side of this property, along the west side of Riverview Road.

7. RESTRICTIVE COVENANTS; ENFORCEMENT

- a. Restrictive covenants will be adopted and recorded for the PUD as platted.

8. SCHEDULE OF DEVELOPMENT

Development will commence upon the approval of the PUD, preliminary plat and the constructions drawings by the appropriate government agencies. The proposed development schedule is as follows :

- a. Approval of construction plans: 2/1/13
- b. Installation of site erosion control: 2/4/13
- c. Begin site grading: 2/15/13
- d. Begin building construction: 2/22/13

Exhibits

Exhibit A.	Preliminary Plat.
Exhibit B.	Concept Site Plan, Development Area, and Landscaping
Exhibit B-1.	PUD Site Legal Description.
Exhibit C.	Existing Area Zoning.
Exhibit D.	Topography.
Exhibit E.	Aerial of the Site.

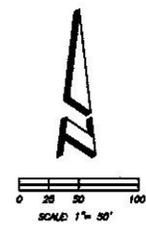
PLAT NO.

OWNER:
ROGER METCALF & CLINTON MILLER
8325 SO. SHERIDAN ROAD
EDDYS, OKLAHOMA 74898
CONTACT: ROGER METCALF
PHONE: 918-354-7540

ENGINEER/SURVEYOR:
J.R. DONELSON, INC.
2820 SO. MEMORIAL DRIVE
OFFICE 1909
EDDYS, OKLAHOMA 74898
PHONE: 918-354-3830
C.A. NO. 5011 EXP. 6-30-2015

PRELIMINARY PLAT
RiverLoft Addition
A TRACT OF LAND SITUATED IN THE N/2
OF THE SE/4 IN SECTION 13, T-17-N, R-13-E,
TULSA COUNTY, OKLAHOMA

F.U.D. No. _____

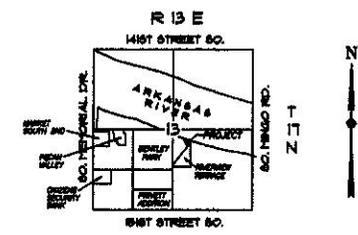
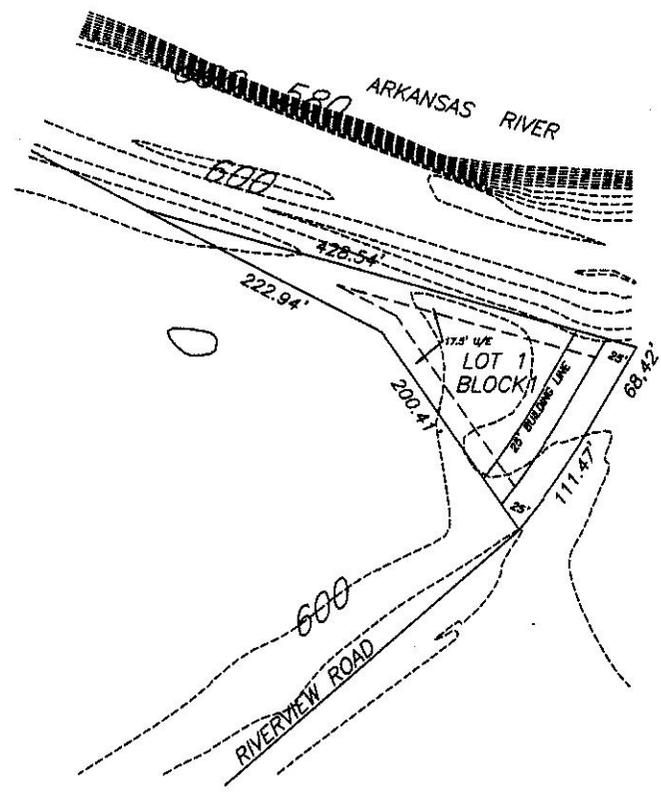


**FINAL PLAT
CERTIFICATE OF APPROVAL**
I hereby certify that this plat was prepared
by the City Council of the City of Tulsa on _____
By: _____ Mayor - The Mayor
It is approved in full if the above signature
is not authorized by the City Manager or
City Clerk.
By: _____ City Manager - City Clerk

NOTES:

1. THE ADDRESSES SHOWN ON THIS PLAT WERE ACCURATE AT THE TIME THIS PLAT WAS FILED. ADDRESSES ARE SUBJECT TO CHANGE AND SHOULD NEVER BE RELIED ON IN PLACE OF THE LEGAL DESCRIPTION.
2. **BASES FOR BENCHMARKS:**
The benchmarks for bearings in the South line of the S/2 of the NW/4 of Section 13, T-17-N, R-13-E, shown as N 89°32'17"E
3. THIS PLAT MEETS THE OKLAHOMA ANNUAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS.
4. 3/8" IRON PINS WERE EITHER FOUND OR SET AT EACH PROPERTY CORNER.
5. THE SUBJECT PROPERTY IS IN FLOOD ZONE "X" SHOWN AS DETERMINED BY FURIA 801432343AK MAP EFFECTIVE DATE: AUGUST 3, 2004. BASE FLOOD ELEVATION IS 600.00 NGVD.
6. **BENCHMARK:**
FINISH FLOOR AT WEST ENTRANCE OF CITIZEN SECURITY BANK AND TRUST CO. THE BANK IS LOCATED APPROXIMATELY 1/4 MILE NORTH OF THE SW CORNER OF SECTION 13.
ADDRESS: 14823 SO. MEMORIAL DRIVE
ELEVATION: 607.35 NGVD 29

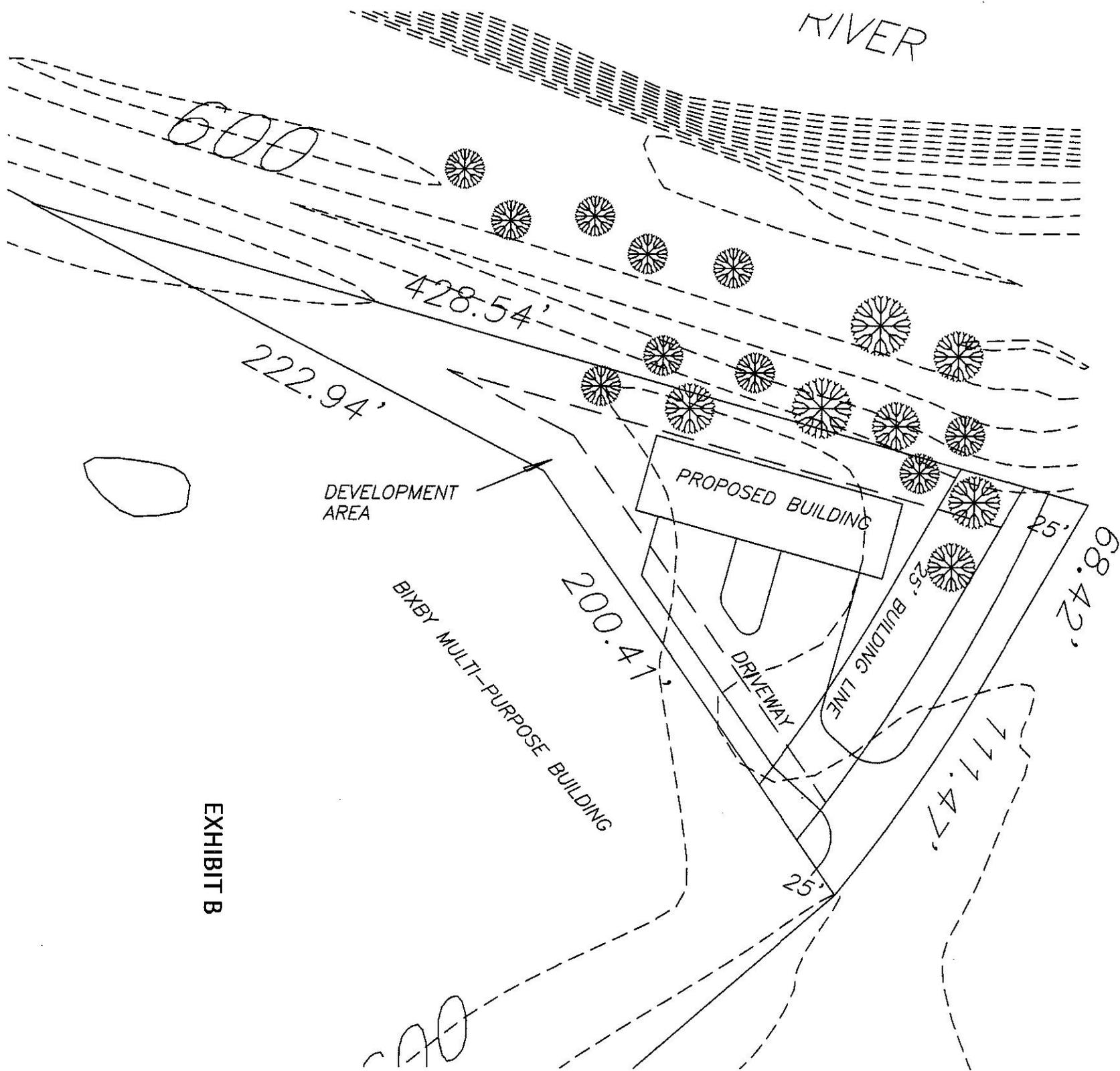
LEGEND	
L/A	LIMITS OF NO ACCESS
U/E	UTILITY EASEMENT
ROW	ROAD RIGHT OF WAY
C	CENTERLINE
18887	ADDRESS



LOCATION MAP
SCALE: 1" = 2000'
FILE: RMTCALP\MAL1010
SUBMISSION CONTAINS:
1 LOT
1 BLOCK
0.61 ACRES

EXHIBIT A

RIVER



DEVELOPMENT
AREA

PROPOSED BUILDING

DRIVEWAY

BIXBY MULTI-PURPOSE BUILDING

25' BUILDING LINE

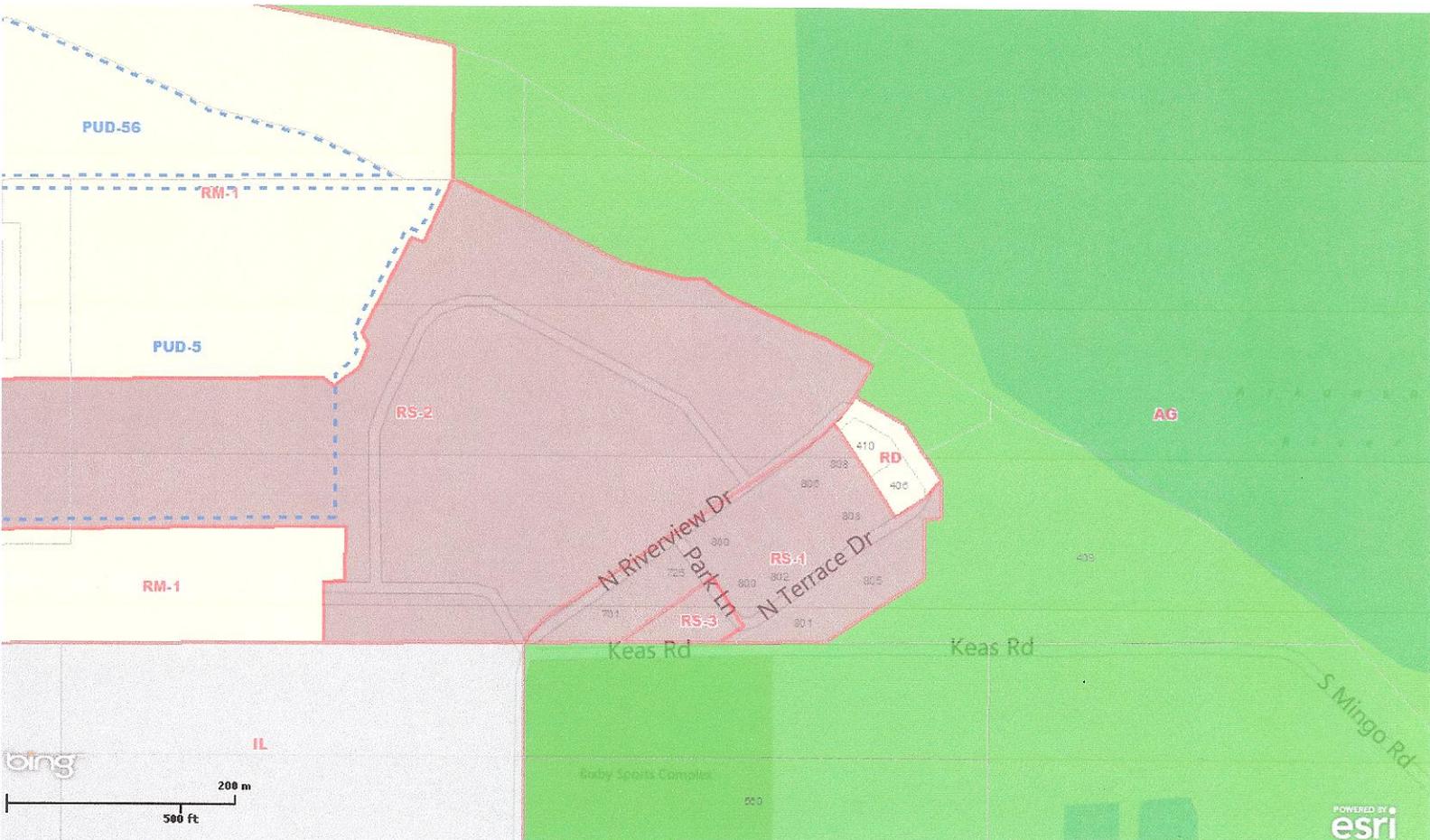
EXHIBIT B

Exhibit B-1

PUD Site Legal Description

A tract of land in the North half of the Southeast Quarter (N/2 SE/4) of Section 13, T-17-N, R-13-E, of the Indian Base & Meridian, according to the U.S. Government Survey thereof, being more particularly described as follows; Commencing at the Northwest Corner of the Southwest Quarter of said Section 13; thence N 89°42'35"E on the North line of said Southwest Quarter a distance of 2346.31 feet to a point on the Northeasterly line of a 20 foot wide right-of-way easement (easement), also on the North line of a tract of land described in a General Warranty Deed recorded in Book 5286 at Page 1019 (deed); thence continuing N 89°42'35"E on the North line of said Southwest Quarter and the North line of said deed a distance of 119.11 feet; thence S 63°00'20"E on the Northeasterly line of said deed a distance of 820.61 feet to a point on the Northeasterly line of said easement and the Point of Beginning; Thence S 74°30'56"E on the Northeasterly line of said easement a distance of 428.54 feet to a point on the Northwesterly right-of-way line of Riverview Road (Old Highway No. 64); thence S 30°17'42"W on the Northwesterly right-of-way of said Riverview Road a distance of 68.42 feet; thence on a curve to the right, having a radius of 675.25 feet and a central angle of 9°27'30", a distance of 111.47 feet to a point on the Northeasterly line of said deed; thence N 35°20'02"W on the Northeasterly line of said deed a distance of 200.41 feet; thence N 63°00'42"W on the Northeasterly line of said deed a distance of 200.41 feet; thence N 63°00'42"W on the Northeasterly line of said deed a distance of 222.94 feet to the point of beginning, and containing 0.61 acres more or less.

RiverLoft Addition



This map should be used for general reference purpose only. Areas in question should be verified at the INCOG office or at the respective municipality. Thu Oct 18 2012 07:15:36 AM.

EXHIBIT C

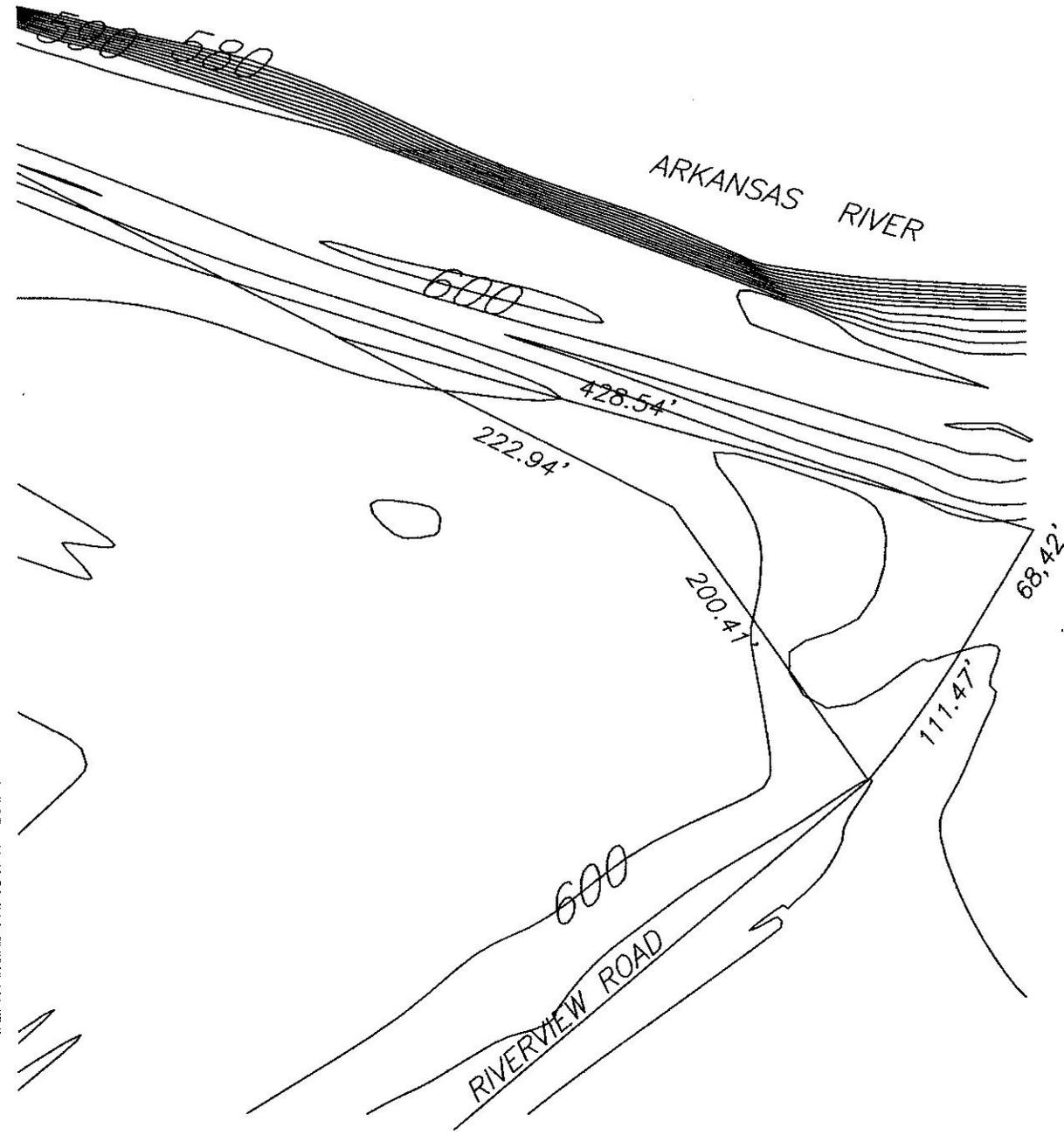
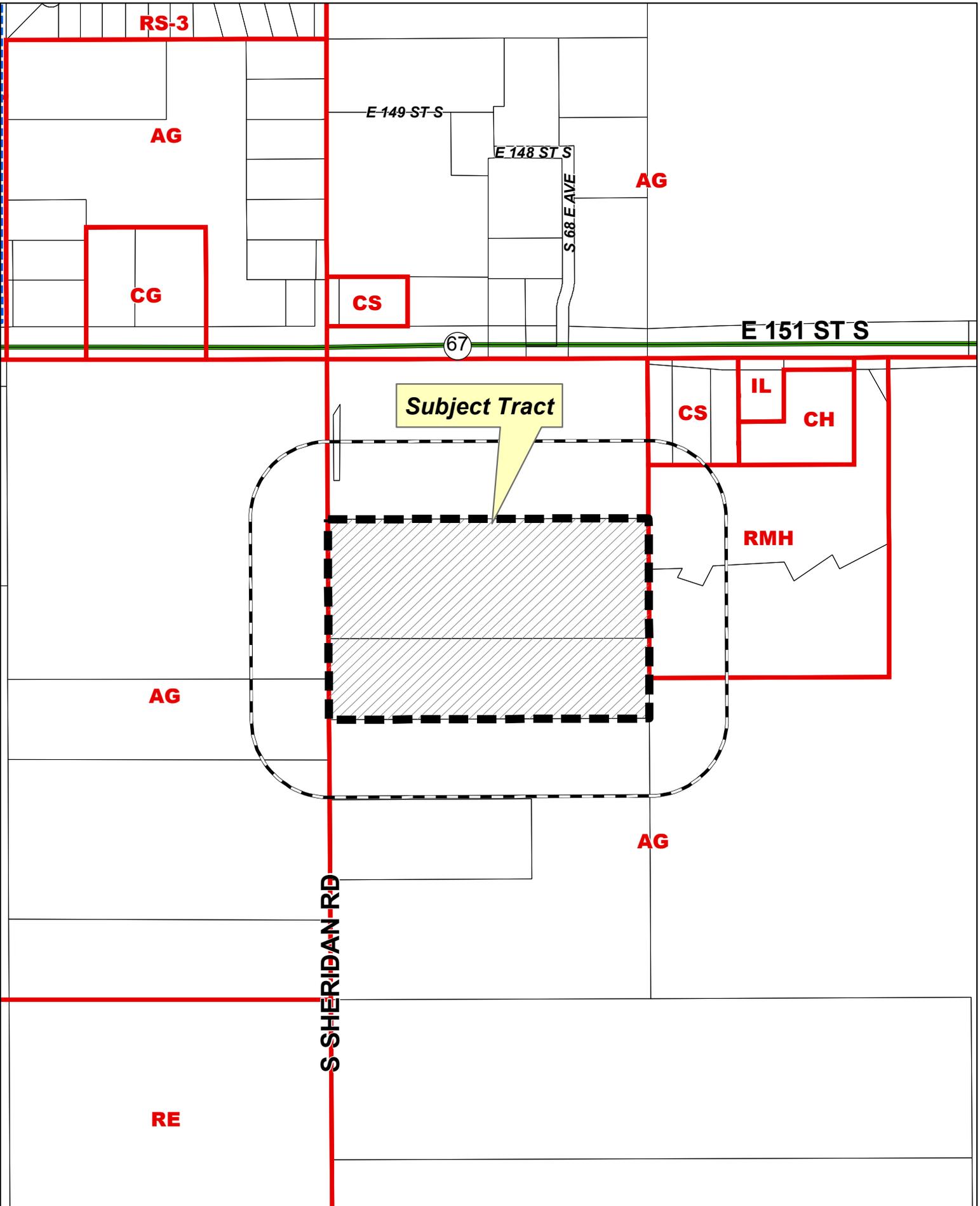


EXHIBIT D



EXHIBIT E

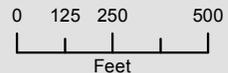


300' Radius



Subject Tract

BCPA-8



23 17-13



JR Donelson, Inc.

12820 So. Memorial Dr., Office 100

Bixby, Oklahoma 74008

918-394-3030

Email: jrdon@easytelmail.com

November 9, 2012

Erik Enyart
City Planner
City of Bixby
Bixby, Oklahoma

CITY OF BIXBY

NOV 13 2012

RECEIVED

By Enyart
C. BCPA-8

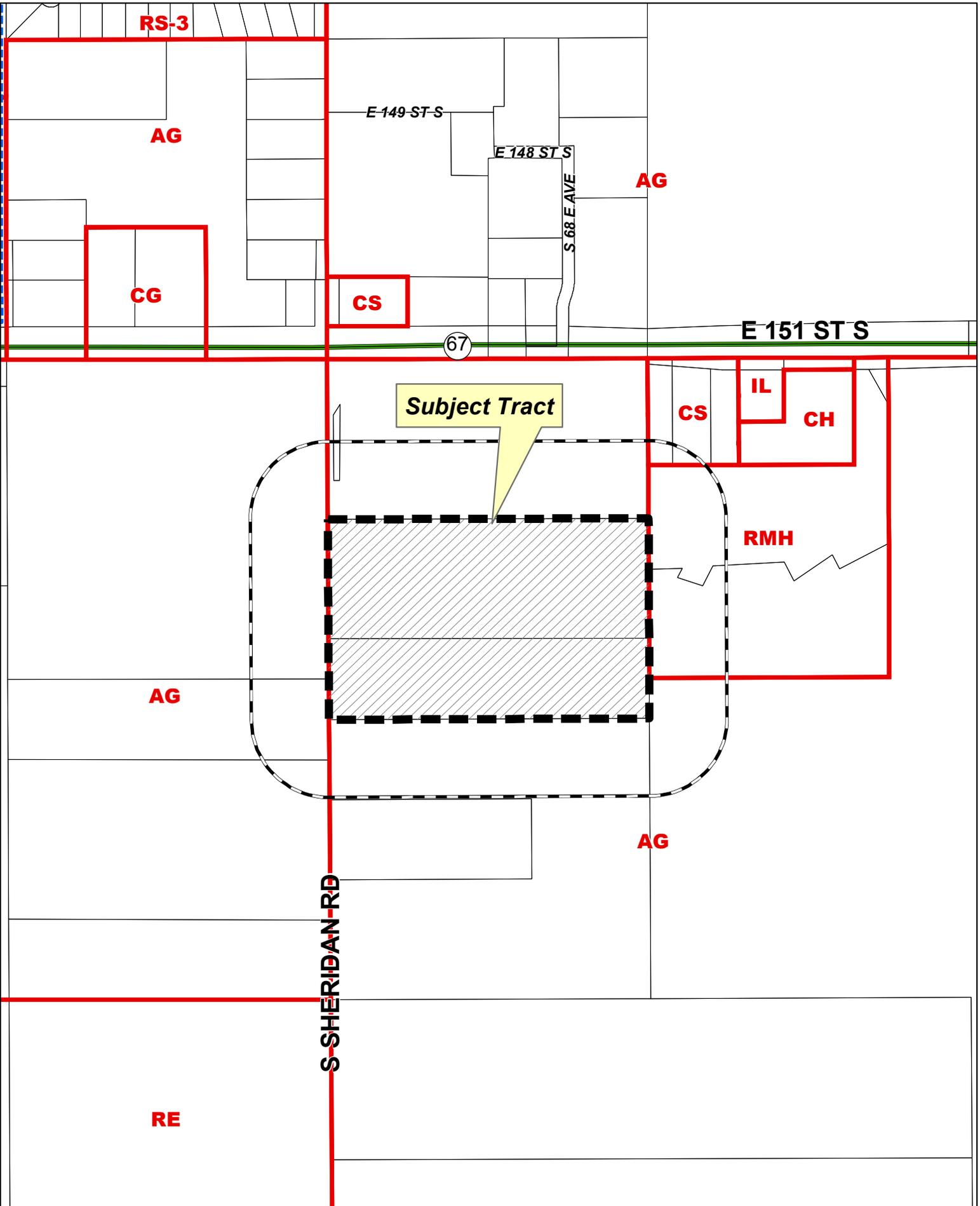
Re: Request to modify the Bixby Comprehensive Plan

Roger and LeAnn Metcalf own the S/2 NW/4 NW/4 , less the S/2 S/2 S/2 NW/4 NW/4 of Section 23, T-17-N, R-13-E, Tulsa County, State of Oklahoma containing 15 acres more or lessand..... The South 165 feet of the NW/4 NW/4 and the North 165 feet of the SW/4 NW/4 of Section23, T-17-N, R-13-E, Tulsa County, State of Oklahoma, containing 10 acres more or less.

This site has the designations of "Corridor , Low Intensity, Residential Area and Special District #4". The owners request the Bixby Comprehensive Plan be modified to allow Medium Intensity, Residential "RM-2", Residential Multi-family zoning classification on their property.

Thank you,


JR Donelson

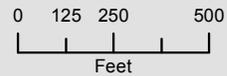


300' Radius



Subject Tract

PUD-75



23 17-13



**LeAnn Acres
Bixby, Oklahoma**

November 2, 2012

Prepared For:

**Roger Metcalf and LeAnn Metcalf
15329 So. Sheridan Road
Bixby, Oklahoma 74008**

Prepared By:

**J.R. Donelson, Inc.
12820 So. Memorial Dr., Office 100
Bixby, Oklahoma 74008**

LeAnn Addition, Planned Unit Development No. _____

LeAnn Acres

Planned Unit Development Number _____

Introduction.

LeeAnn Acres is a planned development for Multi-family intensity. The overall site totals 25 acres. The site is located on the east side of South Sheridan Road and 660 feet South of 151st Street South. See Exhibit A, which is a Preliminary Plat of the Site.

As depicted on Exhibit B to this Planned Unit Development (PUD), the proposed PUD consists of one development area.

Development Area A will be defined as LeAnn Acres. The legal description for this PUD is shown in Exhibit B1.

Zoning.

The Site, Development Area A currently is zoned "AG", (Agriculture District). An underlying zoning change is requested to "RM", (Residential Multi-family). Attached as Exhibit C is a map from INCOG that identifies the existing zoning of the site and surrounding area. All uses by right of "RM", (Residential Multi-family) zoning will be allowed in Development Area A. The RM-1, RM-2 and RM-3 districts are designed to permit the development and conservation of multi-family dwelling types such as garden apartments and townhouses, in suitable environments and in a variety of densities to meet the varying requirements of families. (Ord. 272, 4-2-1974).

The Comprehensive land-use Plan.

The Site is located within the jurisdiction of the Bixby Comprehensive Plan 2001-2020. According to the Bixby Comprehensive Plan Map and Text, the Site is designated "Low Intensity, Residential Area and Special District #4", which does not support the intensity of development planned for the Site in this PUD. A letter to amend the Bixby Comprehensive Plan 2001-2020, to allow "RM-2" zoning and its uses on this site will be submitted to the City of Bixby.

Features of the Site and surrounding area; viability and compatibility.

A Detailed Site Plan, adequate to demonstrate compliance with applicable standards and including details on proposed parking and landscape plans, shall be submitted for Planning Commission approval as required by the Zoning Code Sections 11-7G and 11-7I-8.B.5 and this PUD. A portion of the site is shown in the Corridor designation in the Comprehensive Plan. A Corridor site plan will be prepared for the 25 acre site as the north 15 acres is included in the Corridor designation. The south 10 acres is designated in the Low Land Use Intensity and Special District #4.

Site Soil Conditions

The Soil Survey of Tulsa County, Oklahoma list the soil for this site to be two types. The east portion of the site is "Dennis silt loam" and the west portion is "Eram-Coweta Complex". This site is well drained and moderately permeable soil.

Development Standards

A. DEVELOPMENT AREA A

LAND AREA:

Gross:	25 acres	1,089,000 square feet
Net:	25 acres	1,089,000 square feet

PERMITTED USES (to be allowed by right):

Those uses permitted are all the Use Units allowed by right within the RM zoning district of the City of Bixby Zoning Code; and all accessory uses permitted in the underlying zoning district and in the Planned Unit Development Chapter of the City of Bixby Zoning Code.

MINIMUM FRONTAGE N/A feet

MAXIMUM BUILDING FLOOR AREA (using .60 FAR): 653,400 square feet

MAXIMUM BUILDING HEIGHT: Three Stories
Or 48 feet

MINIMUM BUILDING SETBACKS
Pursuant to Section 11-7D-4 of the City of Bixby Zoning Code: N/A feet

EASTERN DETENTION AREA 222,733.80 SF or 5.11 acres, 20% of the entire site.
GROSS AREA FOR RM-1 CONSTRUCTION 19.89 acres, 80% of entire site.

CORRIDOR DESIGNATED AREA 15.00 acres, 60 % of the entire site
LOW LAND USE INTENSITY 10.00 acres, 40% of the entire site.
SPECIAL DISTRICT #4

PER COMPREHENSIVE PLAN FOR RM-1 - 18.2 dwelling units per gross acre in Low Land Use Intensity, Special District #4.

18.2 x 10 acres = 182 units.

17.2 x 15 acres = 258 units
440 units

POOL / PARK AREA 95,813 SF or 2.2 acres, 8.8% of the entire site.
LANDSCAPE/GREEN AREA 4.2 acres, 16.8% of the entire site.
DETENTION AREA 5.11 acres, 20% of the entire site.

TOTAL LANDSCAPE/PARK/DETENTION 11.51 acres, 46% of the entire site.

B. DEVELOPMENT STANDARDS FOR THE DEVELOPMENT AREA

1. LANDSCAPED AREA AND SCREENING

- a. A Preliminary Landscape and Screening Plan is depicted on Exhibit B to the PUD Text.
- b. Frontage and Perimeter Requirements. The street yard landscape percentage requirement along South Sheridan Road does not apply to this Site. The buildings will be setback a minimum of 20'-0" from the north and south property lines. Landscaping and grass will be placed in the street yard along South Sheridan Road.

2. SIGNS

- a. Signage shall comply with the PUD Chapter (Chapter 7-1). A ground monument sign will be permitted. The ground sign will not exceed 15'-0" in height.
- b. Flashing signs, changeable copy signs, running light or twinkle signs, animated signs, revolving or rotating signs with movement shall be prohibited in this PUD, except as may be permitted by the Bixby Planning Commission as part of the approved detail sign plan.

3. LIGHTING

- a. Lighting used to illuminate the development area shall be so arranged as to shield and direct the light away from adjacent properties. No light standard or building-mounted light shall exceed 20 feet in height.

4. TRASH, MECHANICAL AND EQUIPMENT AREAS

- a. There shall be no storage of recyclable materials, trash or similar material outside a screened receptacle. All trash, ground supported mechanical and equipment areas, shall be screened from adjacent properties and South Sheridan Road.

5. SITE GRADING

- a. The site is not in a designated FEMA floodplain. An onsite storm water detention facility will be constructed to retain and then release project storm water.

A Professional Engineer registered in the State of Oklahoma shall certify to the appropriate City official that all required storm water drainage requirements serving the Site have been installed in accordance with the approved plans prior to issuance of an Occupancy Permit on that lot.

During construction on the property, the owner will provide adequate and reasonable erosion control methods, and after construction, will provide and maintain vegetative, landscaped ground cover so that soil does not erode on or from the property.

6. TOPOGRAPHY AND UTILITIES

- a. Topography. Topography of the Site is depicted on Exhibit D.
- b. Utilities. Water and sanitary sewer service will be provided by the City of Bixby. An existing water line is located on the east side of South Sheridan Road. A Sanitary sewer line will be extended from along E. 151st Street to the site. A determination will be made during the development phase as to whether a lift station will be required. Storm water runoff will be piped to the on site detention facility.

7. ACCESS, CIRCULATION AND PARKING

- a. Access, traffic circulation and parking is depicted on Exhibit B. All drives and parking areas within the PUD shall be privately owned and maintained.
- b. Walk trails and sidewalks are planned to be constructed within the PUD site. South Sheridan Road presently has bar ditches along both sides of the pavement to convey storm water runoff. A sidewalk paralleling South Sheridan Road will not be constructed.

8. RESTRICTIVE COVENANTS; ENFORCEMENT

- a. Restrictive covenants will be adopted and recorded for the PUD as platted.

9. SCHEDULE OF DEVELOPMENT

Development will commence upon the approval of the PUD, preliminary plat and the constructions drawings by the appropriate government agencies. The proposed development schedule is as follows :

- a. Approval of construction plans: 4/1/13
- b. Installation of site erosion control: 4/4/13
- c. Begin site grading: 4/15/13
- d. Begin building construction: 4/22/13

Exhibits

Exhibit A.	Preliminary Plat.
Exhibit B.	Concept Site Plan, Development Area, and Landscaping
Exhibit B-1.	PUD Site Legal Description.
Exhibit C.	Existing Area Zoning.
Exhibit D.	Comprehensive Plan Map
Exhibit E.	Aerial of the Site.
Exhibit F.	Topography of Site.

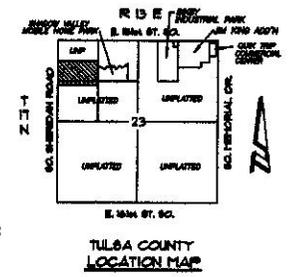
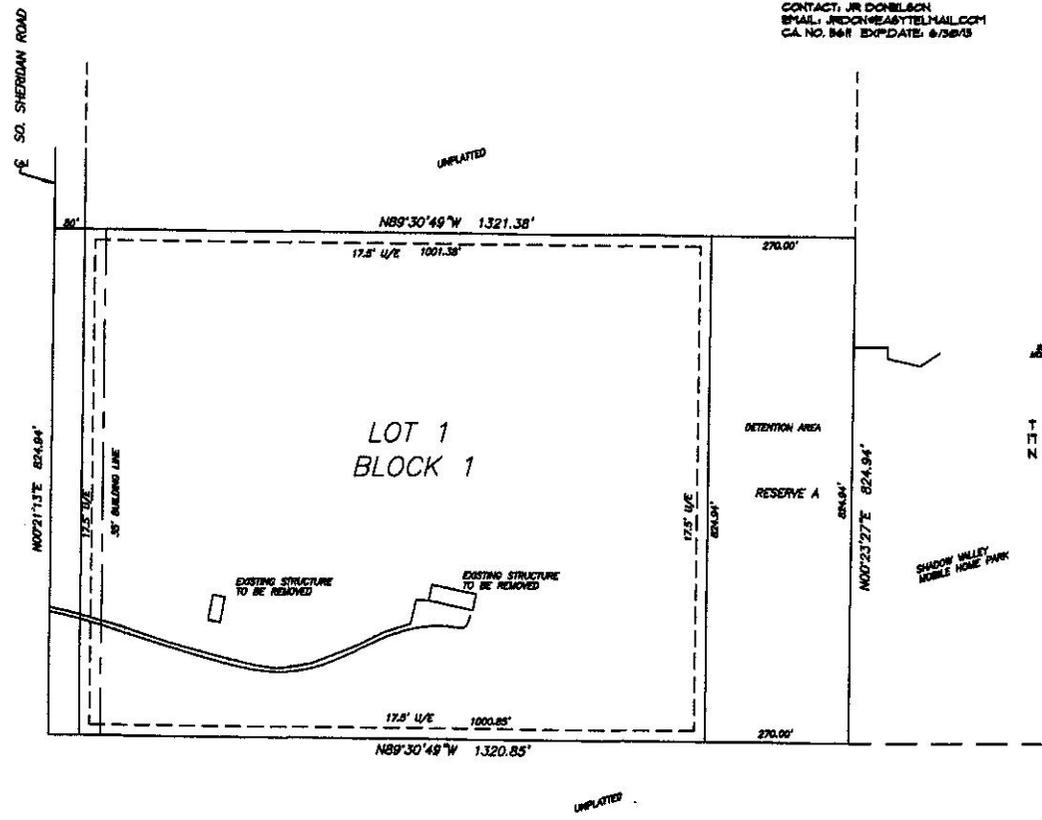
PLAT No.

OWNER:
 ROGER F. METCALF AND LEANN SAMMIE METCALF
 8328 S.O. SHERIDAN RD.
 BIXBY, OK. 74608-4806
 PHONE: 918-366-1814
 CONTACT: ROGER METCALF

LeAnn Acres
 AN ADDITION SITUATED IN THE NW/4 OF SECTION 23, T-11-N, R-13-E, TULSA COUNTY, STATE OF OKLAHOMA.

ENGINEER/SURVEYOR
 JR DONELSON, INC.
 2880 SO. MEMORIAL DR. 400
 BIXBY, OK 74608
 PHONE: 918-354-3838
 CONTACT: JR DONELSON
 EMAIL: JRDON@EASTTELHAIL.COM
 CA. NO. 848 EXP. DATE: 8/28/13

**FINAL PLAT
 CERTIFICATE OF APPROVAL**
 I hereby certify that this plat was approved by the City Council of the City of Bixby, OK.
 By: _____
 Mayor - Vice Mayor
 This approval is valid if the above signature is not countersigned by the City Manager or City Clerk.
 By: _____
 City Manager - City Clerk



CERTIFICATE

STATE OF OKLAHOMA
 COUNTY OF TULSA) SS
 I, Estelma Wilson, Tulsa County Clerk, in and for the County and State of Oklahoma above named, do hereby certify that the foregoing is a true and correct copy of a file instrument now on file in my office.
 Dated this _____ day of _____, 2012.
 Estelma Wilson, Tulsa County Clerk
 Deputy

Exhibit A

LEGEND

A.O.	ACCESS OPENING
L.N.A.	LIMITS OF NO ACCESS
U/E	UTILITY EASEMENT
BL	BUILDING LINE
CL	CENTER LINE
R.O.B.	ROAD RIGHT-OF-WAY

BASIS FOR BEARINGS:
 The basis for bearings is the North line of Section 23, T-11-N, R-13-E S 89°30'34\"/>

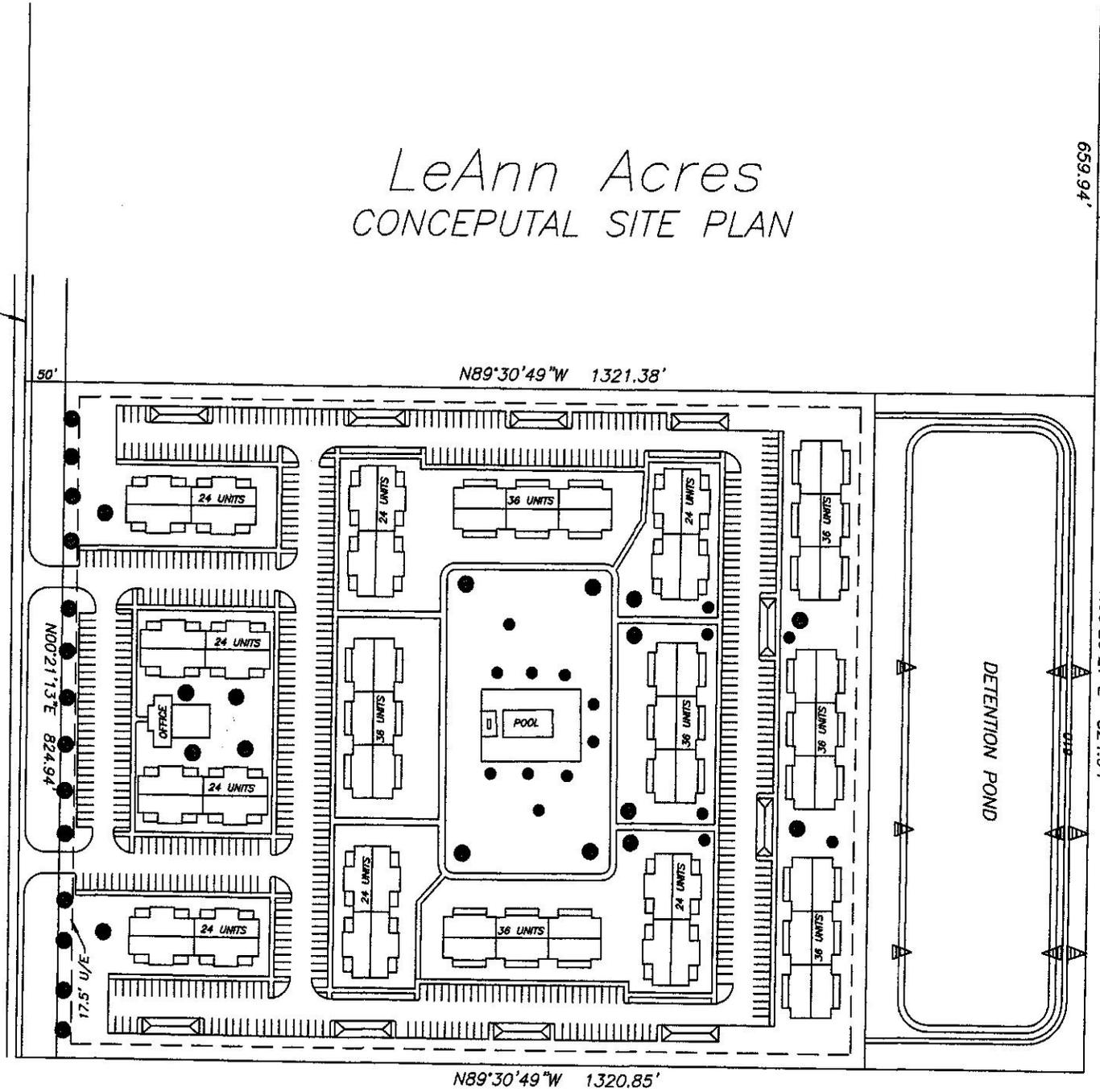
BENCHMARK:
 \"X\" in concrete along the South line of Section 14, of the Southeast Corner of West-Mart Store Addition, Elev.: 803.53, NAD83

This plat meets the Oklahoma minimum standards for the practice of Land Surveying as adopted by the Oklahoma State Board of Registration for Professional Engineers and Surveyors.

INSTRUMENTAL CONTROL:
 Southeast Corner of the SE/4 of the SE/4 of Section 14, 356,833,349 North 2,623,245,460 East

LeAnn Acres CONCEPTUAL SITE PLAN

Q SO. SHERIDAN ROAD



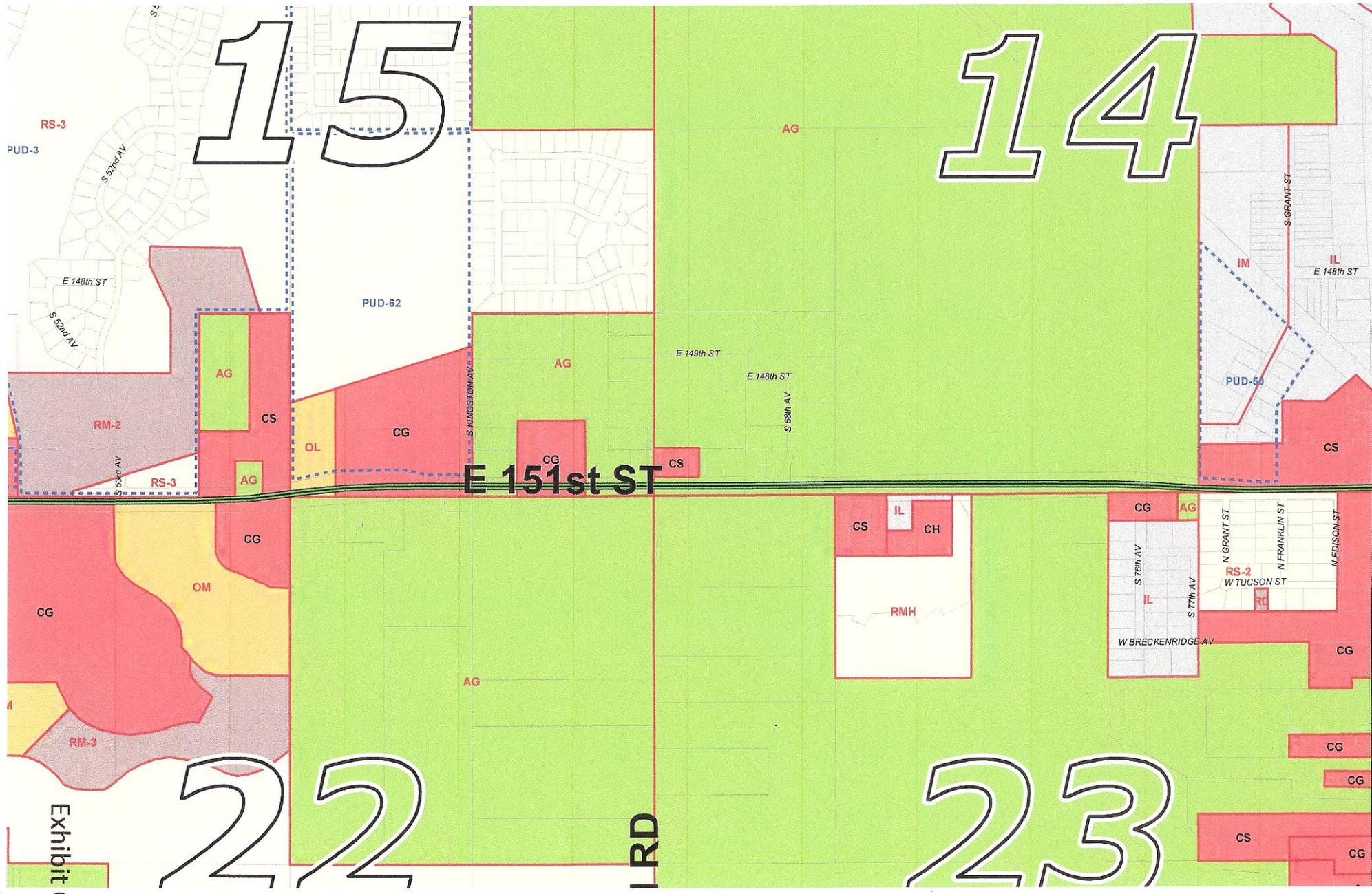
SHADOW VALLEY
MOBILE HOME PARK

Exhibit B

Exhibit B-1

PUD Site Legal Description

The S/2 NW/4 NW/4, less the S/2 S/2 S/2 NW/4 NW/4 of Section 23, T-17-N, R-13-E, Tulsa County, State of Oklahoma, containing 15 acres more or less.....and.....
the South 165 feet of the NW/4 NW/4 and the North 165 feet of the SW/4 NW/4 of Section 23, T-17-N, R-13-E, Tulsa County, State of Oklahoma, containing 10 acres more or less.



15

14

22

23

Exhibit C

LRD

RS-3
PUD-3

E 148th ST
S 53rd AV

RM-2
RS-3

CG
OM
RM-3

PUD-62

E 151st ST

AG

AG

E 148th ST
S 68th AV

CS
IL
CH
RMH

CG
AG
IL
S 76th AV
S 77th AV
W BRECKENRIDGE AV

N GRANT ST
N FRANKLIN ST
N EDISON ST
RS-2
W TUCSON ST

CS
CG

PUD-50

IM
IL
E 148th ST

CS

CG

CG

CG

CG

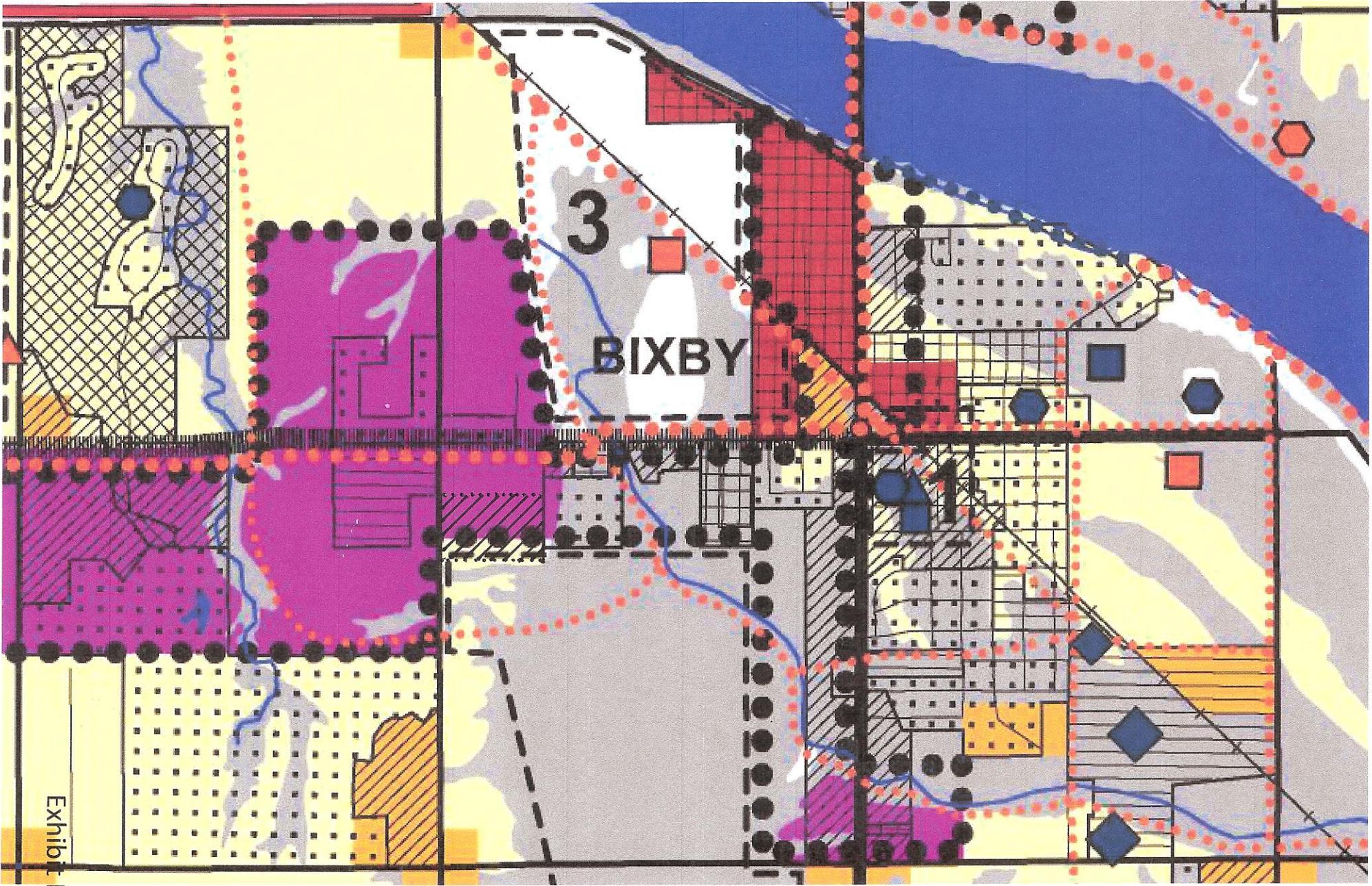


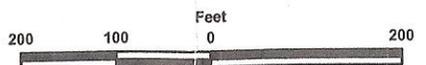
Exhibit D



Exhibit E

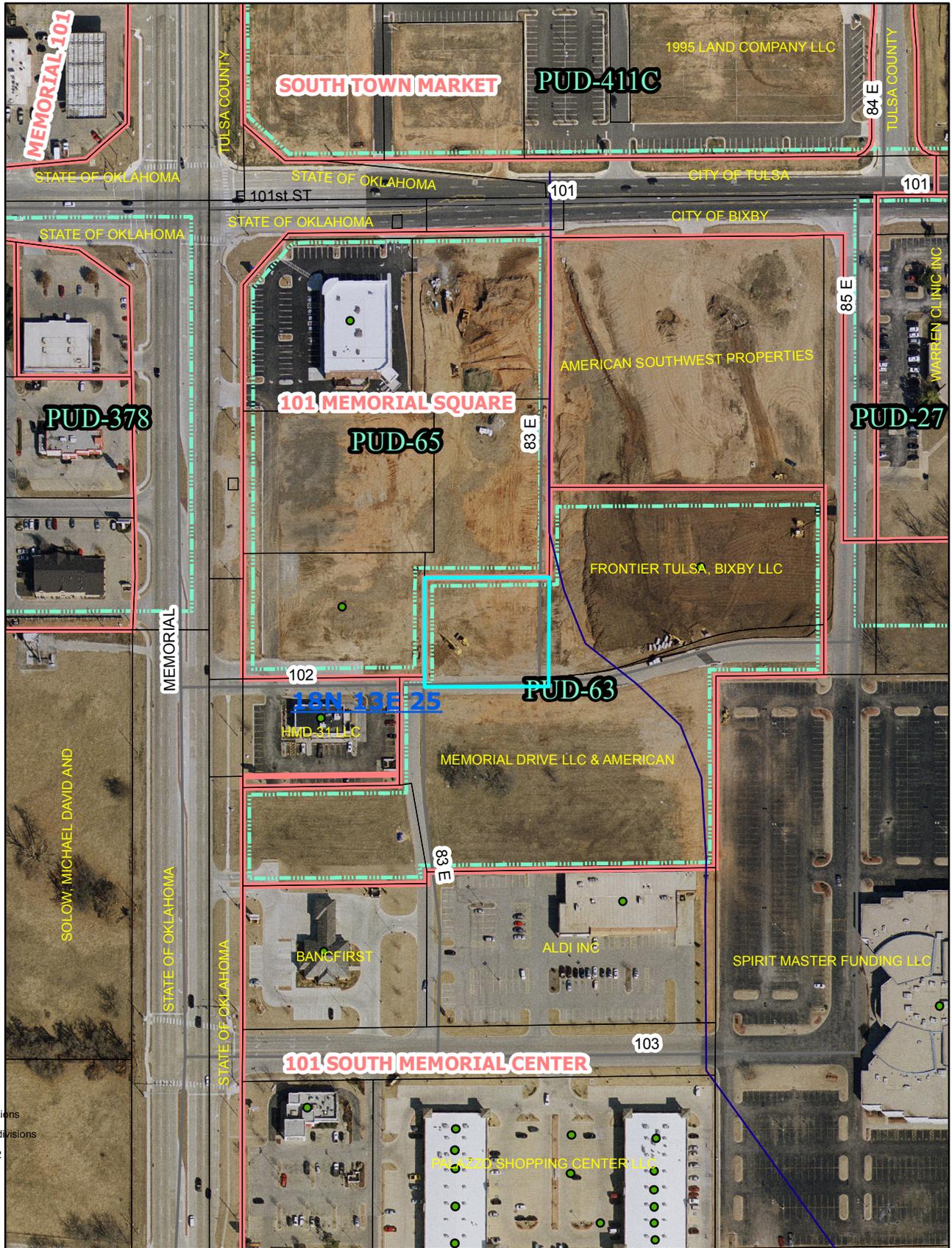


Contour Data Sources:
Tulsa County Engineer
City of Tulsa Public Works
City of Broken Arrow



Date of Photo
MARCH
Date of Contour
2002

**BSP 2012-02 – “Andy’s Frozen Custard”
Lewis Engineering, P.L.L.C. (PUD 63)**





City of Bixby Site Plan Application

Applicant: LEWIS ENGINEERING P.L.L.C
Address: 6420 S. 221ST E. AVE, BROKEN ARROW, OK 74014
Telephone: _____ Cell Phone: 918.254.8256 Email: blewis@TULSAcoxmail.com

Property Owner: JRS LAND COMPANY LLC If different from Applicant, does owner consent? YES
Property Address: 8251 E. 102nd ST. So.
Existing Zoning: CG Existing Use: VACANT Proposed Use: COMMERCIAL Use Unit #: _____

LEGAL DESCRIPTION (If unplatted, attach a survey with legal description or copy of deed):

LOT 2, BLOCK 3, 101 SOUTH MEMORIAL PLAZA
PLD # 63

Is subject tract located in the 100 year floodplain? YES NO

All new structures requiring a Building Permit, other than a small job permit, within Use Units 2, 5, and 8 through 27, inclusive, shall require the submission of a site plan demonstrating compliance with the requirements of the Zoning Code. A site plan shall be submitted with the Building Permit application as follows: Five (5) full-size hard copies, four (4) 11" X 17" hard copies, and one (1) copy in an acceptable electronic file format. Compliance with the approved site plan shall be a condition of Building Permit approval and continued occupancy. The site plan shall specifically include:

- All property lines with dimensions of the parcel or parcels on which the building permit is sought.
- All existing and proposed improvements represented to scale and dimensioned from the lot lines.
- The names and widths of all adjacent street, road, highway, alley, and railroad rights-of-way of record.
- Any roadway paving edges, curb lines, sidewalks, culverts, and/or borrow ditch centerlines, if the same are located within or along the boundary of the subject property.
- Any road, access, drainage, utility, and other such easements, including County Clerk recording references (i.e. Book/Page or Document #) for each.
- Amount of post-construction impervious area in square feet and percentage of lot area, calculated by a surveyor, architect, or engineer.
- The topographical layout of the land at no greater than two (2) foot contours if site elevation changes 10 feet or more, or if necessary for proper site design review in the opinion of City staff.
- N/A Any Special Flood Hazard Areas and Flood zone designations as identified by the adopted, effective Floodplain maps.
- N/A Any significant streams, swales, ditches, or natural drainageways.
- N/A Any existing or proposed ponds or stormwater detention or retention facilities.
- N/A All existing and/or proposed driveways and internal drives, to include labeling the surface material to be used (e.g. concrete or asphalt) for each.
- Dimensions and labels for any existing access limitations and access openings.
- N/A Water wells, septic or other on-site disposal systems, oil or gas wells or underground lines, significant oil or gas extraction appurtenances, and other critical site features.
- Unique identifiers so that the plan may be related to the subject property if ever separated from the file, such as property owner's name, property or building address, and/or legal description.
- Name, address, and contact information of the site plan preparer.
- A unique drawing number or name to distinguish the site plan from any other drawings submitted.

City of Bixby Site Plan Application

- Seal and signature of the design professional preparing the site plan if/as required.
- Date of the site plan, including any dates of revision.
- North arrow.
- Graphic scale; a numeric scale may also be used if the native paper size is specified on the site plan.
- Location map identifying the site within the land Section, arterial or larger streets within or along the boundaries of the land Section, along with sufficient subdivisions or other land features to allow for the identification of the site within the land Section.
- Other existing and/or proposed critical features not listed above if necessary for proper site design review in the opinion of City staff.
- Representation of critical features within a sufficient area outside the site if necessary for proper site design review in the opinion of City staff.

All information and items listed below must be completed and submitted prior to application review.

Included		Submittal Items	Comments
Yes	N/A		
<input checked="" type="checkbox"/>		Site plan showing the information listed above	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A landscape plan representing all existing and/or proposed landscaping.	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A sign plan representing all existing and/or proposed signs.	SHOWN IN ARCH SUBMITALS
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Building elevations or building height information.	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A screening and fence plan or representation on another drawing of all existing and/or proposed fences, walls, gates, and trash receptacle screening enclosures.	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A lighting plan and lighting information.	

Is the subject property located in a Planned Unit Development (PUD)? YES PUD #: 63

If within a PUD, does the PUD require Planning Commission approval of a site plan? YES

I do hereby certify that the information submitted herein is complete, true and accurate:

Signature: JR DONELSON FOR LEWIS ENGR. Date: 11/21/2012

~~APPLICANT - DO NOT WRITE BEYOND THIS LINE~~

.....
 Date Received _____ Received By _____ Date Approved _____
 Building Permit # _____ Case Reference # _____



DETAILED SITE PLAN

198-12-1119

ANDY'S FROZEN CUSTARD TULSA

8251 E. 102nd St.

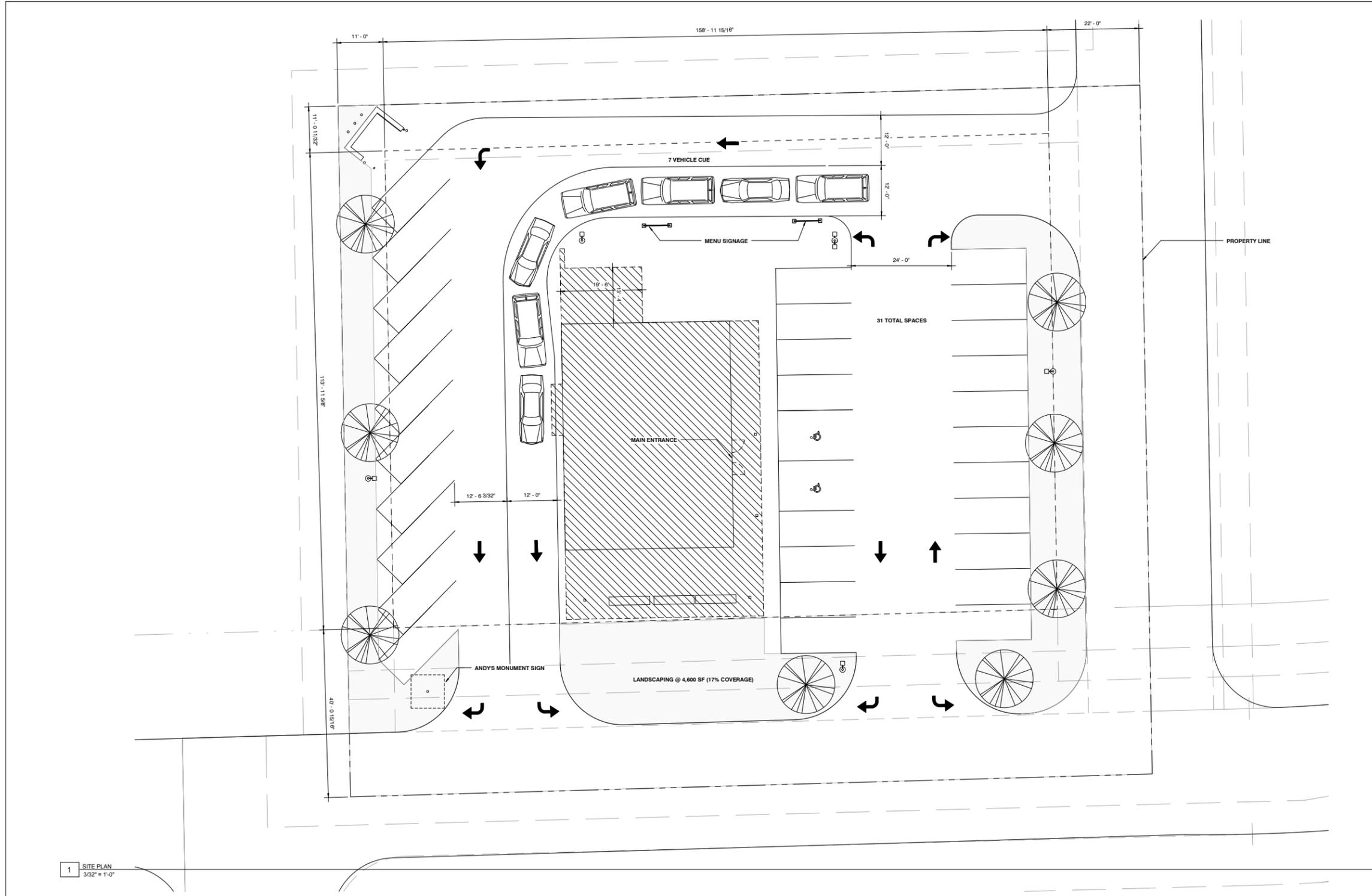
Tulsa, OK 74133



Hufft Projects

321 W. 40th St.
Kansas City, MO 64111
P: 816.531.0200
F: 816.531.0201

hufft.com



KEYNOTES:

ANDY'S FROZEN CUSTARD TULSA, 8251 E. 102nd. St., Tulsa, OK, 74133

Site Submittal | Nov. 19, 2012

1 SITE PLAN
3/32" = 1'-0"

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REVISION SCHEDULE:	
NO.	DATE

ARCHITECT:
Hufft Projects
321 West 40th Street
Kansas City, MO 64111
P: 816-531-0200
F: 816-531-0201

www.hufft.com
Hufft Projects, LLC
Missouri State Certificate of Authority #

CONSULTANT:
STRUCTURAL
ADDRESS
SPRINGFIELD, MO

CONSULTANT:
MEP
301 DUCK ROAD
KANSAS CITY, MO 64109

CONSULTANT:
CONSULTANT 3
ADDRESS

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SITE PLAN

A101

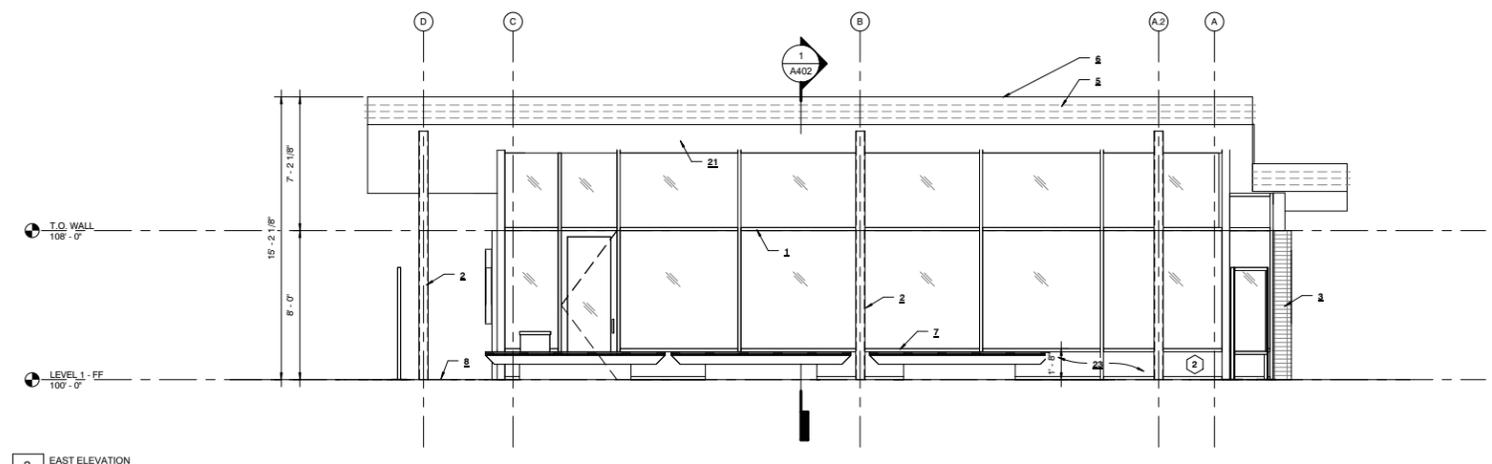


ANDY'S FROZEN CUSTARD TULSA, 8251 E. 102nd St., Tulsa, OK, 74133

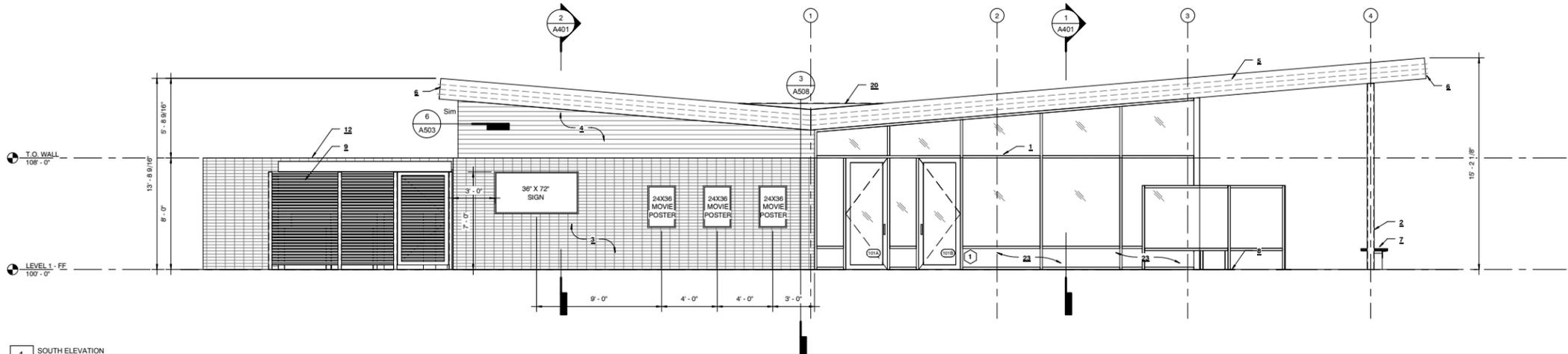


HUFFT PROJECTS
321 West 4th Street
Kansas City, MO 64111
P: 816-531-0200
F: 816-531-0201
www.hufft.com
Hufft Projects, LLC
Missouri State Certificate of Authority #

1. EFCO 5500 CURTAIN WALL SYSTEM WITH 1" INSULATED GLAZING AND SPANDREL PANEL AS NOTED.
2. COLUMNS PER STRUCTURAL
3. RECLAIMED MASONRY VENEER W/ MASONRY TIES @ 16" O.C. VERT., 32" O.C. HORIZ. W/ CLEAR SEALANT
4. 3/4" T + G WESTERN RED CEDAR SIDING.
5. PERIMETER NEON LIGHTING ON EXTENTS OF ALUMINUM FASCIA BY OWNER
6. SQUARE CUT ROOF EDGE
7. SITE-SPECIFIC BENCH
8. SITE WORK PER CIVIL PLANS AND SPECIFICATIONS
9. IPE LOUVERS ON GALVANIZED TUBE STEEL FRAME
10. 60 MIL WHITE TPO ROOFING MECHANICALLY FASTENED ON 1" RIGID INSULATION
11. EAS-SERV PRODUCTS INC. - SS SERIES IN-LINE SIDE SLIDER - DRIVE THRU WINDOW PER WINDOW AND CURTAIN WALL SCHEDULE
12. CAP AND SILL FLASHING AT TOP DATUM OF MASONRY VENEER AND FREESTANDING WALL, TYP.
13. FOUNDATION PER STRUCTURAL
14. WALL TYPE PER PLAN
15. DUCTWORK LOCATION AND SIZING PER MEP
16. ALL INTERIOR FINISHES - D.T.F.
17. MENU SIGNAGE
18. LARGE ANDY'S IDENTITY SIGNAGE
19. ROOF CONSTRUCTION - 60 MIL WHITE TPO ROOFING MECHANICALLY FASTENED ON 1" RIGID INSULATION OVER TJI'S PER STRUCTURAL WITH BATT INSULATION - MINIMUM OF R-30
20. CRICKET - SEE ROOF PLAN FOR ADDITIONAL INFORMATION
21. 3/4" EXTRA PANELING - PAINTED WHITE
22. APPLY AN OPAQUE WHITE VINYL TO THE INSIDE FACE OF THE VISION GLAZING IN THIS AREA EXTENDING FROM THE BOTTOM OF F.F.E. TO A DATUM 5' A.F.F. - LOWER WHITE SPANDREL PANELS TO REMAIN - COORDINATE EXTENTS TO CONCEAL FRAMED INTERIOR WALLS
23. WHITE SPANDREL GLAZING - ALL SPANDREL GLASS TO BE WHITE, U.O.N.



2 EAST ELEVATION
1/4" = 1'-0"



1 SOUTH ELEVATION
1/4" = 1'-0"

REVISION SCHEDULE		
NO.	DATE	ISSUE

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Architect: ARCHITECT
License Number: 8034
Drawn By: JST
Project Number: 11108

ELEVATIONS

A301

For Construction Set Nov. 19, 2012

11/19/2012 11:47:29 AM

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ANDY'S FROZEN CUSTARD TULSA, 8251 E. 102nd St., Tulsa, OK, 74133



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Missouri State Certificate of Authority #

REVISION SCHEDULE		
NO.	DATE	ISSUE

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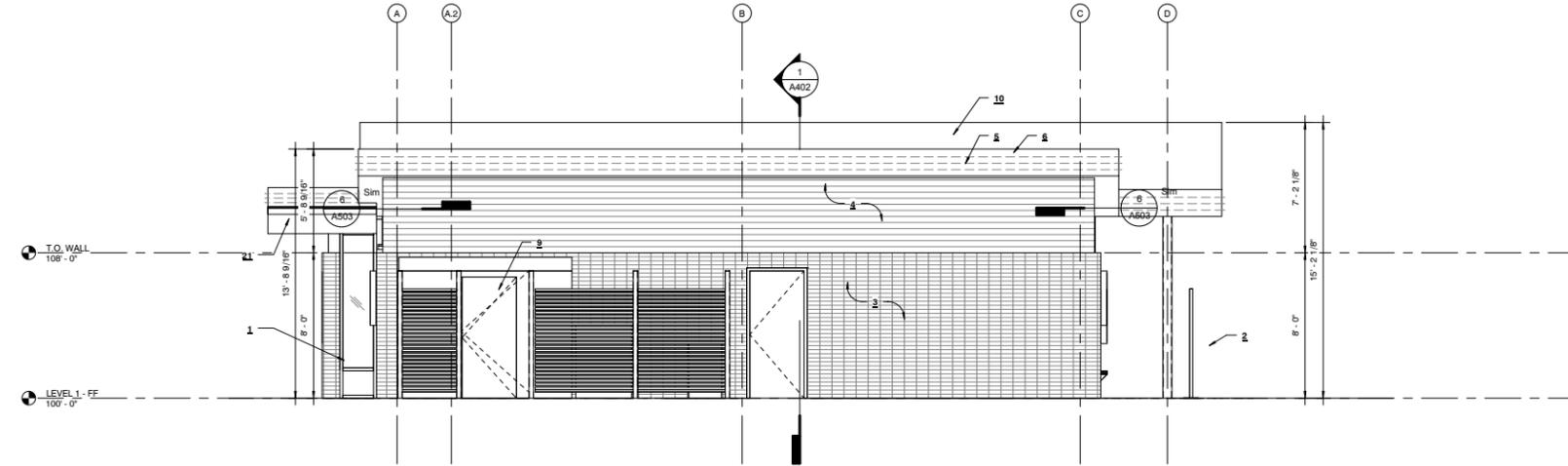
Architect: ARCHITECT
License Number: 8034
Drawn By: JST
Project Number: 11108

ELEVATIONS

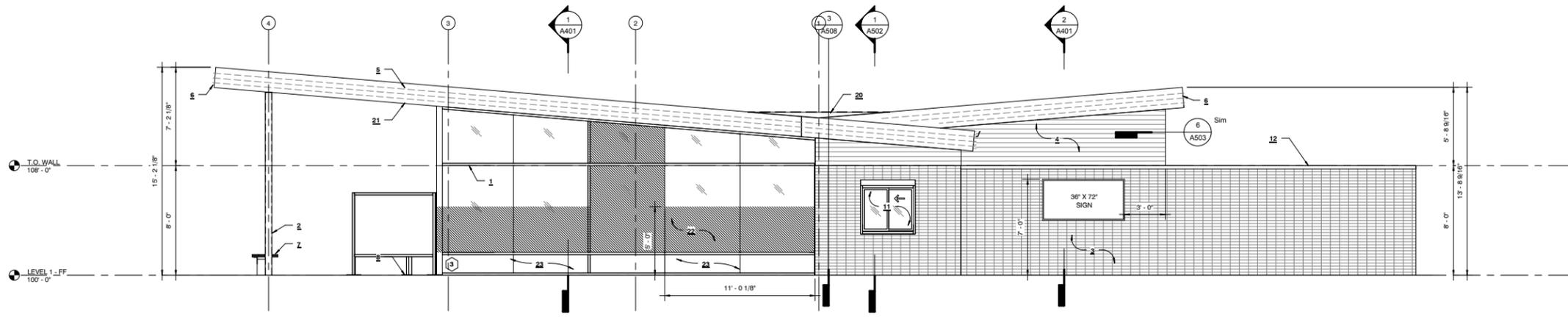
A302

For Construction Set | Nov. 19, 2012

1. EFCO 5500 CURTAIN WALL SYSTEM WITH 1" INSULATED GLAZING AND SPANDREL PANEL AS NOTED.
2. COLUMNS PER STRUCTURAL
3. RECLAIMED MASONRY VENEER W/ MASONRY TIES @ 16" O.C. VERT.; 32" O.C. HORIZ.; W/ CLEAR SEALANT
4. 3/4" T + G WESTERN RED CEDAR SIDING.
5. PERIMETER NEON LIGHTING ON EXTENTS OF ALUMINUM FASCIA BY OWNER
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12. CAP AND SILL FLASHING AT TOP DATUM OF MASONRY VENEER AND FREESTANDING WALL, TYP
13. FOUNDATION PER STRUCTURAL
14. WALL TYPE PER PLAN
15. DUCTWORK LOCATION AND SIZING PER MEP
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23. WHITE SPANDREL GLAZING - ALL SPANDREL GLASS TO BE WHITE, U.O.N.



1 WEST ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"

11/19/2012 11:42:27 AM

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0221-12-EWAL-1 EXTERIOR WALL MOUNT SIGN

TBD TBD **COLOR GUIDE**

PSG
 505 N. GLENSTONE
 SPRINGFIELD, MO. 65802
 P. 417.869.6468
 F. 417.869.1545

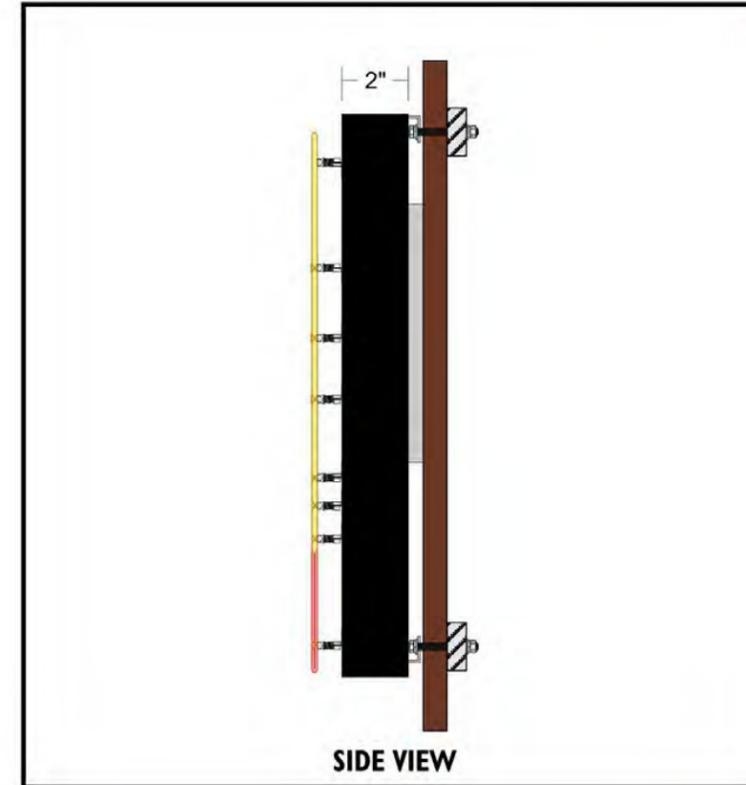
PROJECT NAME
 ANDY'S FROZEN
 CUSTARD
 JOPLIN, MO

PROJECT MANAGER
 DAN COGSWELL

DESIGNER
 N.TARR

SCALE
 1" = 1'-0"

DATE PRINTED
 02.21.12



APPROVED
 APPROVED AS NOTED
 REVISE & RESUBMIT
 DATE: ____/____/____
 AUTHORIZED SIGNATURE

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- NOTES**
- NEW NEON ILLUMINATED SIGN PER CUSTOMER'S SIGN STANDARDS
 - FLAT ALUMINUM FACE w/ 2" BLACK RETURNS
 - CUT VINYL GRAPHICS
 - MOUNTED TO RACEWAY
 - 13mm NEON TUBING (COLOR TBD)
 - 1.5" STANDOFF FROM WALL



pinnaclesigngroup.com COPYRIGHT PINNACLE SIGN GROUP 2012



0221-I2-PYLO-I 4 SIDED PYLON SIGN

TBD  TBD  **COLOR GUIDE**



505 N. GLENSTONE
SPRINGFIELD, MO. 65802
P. 417.869.6468
F. 417.869.1545

PROJECT NAME
ANDY'S FROZEN
CUSTARD
JOPLIN, MO

PROJECT MANAGER
DAN COGSWELL

DESIGNER
N.TARR

SCALE
1/4" = 1'-0"

DATE PRINTED
02.21.12

APPROVED
 APPROVED AS NOTED
 REVISE & RESUBMIT
DATE: ___/___/___
AUTHORIZED SIGNATURE

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PINNACLE SIGN GROUP
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THERE IS WRITTEN CONSENT
FROM PINNACLE SIGN GROUP.



- SPECIFICATIONS**
- NEW 4 SIDED PYLON SIGN ON SINGLE POLE TO MATCH CUSTOMER'S SIGN STANDARDS
 - INTERNALLY ILLUMINATED
 - PAN FACES-BACK SPRAYED (COLORS TBD)
 - DOUBLE SIDED CHANGEABLE COPY BAORD w ATM RIDER
 - NEON ON ATM
 - DIMENSIONAL CONE-TO BE PROVIDED FROM VENDOR



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DESCRIPTION

The Lumark Tribute is the most versatile, functionally designed, universally adaptable outdoor luminaire available. The Tribute brings outstanding performance to walkways, parking lots, roadways, loading docks, building areas, and any security lighting application. U.L. listed and CSA certified for wet locations.

Catalog #	Type
Project	
Comments	Date
Prepared by	

SPECIFICATION FEATURES

Construction

Rugged one-piece die-cast aluminum housing and door frame. One-piece silicone gasket protects the optical chamber from performance degrading contaminants. One (1) stainless spring latch and two (2) stainless hinges allow toolless opening and removal of door frame.

Reflector

Choice of nine (9) high efficiency optical distributions, including five (5) segmented optical systems constructed of premium 95% reflective oxidized aluminum sheet. Optical segments are rigidly mounted inside a thick gauge aluminum housing for superior protection. All segment faces are clean of rivet heads, tabs or other means of attachment which may cause streaking in the light distribution. Optical modules are

field rotatable in 90° increments and offered standard with mogul base lampholders for High Pressure Sodium and 200-400W Metal Halide assemblies or medium-base lampholders for Metal Halide 150W and below.

Electrical

Ballast and related electrical componentry are hard mounted to die-cast housing for optimal heat transfer and operating efficiency. Optional swing-down galvanized steel power tray with integral handle and quick disconnects allows tray to be completely removed from housing providing ample room for fixture installation and maintenance.

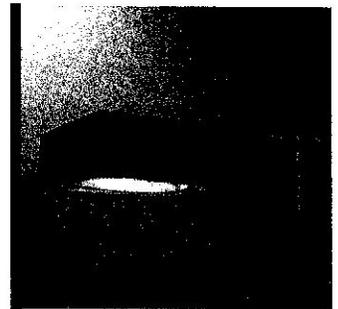
Mounting

Extruded 8" aluminum arm features internal bolt guides for easy positioning of fixture during installation to pole or wall surface.

Standard single carton packaging of housing, square pole arm and round pole adapter allow for consolidated product arrival to site. Optional internal mast arm mount accepts a 1 1/4" to 2 3/8" O.D. horizontal tenon, while a 4-bolt clamping mechanism secures fixture. Cast-in leveling guides provide +/-5° vertical leveling adjustment.

Finish

Housing and arm finished in a 5 stage premium TGIC bronze polyester powder coat paint. Optional colors include black, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.



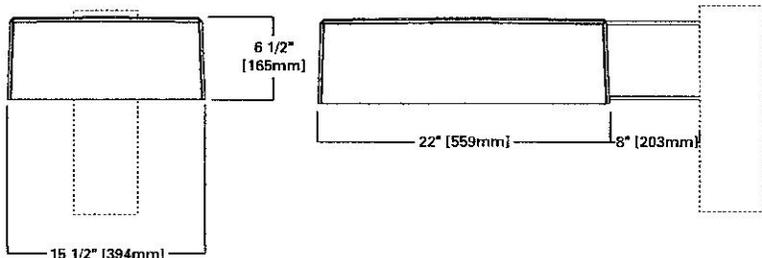
TR TRIBUTE

70 - 400W
High Pressure Sodium
Pulse Start Metal Halide
Metal Halide

AREA LUMINAIRE

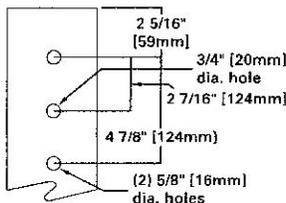


DIMENSIONS

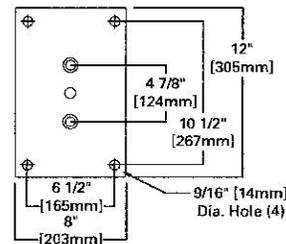


DRILLING PATTERNS

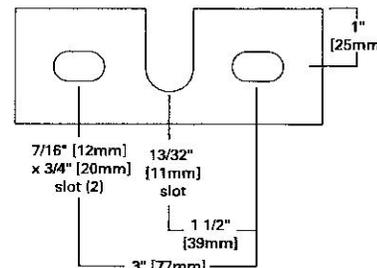
TYPE "M"



WALL MOUNT (MA1219-XX)



TRUNNION MOUNT



TECHNICAL DATA

UL Wet Locations Listed
CSA Certified
EISA Compliant ©

ENERGY DATA

HI-Reactance Ballast Input Watts

- 70W HPS HPF (95 Watts)
- 100W HPS HPF (130 Watts)
- 150W HPS HPF (190 Watts)
- 150W MP HPF (185 Watts)

CWI Ballast Input Watts

- 250W HPS HPF (300 Watts)

CWA Ballast Input Watts

- 175W MH HPF (210 Watts)
- 200W MP HPF (227 Watts) ©
- 200W HPS HPF (250 Watts)
- 250W MH HPF (295 Watts)
- 250W MP HPF (283 Watts) ©
- 320W MP HPF (365 Watts) ©
- 350W MP HPF (397 Watts) ©
- 400W MP HPF (452 Watts) ©
- 400W MH HPF (455 Watts)
- 400W HPS HPF (465 Watts)

EPA

Effective Projected Area: (Sq. Ft.)
Without Arm: 1.19

SHIPPING DATA

Approximate Net Weight:
39 lbs. (17.73 kgs.)



ORDERING INFORMATION

Sample Number: MPTR-SL-400-MT-LL

--	--	--	--	--	--	--	--

Lamp Type

MP=Pulse Start Metal Halide
MH=Metal Halide
HP=High Pressure Sodium

Series ¹

TR=Tribute (Arm Included)

Distribution

2F=Type II Formed
2S=Type II Segmented
3F=Type III Formed
3S=Type III Segmented
4F=Type IV Formed
4S=Type IV Segmented
5F=Type V Formed
5S=Type V Segmented
SL=Spill Light Eliminator

Lamp Wattage ²

MP
70=70W
100=100W
150=150W
200=200W
250=250W
320=320W
350=350W
400=400W³
MH
175=175W⁴
250=250W⁴
400=400W^{3,4}
HPS
70=70W
100=100W
150=150W
250=250W
400=400W³

Voltage ⁵

120V=120V
208V=208V
240V=240V
277V=277V
347V=347V⁶
480V=480V
DT=Dual-Tap
MT=Multi-Tap, wired 277V
TT=Triple-Tap,⁶ wired 347V
5T=5 Tap Wired⁶ 480V

Options

F1=Single Fuse (120, 277 or 347V⁷ only)
F2=Double Fuse (208, 240 or 480V⁷ only)
Q=Quartz Restrike (Hot Strike Only)⁸
EM=Quartz Restrike with "Delay Relay" (Quartz lamp strikes at both hot and cold starts)
EM/SC=Emergency Separate⁹ Circuit
LL=Lamp Included
S=1 1/4" - 2 3/8" Internal Mast Arm Mount
TM=Trunnion Mount
PT=Electrical Power Tray
PER=NEMA Twistlock Photocontrol Receptacle
PC=Button Type Photocontrol⁹
HS=House Side Cutoff¹⁰
LA=Less Arm (Order Mounting Separately)

Standard Color

_=Bronze (Standard)
WH=White
BK=Black
AP=Grey
DP=Dark Platinum
GM=Graphite Metallic

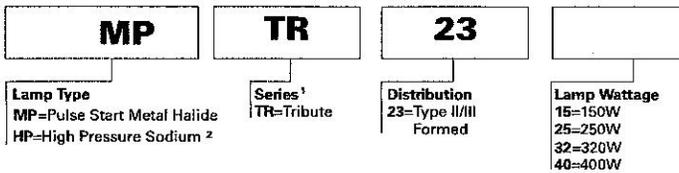
Accessories ¹¹

MA1201-XX=Direct Wall Mount Kit
MA1218-XX=Direct Mount for Pole
MA1219-XX=Wall Mounting Plate
OA1090-XX=Adjustable slipfitter Arm for Tenon Mount 2 3/8" O.D.¹
MA1221-XX=External House Side Shield Kit (EPA= 0.38)
MA1222=Internal House Side Shield Kit for 2S/3S
MA1223=Internal House Side Shield Kit 4S
MA1224=Internal House Side Shield Kit for 2F/3F
MA1225=Internal House Side Shield Kit for 4F
MA1010-XX=Single Tenon Adapter for 3 1/2" O.D. Tenon
MA1011-XX=2 @ 180 degrees Tenon Adapter for 3 1/2" O.D. Tenon
MA1012-XX=3 @ 120 degrees Tenon Adapter for 3 1/2" O.D. Tenon
MA1013-XX=4 @ 90 degrees Tenon Adapter for 3 1/2" O.D. Tenon
MA1014-XX=2 @ 90 degrees Tenon Adapter for 3 1/2" O.D. Tenon
MA1015-XX=2 @ 120 degrees Tenon Adapter for 3 1/2" O.D. Tenon
MA1016-XX=3 @ 90 degrees Tenon Adapter for 3 1/2" O.D. Tenon
MA1017-XX=Single Tenon Adapter for 2 3/8" O.D. Tenon
MA1018-XX=2 @ 180 degrees Tenon Adapter for 2 3/8" O.D. Tenon
MA1019-XX=3 @ 120 degrees Tenon Adapter for 2 3/8" O.D. Tenon
MA1045-XX=4 @ 90 degrees Tenon Adapter for 2 3/8" O.D. Tenon
MA1048-XX=2 @ 90 degrees Tenon Adapter for 2 3/8" O.D. Tenon
MA1049-XX=3 @ 90 degrees Tenon Adapter for 2 3/8" O.D. Tenon
TRVS=Field Installed Vandal Shield¹²
OARA1013=Photocontrol Shorting Cap
OARA1016=NEMA Photocontrol - Multi-Tap
OARA1027=NEMA Photocontrol 480V
OARA1201=NEMA Photocontrol 347V

Notes: 1 3 Inch Arm and pole adapter included with fixture. Specify Less Arm "LA" option when mounting accessory is ordered separately. 2 150W and below in Pulse Start Metal Halide are medium base sockets. All other wattages are mogul base. 3 Requires reduced envelope lamp. 4 175W, 250W, and 400W MH available in non-U.S. markets only. 5 Products also available in non-US voltages and 50Hz for international markets. Consult your Cooper Representative for availability and ordering information. 5T only available in 400W MH. 6 88% efficient EISA Compliant MP fixtures not available in 347V or TT Voltages. 7 Must specify voltage. 8 Quartz options not available with SL optics. 9 Specify 120V, 208V, 240V, or 277V only. 10 House side shield not available on 5S, 5F, or SL optics. 11 Order separately/replace XX with color specification. 12 Not available with SLE or House Side Shield.

STOCK SAMPLE NUMBER (Lamp Included)

SAMPLE NUMBER: MPTR2340

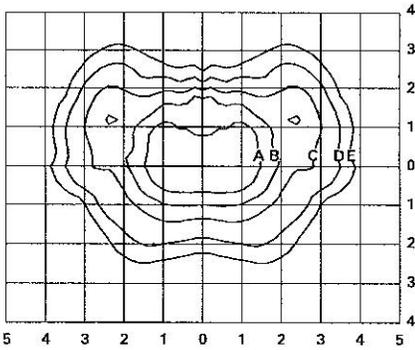


NOTES:

¹ Short logic fixtures are finished bronze include multi-tap ballast, lamp, arm and round pole adapter. Other options not available. Refer to standard ordering logic. ² Available in 150, 250 and 400 Watt. Refer to In Stock Guide for availability.

VOLTAGE CHART	
DT=Dual-Tap	120/277 (wired 277V)
MT=Multi-Tap	120/208/240/277 (wired 277V)
TT=Triple-Tap	120/277/347 (wired 347V)
5T=5-Tap	120/208/240/277/480 (wired 480V)

LAMP TYPE	WATTAGE
Pulse Start Metal Halide	70, 100, 150, 250, 320, 350, 400W
Metal Halide	175, 250, 400W
High Pressure Sodium	70, 100, 150, 250, 400W

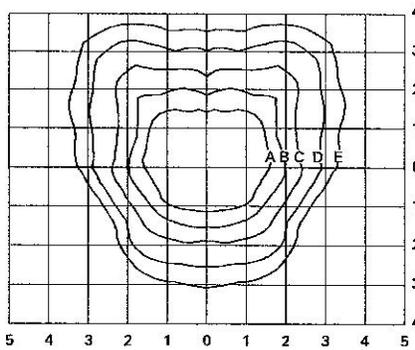


MPTR-3S-320
 320--Watt MP
 30,000--Lumen Clear Lamp
 Type III Segmented

Footcandle Table

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
20'	3.00	1.50	0.75	0.30	0.15
25'	2.00	1.00	0.50	0.20	0.10
30'	1.38	0.69	0.34	0.13	0.06

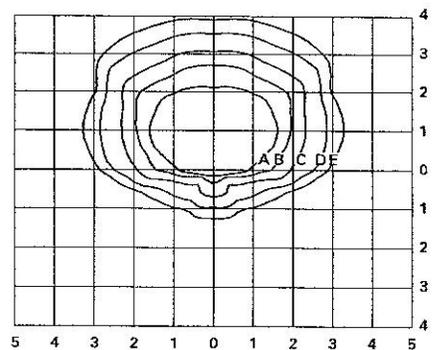


MPTR-4S-400
 400--Watt MP
 40,000--Lumen Clear Lamp
 Type IV Segmented

Footcandle Table

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
20'	3.00	1.50	0.75	0.30	0.15
25'	2.00	1.00	0.50	0.20	0.10
30'	1.38	0.69	0.34	0.13	0.06



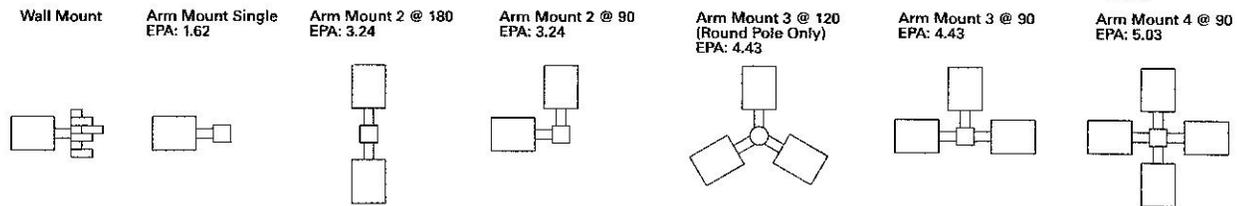
MPTR-SL-400
 400--Watt MP
 40,000--Lumen Clear Lamp
 Spill Light Eliminator

Footcandle Table

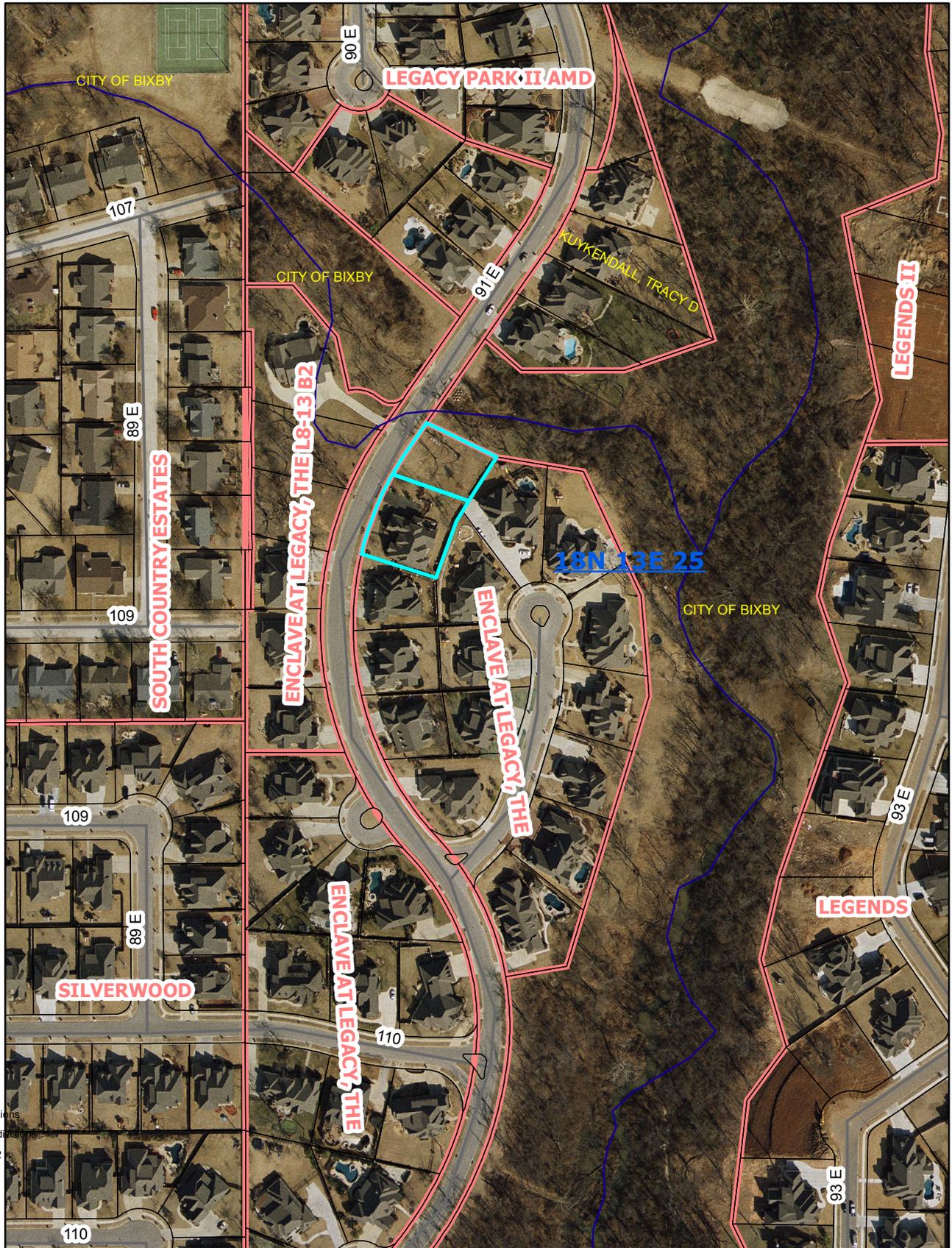
Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
20'	3.00	1.50	0.75	0.30	0.15
25'	2.00	1.00	0.50	0.20	0.10
30'	1.38	0.69	0.34	0.13	0.06

MOUNTING CONFIGURATIONS



V-44 – Patterson Law Firm



- Businesses
- bixby_streams
- Tulsa Parcels 08/12
- WagParcels 08/12
- TulsaCountySubdivisions
- WagonerCountySubdivisions
- WagRoads_Aug2012
- E911Streets
- PUD
- bixby_s-t-r



PATTERSON

L A W F I R M

CLINT M. PATTERSON · DAVID G. FRANCY · REBECCA A. MURPHY · CHERYL A JACKSON

October 31, 2012

Erik Enyart, City Planner
City of Bixby
P.O. Box 70
Bixby, Oklahoma 74008
Via e-mail and regular mail

Re: Vacation of Utility Easement

Dear Mr. Enyart:

Enclosed you will find an Application for Vacation or Closing the Utility Easement located on the East side of Lots 15 and 16, Block 3, The Enclave at Legacy along with the supporting documentation.

Please contact this office with any requests for additional information and all status updates on this matter.

Regards,


Cheryl A. Jackson

cc: David Pohl

APPLICATION FOR VACATION OR CLOSING

NATURE OF REQUEST

Set out below the specifics of your application. Where applicable indicate pertinent uses, distances, dimensions, etc. You should attach any plot plans, photographs and other factual information which will assist the City Council in determining the merits of your application.

Vacate Utility Easement on Lots 15 and 16, Block 3 of The Enclave at Legacy addition to the City of Bixby, as detailed in the Final Plat filed at Book 7008 Page 822 with the Tulsa County Clerk

Legal Description or location:

See attached for original Utility Easement and proposed legal description to remove/vacate Utility Easement from Lots 15 and 16, Block 3, The Enclave at Legacy

As applicant what is your interest : I CERTIFY THAT THE SUBMITTED INFORMATION IS TRUE AND CORRECT

- Present Owner
- Purchaser
- Attorney for Owner
- Agent for Owner
- Other

Name: Cheryl A. Jackson Cheryl A. Jackson
 Address: Patterson Law Firm
1112 South Boston
Tulsa, Oklahoma 74119
 Phone: 918-895-8200

FOR INTERNAL OFFICE USE

Application received by:	DISPOSITION
Application Date:	ACTION
Public Hearing Date:	Staff Recommendation:
Type of Request	City Council:
Comments for Utility Companies	



AMERICAN EAGLE
LAND SURVEYING, LLC

2023 West 111th Street, Jenks, Ok 74037
Ph 918-640-4162 Fax 918-894-5248
darrellbible@gmail.com

Order No. 1210002

LEGAL DESCRIPTION
Utility Easement to be Vacated

A Eleven (11) foot Utility Easement in Lot Fifteen (15), Block Three (3), THE ENCLAVE AT LEGACY, an Addition to the City of Bixby, Tulsa County, State of Oklahoma, according to the Recorded Plat No. 5692, more particularly described as follows, to-wit:

Beginning the the Southeast Corner of said Lot 15; Thence N 18°54'53" E along the East line of said Lot 15 a distance of 92.71 feet to the Northeast Corner of said Lot 15; Thence N 64°07'57" W along the North line of said Lot 15 a distance of 11.05 feet; Thence S 31°08'29" W a distance of 0.16 feet; Thence S 18°54'53" W a distance of 94.30 feet to a point on the South line of said Lot 15; Thence S 73°15'02" E along said South line a distance of 11.00 feet to the Point of Beginning.



AMERICAN EAGLE
LAND SURVEYING, LLC

2023 West 111th Street Jenks, OK. 74037
OFFICE (918)640-4162 FAX (918)894-5248
darrellbible@gmail.com

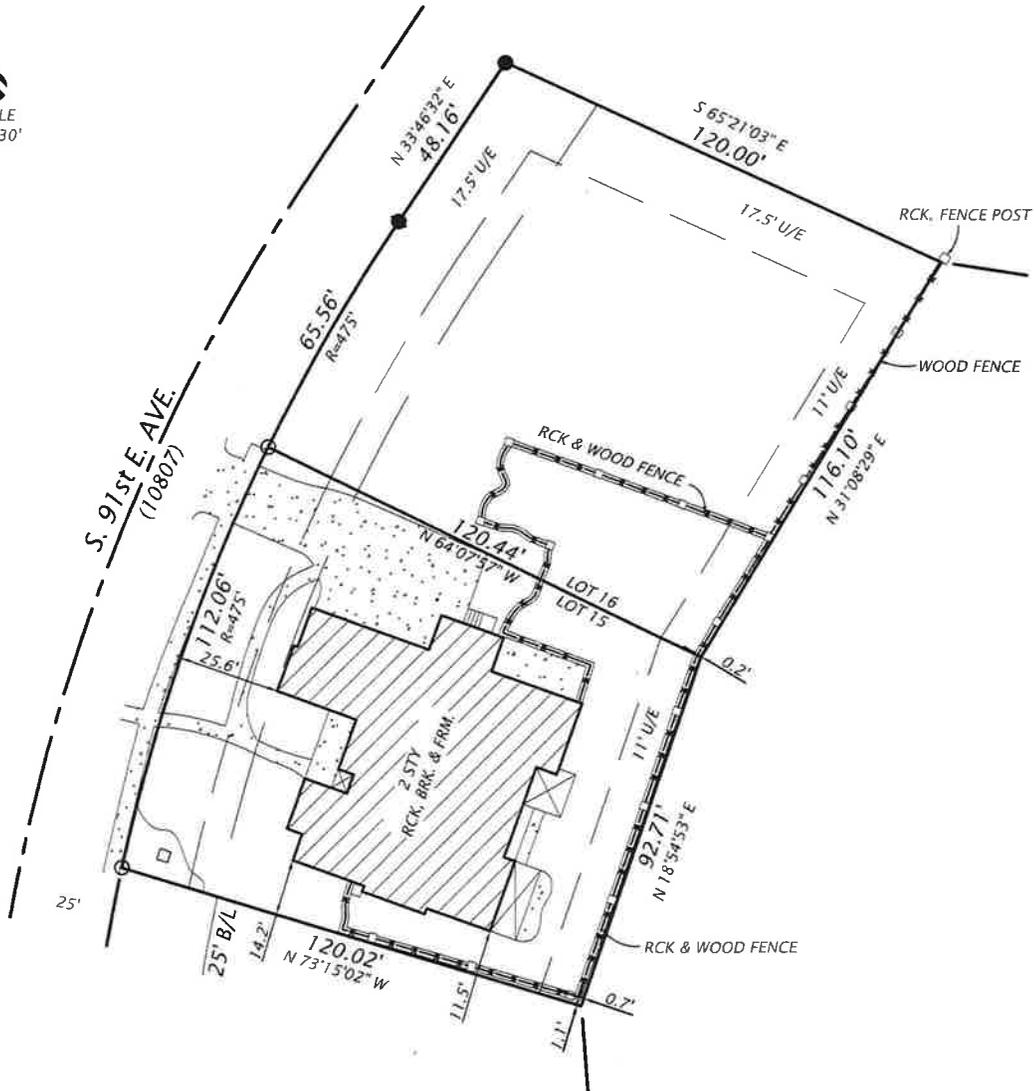
PROFESSIONAL LAND SURVEYOR'S
PLAT OF BOUNDARY SURVEY

Order No. 1210002
Client: David Pohl

Legal Description

Lot Fifteen (15), and Lot Sixteen (16), Block Three (3), THE ENCLAVE AT LEGACY,
an Addition to the City of Bixby, Tulsa County, State of Oklahoma,
according to the Recorded Plat No. 5692.

SCALE
1" = 30'



Property address: 10807 South 91st East Avenue, Tulsa, Oklahoma

CERTIFICATE

I DARRELL BIBLE, PROFESSIONAL LAND SURVEYOR #1731 IN AND FOR THE STATE OF OKLAHOMA, HEREBY CERTIFY THAT THE ABOVE PLAT AND LEGAL DESCRIPTION REPRESENTS A BOUNDARY SURVEY PERFORMED UNDER MY DIRECT SUPERVISION. THIS PLAT OF SURVEY MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS. THE ABOVE PLAT MAY BE SUBJECT TO EASEMENTS AND/OR RIGHTS OF WAYS OF RECORD. NO RESEARCH OF ABSTRACT OR RECORD OFFICES HAS BEEN CONDUCTED.

LEGEND

- = FD. IRON PIN
- = SET IRON PIN
- I.P. = IRON PIN
- X = CHISELED X IN CONC.
- X— = FENCE
- F.M. = FIELD MEASUREMENT

Darrell Bible
Darrell Bible
OKLAHOMA REGISTERED
LAND SURVEYOR NO. 1731
CA #6588 EXPIRES 6/30/2014
Final: 10/29/2012



Cheryl A. Jackson

From: mabutler@aep.com
Sent: Monday, October 29, 2012 4:57 PM
To: Cheryl A. Jackson
Subject: Re: FW: Request for Release of Easement
Attachments: Highlighted UE.pdf; Plat.pdf

Cheryl,

PSO has no objection to closing the U/E located along the East side of lots 15 and 16, Block 3.

Our facilities are located in the front of those lots.

Let me know if you need further information.



Mark Butler
Supervisor
Distribution Technical Services
AEP/Public Service Co. of OK
Office: 918-599-2351
Fax: 918-599-3226

"Cheryl A. Jackson" <cherylannejackson@hotmail.com>

10/29/2012 04:19 PM

To <mabutler@aep.com>

cc

Subject FW: Request for Release of Easement

Mr. Butler,

When can I expect to receive a response on this?

Cheryl A. Jackson
Patterson Law Firm
1112 South Boston Ave
Tulsa, Oklahoma 74119
Voice: 918-895-8200
Fax: 918-512-4354
Email: cherylajackson@att.net

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From: Cheryl A. Jackson [<mailto:cherylannejackson@hotmail.com>]
Sent: Thursday, September 27, 2012 3:16 PM
To: 'jpeterson@olp.net'; 'gary.hamilton@cox.com'; 'jnobles@ong.com'; 'mabutler@aep.com'

Subject: Request for Release of Easement

Attached you will find the plat for Enclave at Legacy and the diagram of the lots for which we are seeking a release of utility easement. The easement highlighted in blue is the easement we would like to have released. Please advise if you have any questions or need any additional information from me.

The property is Block 3 Lots 15 and 16, with a street address of 10807 S. 91st E. Ave.

Cheryl A. Jackson

Patterson Law Firm

1112 South Boston Ave

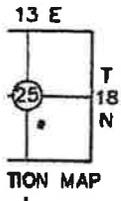
Tulsa, Oklahoma 74119

Voice: 918-895-8200

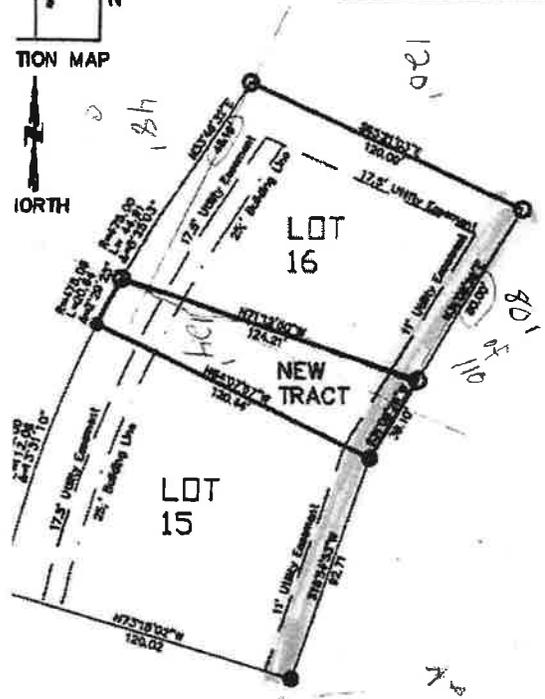
Fax: 918-512-4354

Email: cheryljackson@att.net

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LOT SPLIT & CONSOLIDATION



Original Description

LOT 16, BLOCK 3 "THE ENCLAVE AT LEGACY", PART OF THE WEST HALF OF THE SOUTH HALF OF SECTION 25, TOWNSHIP 18 NORTH, RANGE 13 EAST, AN ADDITION TO THE CITY OF OKLAHOMA.

New Tract to be Split from Lot 16 & Consolidated

A PART OF LOT 16, BLOCK 3 "THE ENCLAVE AT LEGACY", PART OF THE WEST HALF OF SECTION 25, TOWNSHIP 18 NORTH, RANGE 13 EAST, AN ADDITION TO TULSA COUNTY, OKLAHOMA. MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 16; THENCE NORTHEASTERLY ALONG A CURVE TO THE RIGHT (TANGENT BEARS N25°53'28"E, RADIUS OF 475 FEET AND A CENTRAL ANGLE OF 2°29'23", FOR AN ARC DISTANCE OF 124.44 FEET TO THE WEST PROPERTY LINE OF SAID LOT 16; THENCE S 71°12'50"E A DISTANCE OF 124.44 FEET TO THE EAST PROPERTY LINE OF SAID LOT 16; THENCE S31°08'29"W ALONG SAID EAST LINE A DISTANCE OF 120.44 FEET TO THE SE CORNER OF SAID LOT 16; THENCE N64°07'57"W ALONG SAID SOUTH LINE OF SAID LOT 16 A DISTANCE OF 120.44 FEET TO THE SW CORNER OF SAID LOT 16 AND THE POINT OF BEGINNING. SAID NEW TRACT CONSOLIDATED TO LOT 15 BLOCK 3 OF SAID SUBDIVISION.

Remainder Description

ALL OF LOT 16 BLOCK 3, "THE ENCLAVE AT LEGACY", A SUBDIVISION OF THE CITY OF OKLAHOMA, LESS & EXCEPT A PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: A PART OF LOT 16, BLOCK 3 "THE ENCLAVE AT LEGACY", PART OF THE WEST HALF OF SECTION 25, TOWNSHIP 18 NORTH, RANGE 13 EAST, AN ADDITION TO TULSA COUNTY, OKLAHOMA. MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 16; THENCE NORTHEASTERLY ALONG A CURVE TO THE RIGHT (TANGENT BEARS N25°53'28"E, RADIUS OF 475 FEET AND A CENTRAL ANGLE OF 2°29'23", FOR AN ARC DISTANCE OF 124.44 FEET TO THE WEST PROPERTY LINE OF SAID LOT 16; THENCE S 71°12'50"E A DISTANCE OF 124.44 FEET TO THE EAST PROPERTY LINE OF SAID LOT 16; THENCE S31°08'29"W ALONG SAID EAST LINE A DISTANCE OF 120.44 FEET TO THE SE CORNER OF SAID LOT 16; THENCE N64°07'57"W ALONG SAID SOUTH LINE OF SAID LOT 16 A DISTANCE OF 120.44 FEET TO THE SW CORNER OF SAID LOT 16 AND THE POINT OF BEGINNING. ALL OF SAID REMAINDER ENCLAVE AT LEGACY", A SUBDIVISION OF THE CITY OF BIXBY, TULSA COUNTY, OKLAHOMA. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

Iron pin found
Iron pin set w/cap

PREPARED BY:
BREISCH & ASSOCIATES, INC.
CA # 8
16 SOUTH MAIN
SAND SPRINGS, OK. 74063
918-243-9533

PREPARED FOR:
DONNIE WILLIAMSON
2217 E. SKELLY DR.
TULSA, OK 74105
918-630-0422

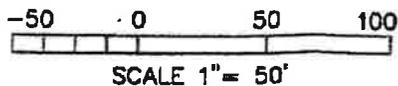
CERTIFICATE

I, the undersigned, a Registered Professional Land Surveyor, or others under my direct supervision have accurately surveyed the above described tract of land in accordance with the best standards of accuracy, the above described tract of land of Survey is a true and correct representation to the best of my belief of said survey prepared from legal description and information furnished by the above party. No effort has been made to check the title for any matters which may affect the title. Subject also to the Rights of Way of record.

WITNESS my hand and seal this 17TH day of

Revised this day
(11-1-05)

William D. Talle
Registered Land Surveyor



DATE OF AUTHORIZATION # 8
DATE 06/30/08

THIS PLAN MEETS OR EXCEEDS THE
MINIMUM TECHNICAL STANDARDS FOR THE
LAND SURVEYING, ADOPTED SEPTEMBER 17, 1993,
AMENDED FEBRUARY 21, 2001.

U/E = UTILITY EASEMENT
 B/L = BUILDING LINE
 ESMT = EASEMENT
 POB = POINT OF BEGINNING
 LNA = LIMITS OF NO ACCESS

OWNER:
Legacy Park, LLC.
 AN OKLAHOMA LIMITED LIABILITY COMPANY
 2217 East Skelly Drive
 Tulsa, Oklahoma 74105
 Phone: (918)749-1637

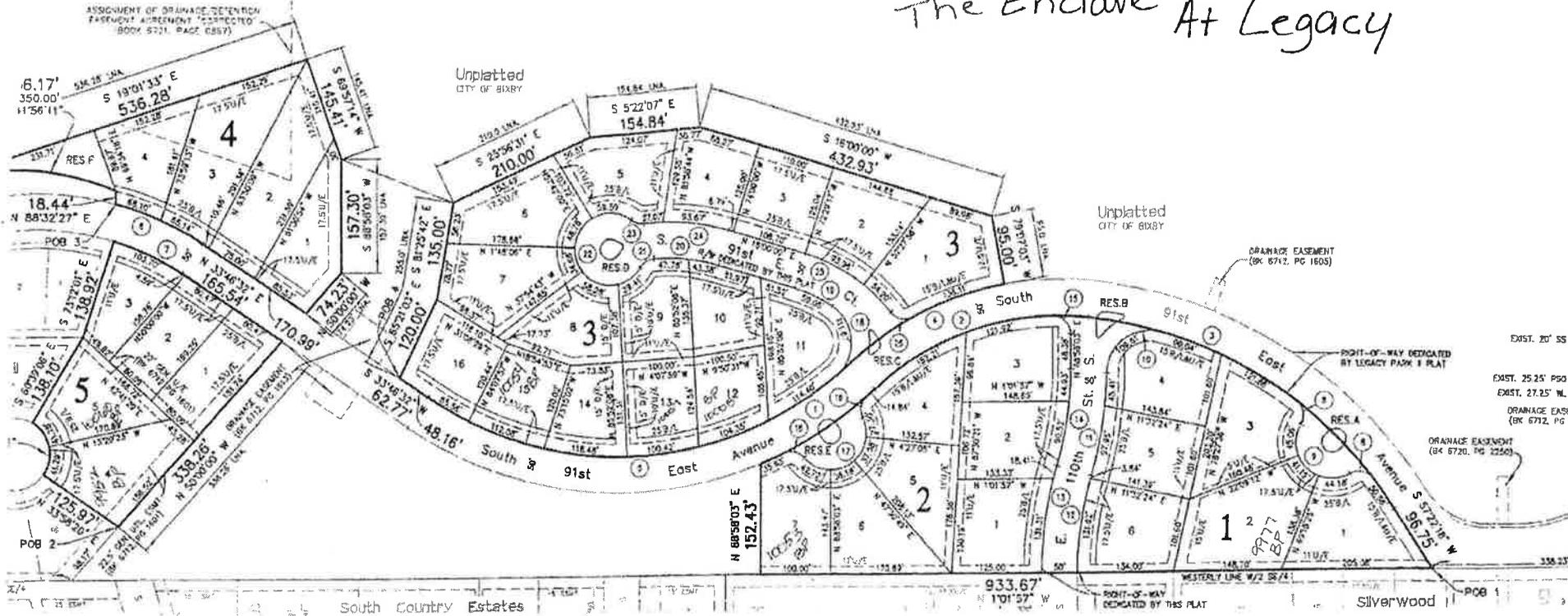
SURVEYOR:
Tanner Consulting, L.L.C.
 DAN E. TANNER, P.L.S.
 5323 South Lewis Avenue
 Tulsa, Oklahoma 74105
 Phone: (918)745-9929



Location Map
 SCALE: 1"=2000'

SUBDIVISION CONTAINS
 THIRTY-EIGHT (38) LOTS IN
 FIVE (5) BLOCKS
 GROSS SUBDIVISION AREA: 14.945 ACRES

The Enclave At Legacy



EXIST. 20' SS E
 EXST. 25.25' PSD ES
 EXST. 27.25' ML ES
 DRAINAGE EASEM.
 (BK 6712, PG 16)

DRAINAGE EASEMENT
 (BK 6720, PG 2540)

RS-2



broadband

Telephone • High Speed Internet • Long Distance • Wireless

October 15, 2012

Cheryl Jackson
Patterson Law Firm
1112 South Boston Ave.
Tulsa, OK 74119

RE: 10807 S. 91st E. Ave. The Enclave at Legacy Easement Vacation

Ms. Jackson,

BTC Broadband has reviewed the Exhibit that you had provided, and we have no objections to the 11ft. easement vacation of the east lot line of Block 3 lots 15 & 16 of The Enclave at Legacy. We presently have no utilities occupying the easement and have no intent for future use. Please let us know if you need anything else.

Sincerely,
Jim Peterson
OSP Engineering Supervisor
BTC Broadband

CC: File

Bringing broadband to Life™

11134 S. Memorial • Bixby, OK 74008 • 918.366.8000 • www.btcbbroadband.com



October 10, 2012

Patterson Law Firm
1112 South Boston Ave
Tulsa, Oklahoma 74119

Attn: Cheryl A Jackson

Re: Easement Vacate of the property is Block 3 Lots 15 and 16, with a street address of 10807 S. 91st E. Ave, Tulsa, Oklahoma.

To Whom It May Concern:

Cox Communications, has no objection to the City of Tulsa, granting the vacate of the utility easement in the attached exhibits of the public right of way or utility easements.

Prior to beginning any digging and/ or trenching activities, please call OKIE-ONE 1-800-522-6543 for exact location of our facilities. Cost to repair ANY Cox Communications facility damage caused during construction of this project will be the responsibility of the damaging party. If any future repairs are necessary Cox Communications is not responsible for any damages to any structures placed on or in the utility easements.

If you have any question or concerns, please feel free to contact our office at (405) 600-6336 or email cciokc-oklahomadesign@cox.com.

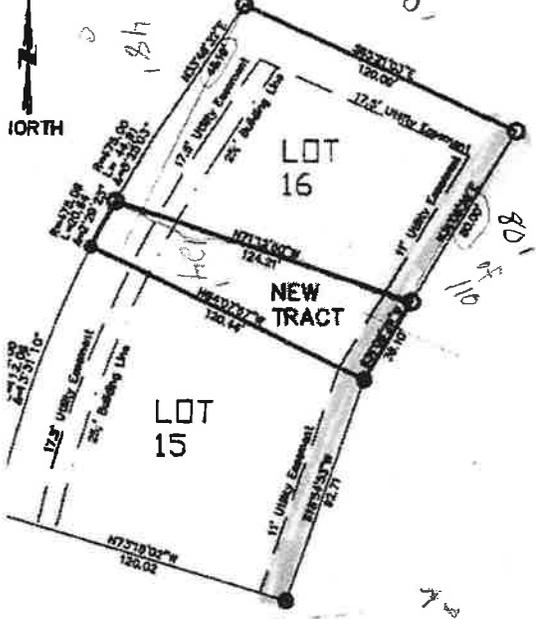
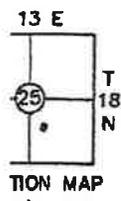
Sincerely,

Jodie Finney

Jodie Finney
Construction Service Support Specialist II
405-600-6336

Cox Communications, Inc, 6301 Waterford Blvd, Suite 200, Oklahoma City, Oklahoma 73118

LOT SPLIT & CONSOLIDATION



Original Description

LOT 16, BLOCK 3 'THE ENCLAVE AT LEGACY', PART OF THE WEST HALF OF THE SOUTH HALF OF SECTION 25, TOWNSHIP 18 NORTH, RANGE 13 EAST, AN ADDITION TO THE CITY OF OKLAHOMA.

New Tract to be Split from Lot 16 & Consolidated

A PART OF LOT 16, BLOCK 3 'THE ENCLAVE AT LEGACY', PART OF THE WEST HALF OF SECTION 25, TOWNSHIP 18 NORTH, RANGE 13 EAST, AN ADDITION TO THE CITY OF OKLAHOMA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 16; THENCE NORTHEASTERLY ALONG A CURVE TO THE RIGHT (TANGENT BEARS N25°53'28"E; RADIUS OF 475 FEET AND A CENTRAL ANGLE OF 2°29'23", FOR AN ARC DISTANCE OF 124.44 FEET TO THE WEST PROPERTY LINE OF SAID LOT 16; THENCE S 71°12'50"E A DISTANCE OF 124.44 FEET TO THE EAST PROPERTY LINE OF SAID LOT 16; THENCE S31°08'29"W ALONG SAID EAST LINE A DISTANCE OF 120.44 FEET TO THE SW CORNER OF SAID LOT 16 AND THE POINT OF BEGINNING. SAID NEW TRACT CONSOLIDATED TO LOT 15 BLOCK 3 OF SAID SUBDIVISION.

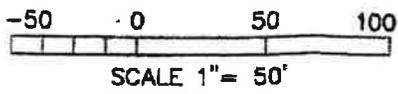
Remainder Description

ALL OF LOT 16 BLOCK 3, 'THE ENCLAVE AT LEGACY', A SUBDIVISION OF THE CITY OF OKLAHOMA, LESS & EXCEPT A PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: A PART OF LOT 16, BLOCK 3 'THE ENCLAVE AT LEGACY', PART OF THE WEST HALF OF SECTION 25, TOWNSHIP 18 NORTH, RANGE 13 EAST, AN ADDITION TO THE CITY OF OKLAHOMA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 16; THENCE NORTHEASTERLY ALONG A CURVE TO THE RIGHT (TANGENT BEARS N25°53'28"E; RADIUS OF 475 FEET AND A CENTRAL ANGLE OF 2°29'23", FOR AN ARC DISTANCE OF 124.44 FEET TO THE WEST PROPERTY LINE OF SAID LOT 16; THENCE S 71°12'50"E A DISTANCE OF 124.44 FEET TO THE EAST PROPERTY LINE OF SAID LOT 16; THENCE S31°08'29"W ALONG SAID EAST LINE A DISTANCE OF 120.44 FEET TO THE SW CORNER OF SAID LOT 16 AND THE POINT OF BEGINNING. ALL OF THE REMAINDER OF SAID ENCLAVE AT LEGACY, A SUBDIVISION OF THE CITY OF BIXBY, TULSA COUNTY, OKLAHOMA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

Iron pin found
Iron pin set w/cap

PREPARED BY:
BREISCH & ASSOCIATES, INC.
CA # 8
16 SOUTH MAIN
SAND SPRINGS, OK. 74063
918-245-9533

PREPARED FOR:
DONNIE WILLIAMSON
2217 E. SKELLY DR.
TULSA, OK 74105
918-630-0422



PLAT AUTHORIZATION # 6
DATE 06/30/08

THIS PLAT MEETS OR EXCEEDS THE MINIMUM TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING, ADOPTED SEPTEMBER 17, 1993, AND AMENDED FEBRUARY 21, 2001.

CERTIFICATE

I, the undersigned, a Registered Professional Land Surveyor, or others under my direct supervision have accurately surveyed the above described tract of land in accordance with the best standards of accuracy, the above described tract of land of Survey is a true and correct representation to the best of my belief of said survey prepared from legal description and information furnished to me by the above party. No effort has been made to check the title for any matters which may affect the title. Subject also to the Rights of Way of record.

WITNESS my hand and seal this 17TH day of

Revised this day
(11-1-05)

William D. Tallie
Registered Land Surveyor



OKLAHOMA NATURAL GAS
A DIVISION OF ONEOK

October 9, 2012

Release of Easement – 10807 S. 91st E. Ave.

We have reviewed the request for the 11' utility easement to be vacated at 10807 S.91st E. Ave., Lots 15 and 16, Block 3, The Enclave At Legacy, an addition to the city of Bixby, Oklahoma.

Oklahoma Natural Gas does not have any facilities in the easement requested to be vacated. We do not object to vacating the 11' Utility easement on the east side of lots 15 and 16.

Sincerely,

James Nobles

5848 East Fifteenth Street
Tulsa, Oklahoma 74112

P.O. Box 871
Tulsa, Oklahoma 74102-0871

jnobles@ong.com
(918) 831-8267
Fax (918) 831-8208