

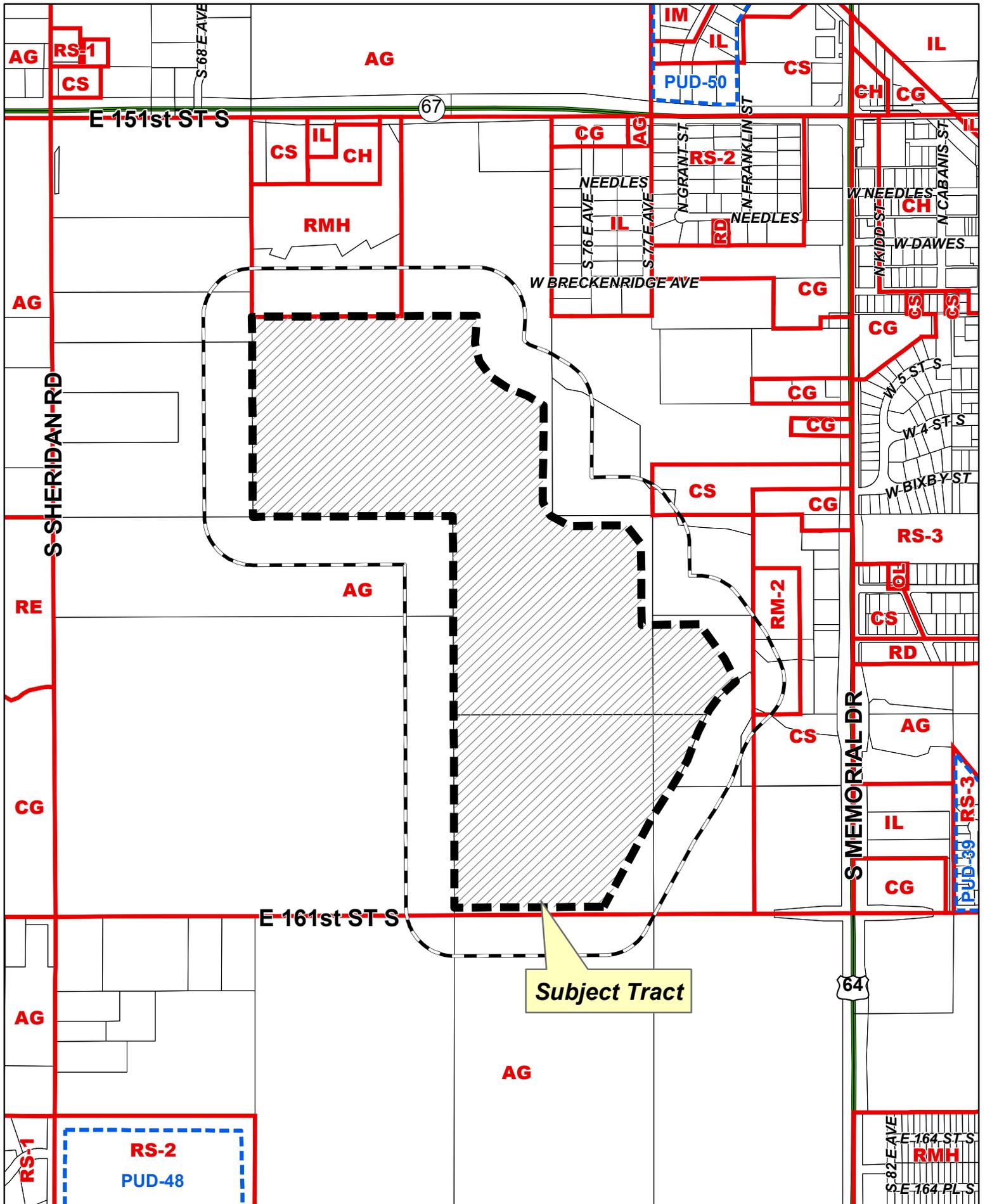
**AGENDA**  
**TECHNICAL ADVISORY COMMITTEE**  
**CONFERENCE ROOM**  
**DAWES BUILDING CITY OFFICES**  
**113 WEST DAWES AVE**  
**BIXBY, OK 74008**  
**September 03, 2014 – 10:00 AM**

1. Call to Order
2. **BCPA-12 – Conrad Farms Holdings, LLC** Discussion and comment on the adoption of a proposed amendment to the Comprehensive Plan of the City of Bixby, Oklahoma, specifically to modify or remove the “Special District # 4” designation.  
Property Located: 7400 E. 151<sup>st</sup> St. S.
3. **PUD 85 – “Conrad Farms” – Conrad Farms Holdings, LLC** Discussion and comment on a rezoning request for approval of a Planned Unit Development (PUD) for approximately 136.48 acres in Section 23, T17N, R13E.  
Property Located: 7400 E. 151<sup>st</sup> St. S.
4. **BSP 2014-03 – “Brisbane Office Park” – Matt Means of StoreTulsa.com (PUD 60).** Discussion and comment on a PUD Detailed Site Plan and building plans for “Brisbane Office Park,” a Use Unit 11 office park and Use Unit 16 ministorage development for approximately 10 acres in part of the W. 10 Ac. of the E. 20 Ac. of Government Lot 1, Section 31, T18N, R14E.  
Property Located: 9910, 9920, & 9930 E. 111<sup>th</sup> St. S.
5. Old Business
6. New Business
7. Adjournment

Posted By: \_\_\_\_\_

Date: \_\_\_\_\_

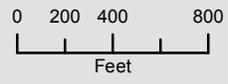
Time: \_\_\_\_\_



Subject Tract



BCPA-12



23 17-13



August 15, 2014

Mr. Erik Enyart, AICP  
City Planner  
City of Bixby  
PO Box 70  
Bixby, OK 74008  
(918) 366-4430

RE: Proposed Comprehensive Plan Amendment  
Conrad Farms Planned Unit Development #85

Dear Mr. Enyart:

I am writing on behalf of Conrad Farms Holdings, LLC and Crafton Tull to request an amendment to the Bixby Comprehensive Plan. This request is submitted for concurrent review and approval with PUD #85.

The proposed boundary of PUD #85 falls within Special District 4. The clips below from Pages 20 & 21 show the current language for Special District 4.

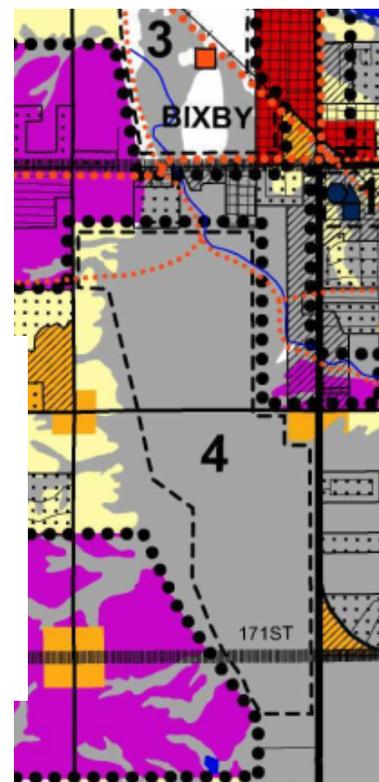
- d. Special District 4 is that area previously designated in the 1991 Bixby Comprehensive Plan in which a majority of the land is located within the 100 year flood plain. This development sensitive area is located approximately from one-quarter mile south of S. H. 67, west of S. Memorial Drive, north of 171<sup>st</sup> Street South, and east of the upland area along S. Sheridan Road. The majority of this land is used for

20

COMPREHENSIVE PLAN 2001-2020

PLAN GOALS, OBJECTIVES AND POLICIES

agricultural purposes. This prime farm land and contributes strongly to the "green theme" characteristic of Bixby. Preservation of those Special District areas should continue with AG zoning the primary designation. Certain select areas adjacent to major roadway intersections may be appropriate for different zoning designations in accordance with the other Urban Design Development Guidelines. Any change in use in this area should be designed to integrate continuing agribusiness uses, provide onsite drainage control solutions. It should provide appropriate buffers between adjoining land uses on the upland area along S. Sheridan Road, south of 171<sup>st</sup> Street South, and along S. Memorial Drive.





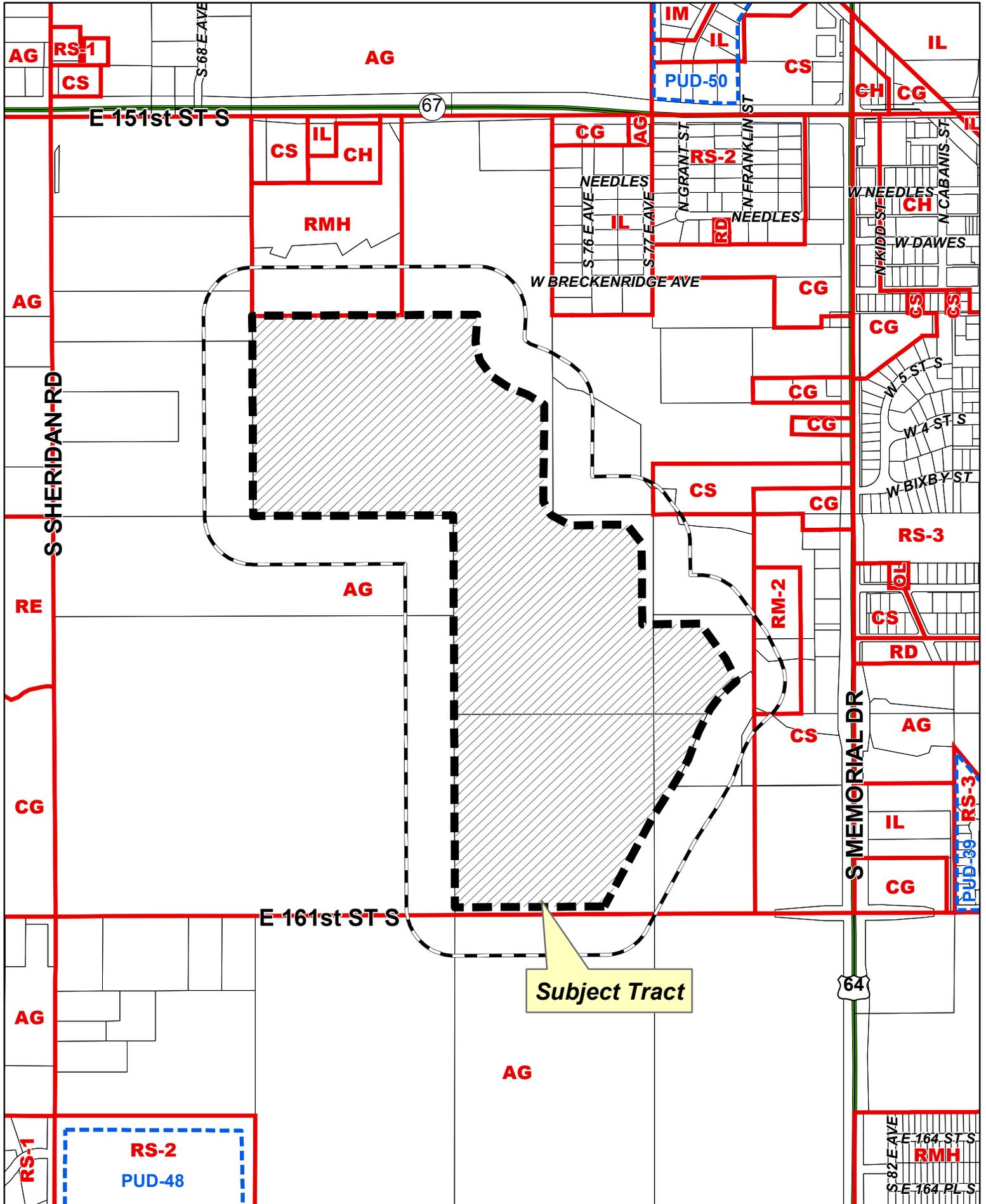
Due to the growth of Bixby and increased property values in Special District 4, the current requirements of this Special District are not tenable for the future. The improvements to Bixby Creek have removed almost all of the PUD #85 property from 100-year floodplain thus a single-family residential development is appropriate and feasible in this area.

The PUD #85 Applicant and the proposed Developer hereby request modification or elimination of Special District 4 to allow the proposed zoning change, PUD #85.

Respectfully Submitted,

Jason C. Mohler, P.E.  
Crafton Tull & Associates, Inc.

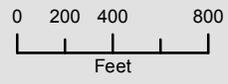
Conrad Farms Holdings, LLC



Subject Tract



**PUD-85**



23 17-13



# Conrad Farms

## Planned Unit Development #85



**SUBMITTED TO:  
CITY OF BIXBY, OKLAHOMA  
AUGUST 15, 2014**

**PREPARED FOR:**

**Conrad Farms Holdings, LLC**

**PREPARED BY:**



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# Conrad Farms

## PLANNED UNIT DEVELOPMENT #85

### 1.0 INTRODUCTION

The Planned Unit Development (PUD) for Conrad Farms, consisting of 136.5 acres, is located within Section 23, Township 17 N, Range 13 E, of the Indian Meridian, Tulsa County, Oklahoma. The PUD property is located north of E. 161<sup>st</sup> St. S. in between S. Memorial Dr. and S. Sheridan road in the City of Bixby.

The purpose of this PUD is to rezone the existing property for the construction of a single-family residential development containing approximately 480 lots.

### 2.0 DEVELOPMENT CONCEPT

The Concept Development Plan is attached as Exhibit A.

Current Zoning: AG

Adjacent Zoning / Plat / Use:

- North (west) – RMH Zoning. Shadow Valley Mobile Home Park.
- North (east) – AG Zoning. Unplatted. Conrad Farms retail store.
- Northeast – IL Zoning. Bixby Industrial Park.
- East – AG Zoning. Currently undeveloped.
- South – AG Zoning. Currently undeveloped.
- West – AG Zoning. Currently undeveloped.

Property features: The proposed PUD tract of land has been a commercial farming operation for many years. Bixby Creek flows from north to south through the Conrad Farms property. The area northeasterly of Bixby Creek will be retained by the Seller. It's anticipated that the property with frontage on along 151<sup>st</sup> will be developed for commercial purposes as indicated on the Comprehensive Land Use Plan. Bixby Creek serves as a natural separation for the proposed residential development. 161st Street is the south boundary of the PUD and provides vehicular access to the development.

### 3.0 DEVELOPMENT STANDARDS

GROSS LAND AREA: 136.5 acres

#### PERMITTED USES:

PROPOSED UNDERLYING ZONING DISTRICT RS-3  
DETACHED SINGLE FAMILY RESIDENCES AND & CUSTOMARY ACCESSORY  
USES  
USES TO INCLUDE ALL USE UNITS OF THE CITY OF BIXBY ZONING CODE  
PERMITTED BY RIGHT WITHIN THE RS-3 ZONING DISTRICT

MAXIMUM NUMBER OF UNITS PROPOSED: 500 D.U.'s

MINIMUM LOT AREA: 6,900 s.f.

#### MINIMUM LOT WIDTH:

STANDARD LOTS	65 ft.
CUL-DE-SAC OR IRREGULAR LOTS	30 ft.

MAXIMUM BUILDING HEIGHT: 3 Stories, 48 ft.

MAXIMUM ACCESSORY BUILDING HEIGHT: 35 ft.

LIVABILITY SPACE PER DWELLING UNIT: 3500 s.f.

#### MINIMUM BUILDING SETBACKS:

FRONT YARD	STANDARD	25 ft.
SIDE YARD	STANDARD	5 ft.
REAR YARD		20 ft.

#### PARKING:

TWO (2) ENCLOSED OFF STREET PARKING SPACES PER DWELLING UNIT  
AND AT LEAST TWO (2) ADDITIONAL OFF STREET PARKING SPACES IN  
DRIVEWAYS

#### ACCESSORY BUILDINGS:

DETACHED ACCESSORY BUILDINGS, SUCH AS A GARAGE, INCLUDING ONE  
LIVING OR SERVANTS QUARTERS PER LOT MAY BE PERMITTED ON LOTS  
WITH A MINIMUM LOT AREA OF 12,000 SF. ANY ACCESSORY LIVING  
QUARTERS MAY INCLUDE A BATH OR KITCHEN PROVIDED SUCH  
QUARTERS MAY ONLY BE OCCUPIED BY SERVANTS OR BY MEMBERS OF  
THE FAMILY RELATED BY BLOOD, ADOPTION OR MARRIAGE. SUCH LIVING  
QUARTERS MUST BE A PART OF THE ACCESSORY GARAGE STRUCTURE.  
THE LIVING AREA OF ANY SUCH QUARTERS SHALL NOT EXCEED 1,100 SF.

#### 4.0 ACCESS AND CIRCULATION

Vehicular access to the development will be provided from 161<sup>st</sup> Street. The required 161<sup>st</sup> R/W (50' half street) will be dedicated with the plat. Internal streets will be 26' wide and located within 50' R/W's per City of Bixby Engineering Design Criteria Manual.

#### 5.0 SIGNS

All signs shall comply with the setback, height, size and other requirements of the Bixby Zoning Ordinance. The subdivision identification sign will be incorporated into the entrance improvements.

#### 6.0 SUBDIVISION PLAT

No building permit for a residence within Conrad Farms shall be issued until a final subdivision plat has been approved: (1) City Council approval of plat, (2) plat recording with the Tulsa County Clerk, and (3) release of required infrastructure by the City Engineer and Public Works Director in compliance with the approved Conrad Farms development standards.

#### 7.0 UTILITIES and DRAINAGE

The site is generally flat with stormwater runoff eventually flowing to Bixby Creek. Stormwater detention (or retention) will be constructed for the development and discharge to Bixby Creek. Sanitary Sewer is available adjacent to the property. Water will be extended through the development per City of Bixby Engineering Design Criteria Manual.

#### 8.0 STANDARD REQUIREMENTS

The Standard Requirements of the City of Bixby Fire Marshall, City Engineer, and City Attorney shall be met as a condition of approval.

#### 9.0 SCHEDULE OF DEVELOPMENT

Developmental phasing shall be allowed as a part of the development of this PUD.

#### 10.0 EXHIBITS

The following exhibits are hereby attached and incorporated into this Planned Unit Development. These exhibits are:

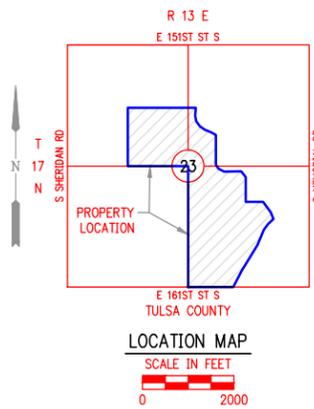
- EXHIBIT A – CONCEPT DEVELOPMENT PLAN
- EXHIBIT B – TOPOGRAPHIC SURVEY
- EXHIBIT C – ZONING MAP
- EXHIBIT D – FLOODPLAIN MAP
- EXHIBIT E – SOIL ANALYSIS
- EXHIBIT F – SITE AERIAL

## 11.0 LEGAL DESCRIPTION

A TRACT OF LAND BEING IN THE SE/4, THE SW/4 OF THE NE/4 AND THE SE/4 OF THE NW/4 OF SECTION 23, T-17-N, R-13-E TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SE CORNER OF THE SE/4 OF SECTION 23, T-17-N, R-13-E, THENCE A 88°35'20" W ALONG THE SOUTH LINE OF SAID SE/4 A DISTANCE OF 1651.58 FEET TO A POINT ON SAID SECTION LINE, THENCE N 01°24'40" W A DISTANCE OF 50 FEET TO THE POINT OF BEGINNING, THENCE S 88°35'20" W A DISTANCE OF 984.00 FEET TO A POINT 50 FEET N 01°24'40" W OF THE SW CORNER OF THE W/2 OF THE SE/4, THENCE N 01°24'30" W ALONG THE WEST LINE OF SAID SE/4 A DISTANCE OF 2590.35 FEET TO THE NW CORNER OF THE W/2 OF THE SE/4, THENCE S 88°36'06" W A DISTANCE OF 1319.66 FEET TO THE SW CORNER OF THE SE/4 OF THE NW/4, THENCE N 01°25'55" W A DISTANCE OF 1320.07 FEET TO THE NW CORNER OF THE SE/4 OF THE NW/4, THENCE N 88°37'26" E A DISTANCE OF 1320.28 FEET TO THE NE CORNER OF THE SE/4 OF THE NW/4, THENCE N 88°37'36" E A DISTANCE OF 163.63 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF BIXBY CREEK, THENCE ALONG SAID RIGHT-OF-WAY S 06°42'19" E A DISTANCE OF 10.92 FEET, THENCE S 02°48'27" W A DISTANCE OF 172.73 FEET, THENCE S 14°35'13" E A DISTANCE OF 122.65 FEET, THENCE S 38°09'46" E A DISTANCE OF 130.31 FEET, THENCE S 57°42'23" E A DISTANCE OF 125.54 FEET, THENCE S 69°30'53" E A DISTANCE OF 143.99 FEET, THENCE S 60°41'22" E A DISTANCE OF 128.00 FEET, THENCE S 01°29'17" E A DISTANCE OF 641.11 FEET, THENCE S 31°41'48" E A DISTANCE OF 99.75 FEET, THENCE S 63°00'45" E A DISTANCE OF 146.75 FEET, THENCE N 88°03'21" E A DISTANCE OF 374.33 FEET, THENCE S 38°40'06" E A DISTANCE OF 155.68 FEET, THENCE S 01°21'58" E A DISTANCE OF 536.44 FEET, THENCE N 88°36'11" E A DISTANCE OF 381.06 FEET, THENCE S 37°39'13" E A DISTANCE OF 282.36 FEET, THENCE S 22°26'32" E A DISTANCE OF 162.01 FEET, THENCE LEAVING SAID BIXBY CREEK RIGHT-OF-WAY S 45°45'18" W A DISTANCE OF 161.04 FEET, THENCE S 34°32'37" W A DISTANCE OF 155.60 FEET, THENCE S 21°20'12" W A DISTANCE OF 164.15 FEET, THENCE S 21°14'20" W A DISTANCE OF 200.14 FEET, THENCE S 29°43'30" W A DISTANCE OF 383.02 FEET, THENCE S 30°44'49" W A DISTANCE OF 266.51 FEET, THENCE S 26°16'13" E A DISTANCE OF 402.16 FEET TO THE POINT OF BEGINNING.

CONTAINING 136.48 ACRES, MORE OR LESS. SUBJECT PROPERTY IS SUBJECT TO ANY EASEMENTS AND/OR RIGHT-OF-WAYS OF RECORD.



PROPOSED LOTS  
 65'x110' = 289  
 75'x125' = 163  
 452 TOTAL LOTS  
  
 OVERALL SITE  
 136.48± ACRES TOTAL

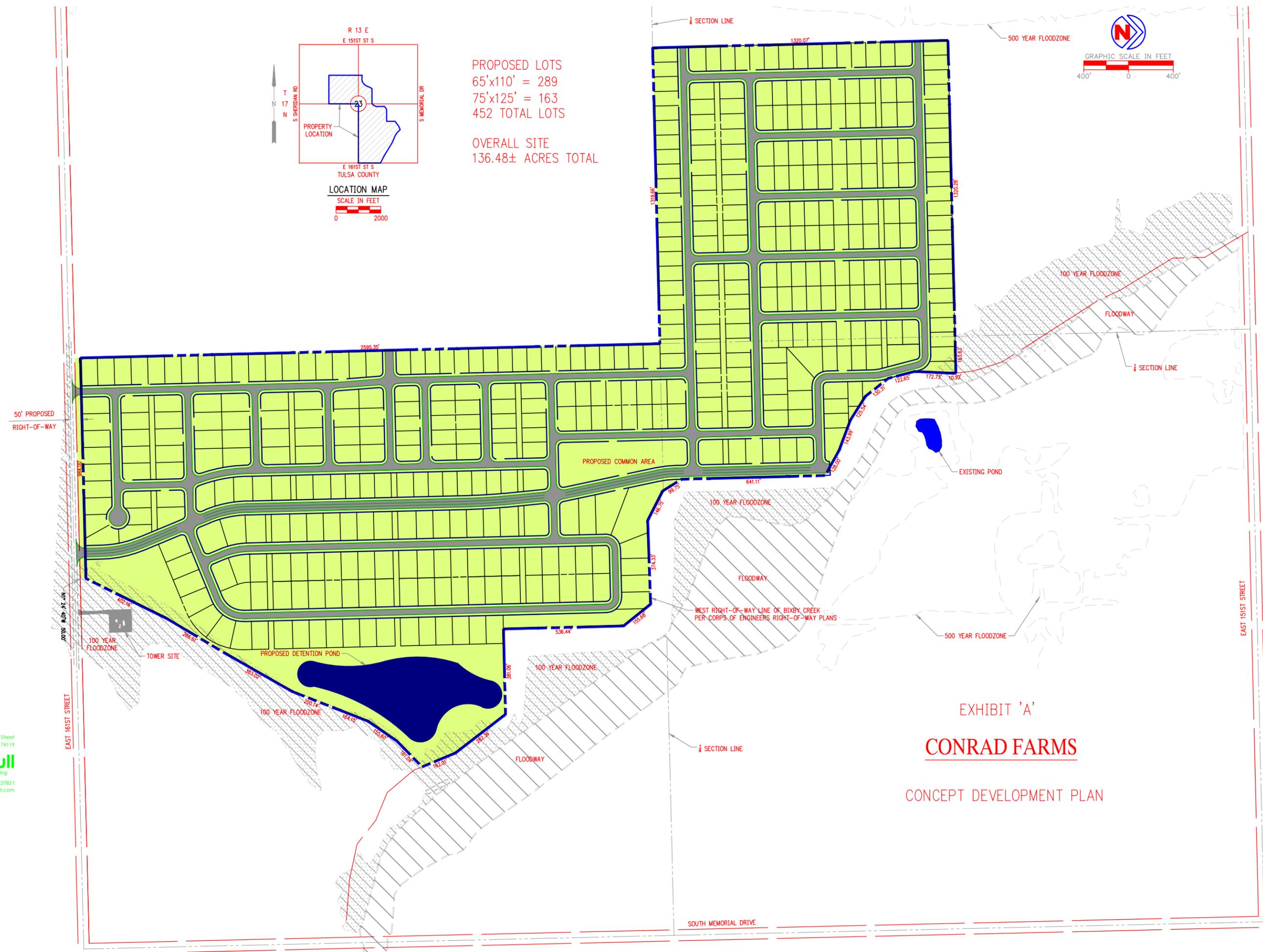
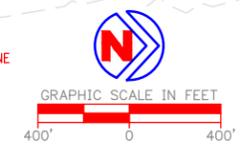


EXHIBIT 'A'  
**CONRAD FARMS**  
 CONCEPT DEVELOPMENT PLAN

220 E. 8th Street  
 Tulsa, Oklahoma 74119  
**Crafton Tull**  
 architecture | engineering | surveying  
 918.584.0347 | 918.584.3783 f  
 www.craftontull.com

CERTIFICATE OF AUTHORIZATION  
 CA 972 (PE)S EXPIRES 11/09/2014



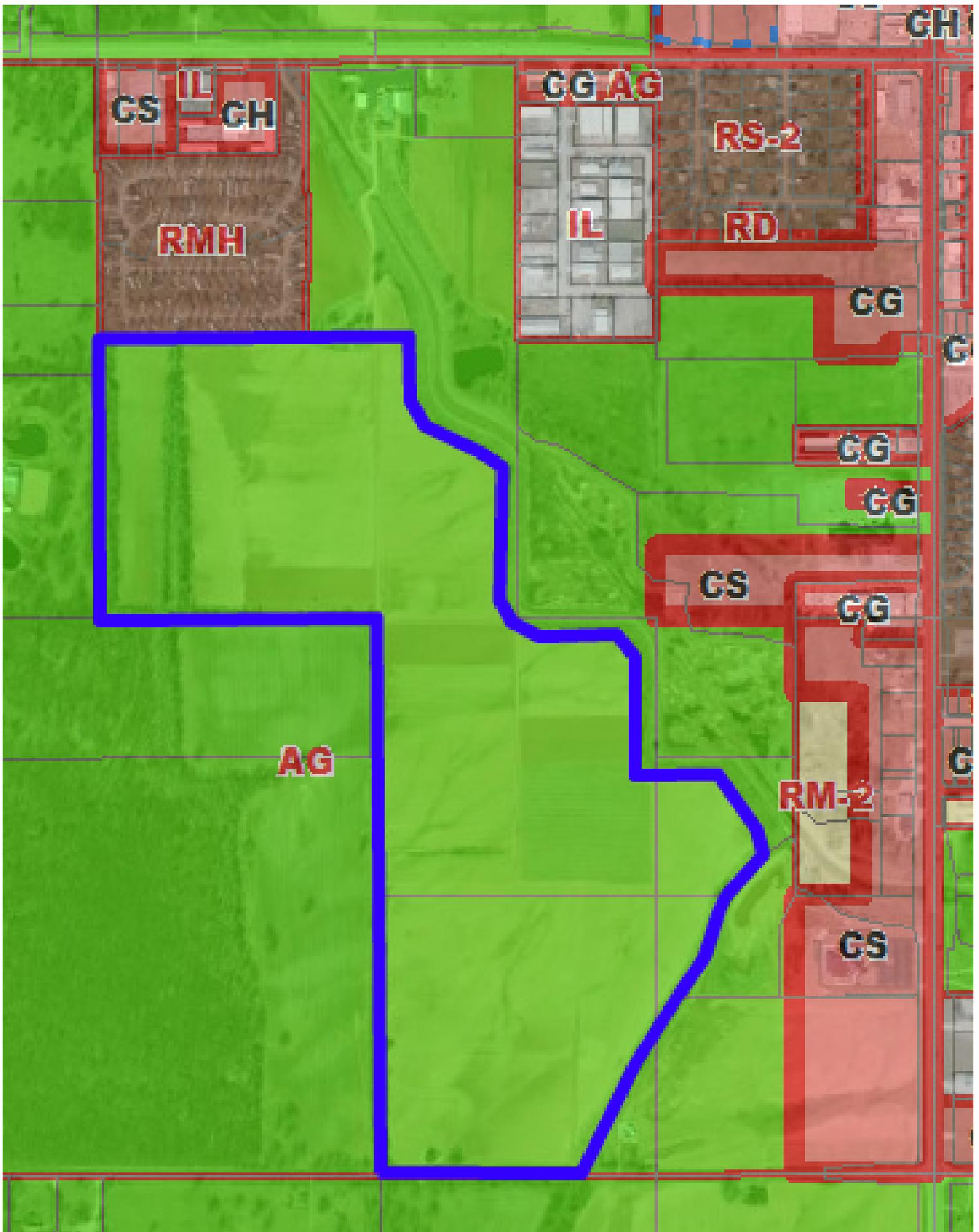


EXHIBIT C - ZONING MAP

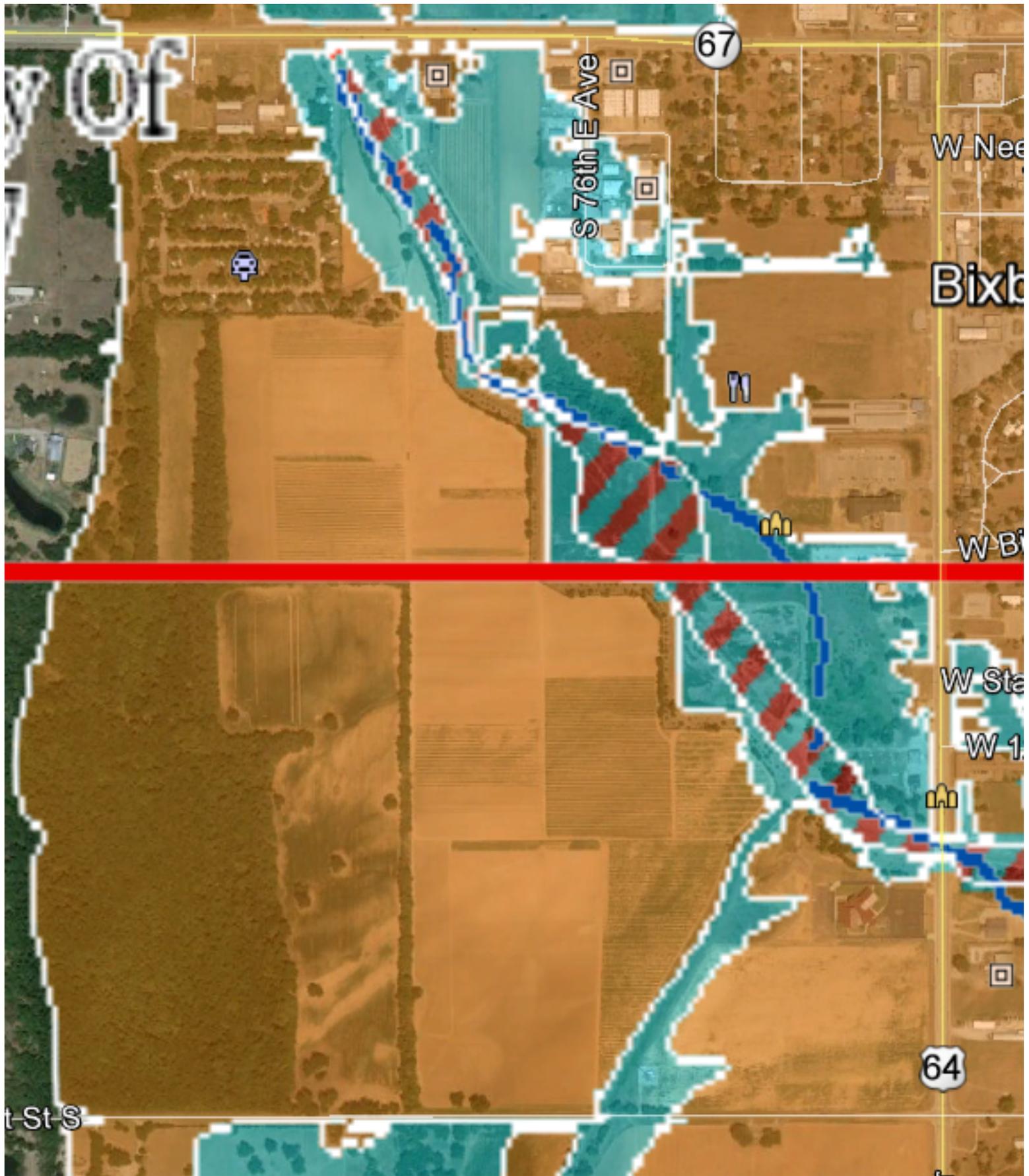


EXHIBIT D - FLOODPLAIN MAP

Soil Map—Tulsa County, Oklahoma  
(Conrad Farms)



Tulsa County, Oklahoma (OK143)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
7	Choska very fine sandy loam, 0 to 1 percent slopes, rarely flooded	116.7	86.5%
29	Latanier clay, 0 to 1 percent slopes, occasionally flooded	2.7	2.0%
49	Severn very fine sandy loam, 0 to 3 percent slopes, rarely flooded	15.5	11.5%
<b>Totals for Area of Interest</b>		<b>134.9</b>	<b>100.0%</b>

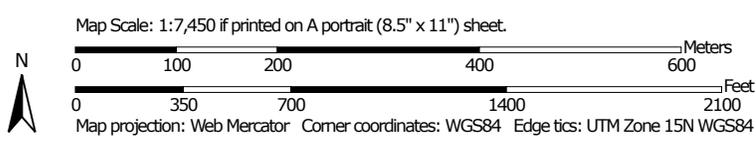
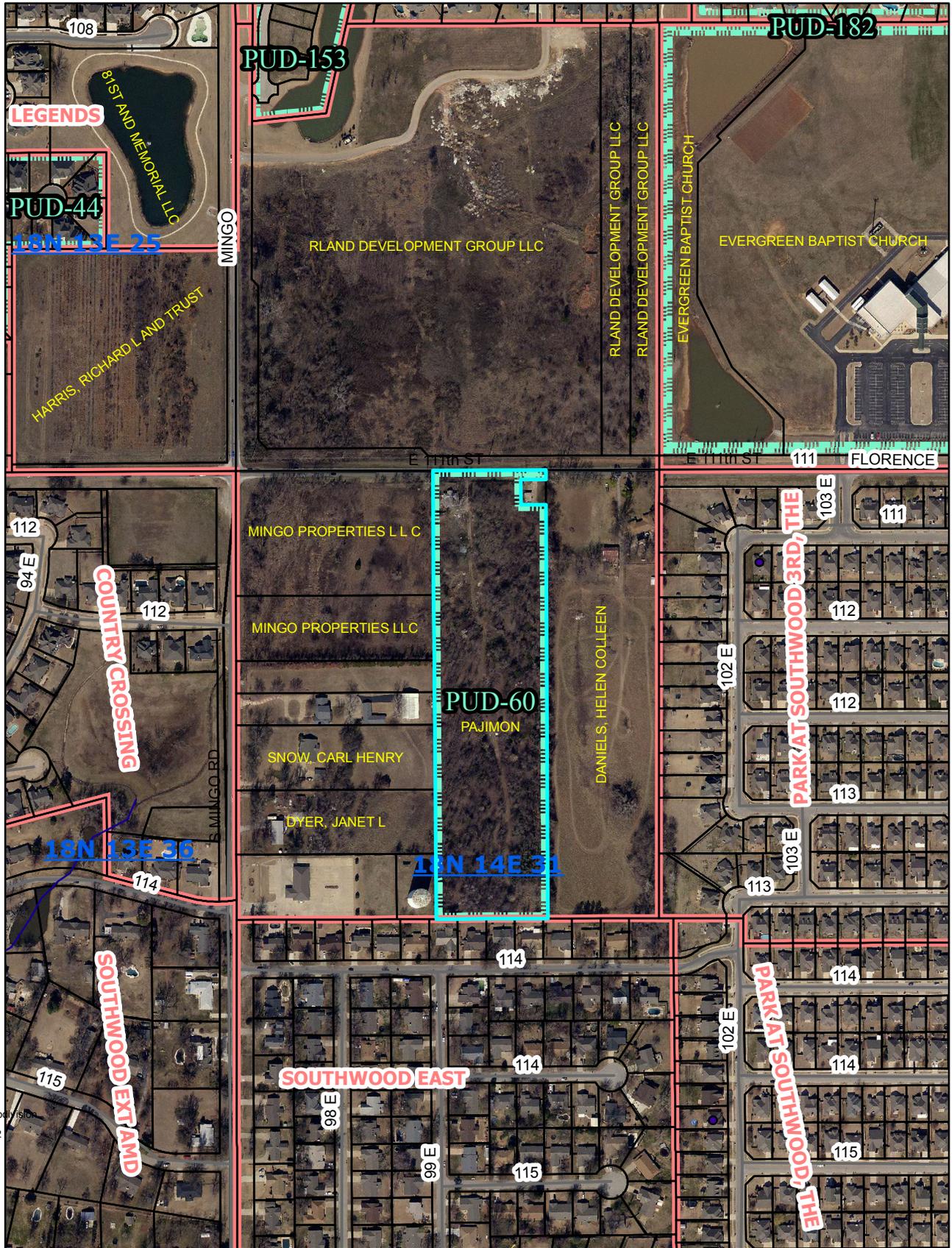




EXHIBIT F - SITE AERIAL

# BSP 2014-03 – “Brisbane Office Park” – Matt Means of StoreTulsa.com (PUD 60)



- Businesses
- bixby\_streams
- Tulsa Parcels 02/14
- WagParcels 02/14
- TulSubdivision
- WagonerCounty\_Subdivision
- WagRoads\_Aug2012
- E-911\_Streets
- PUD
- bixby\_s-t-r
- county





# City of Bixby Site Plan Application

Applicant: MATT MEANS STOREMLSA.COM  
Address: 10865 S. 94<sup>TH</sup> E. PLACE TULSA, OK 74133  
Telephone: \_\_\_\_\_ Cell Phone: 918.381.9655 Email: matte@landmarkresourcesllc.com

Property Owner: PASIMON If different from Applicant, does owner consent? YES  
Property Address: 10422 EAST 111<sup>TH</sup> STREET SOUTH  
Existing Zoning: \_\_\_\_\_ Existing Use: \_\_\_\_\_ Proposed Use: \_\_\_\_\_ Use Unit #: \_\_\_\_\_  
PUD-60

LEGAL DESCRIPTION (If unplatted, attach a survey with legal description or copy of deed):

Is subject tract located in the 100 year floodplain?  YES  NO

All new structures requiring a Building Permit, other than a small job permit, within Use Units 2, 5, and 8 through 27, inclusive, shall require the submission of a site plan demonstrating compliance with the requirements of the Zoning Code. A site plan shall be submitted with the Building Permit application as follows: Five (5) full-size hard copies, four (4) 11" X 17" hard copies, and one (1) copy in an acceptable electronic file format. Compliance with the approved site plan shall be a condition of Building Permit approval and continued occupancy. The site plan shall specifically include:

- All property lines with dimensions of the parcel or parcels on which the building permit is sought.
- All existing and proposed improvements represented to scale and dimensioned from the lot lines.
- The names and widths of all adjacent street, road, highway, alley, and railroad rights-of-way of record.
- Any roadway paving edges, curb lines, sidewalks, culverts, and/or borrow ditch centerlines, if the same are located within or along the boundary of the subject property.
- Any road, access, drainage, utility, and other such easements, including County Clerk recording references (i.e. Book/Page or Document #) for each.
- Amount of post-construction impervious area in square feet and percentage of lot area, calculated by a surveyor, architect, or engineer.
- The topographical layout of the land at no greater than two (2) foot contours if site elevation changes 10 feet or more, or if necessary for proper site design review in the opinion of City staff.
- Any Special Flood Hazard Areas and Flood zone designations as identified by the adopted, effective Floodplain maps.
- Any significant streams, swales, ditches, or natural drainageways.
- Any existing or proposed ponds or stormwater detention or retention facilities.
- All existing and/or proposed driveways and internal drives, to include labeling the surface material to be used (e.g. concrete or asphalt) for each.
- Dimensions and labels for any existing access limitations and access openings.
- Water wells, septic or other on-site disposal systems, oil or gas wells or underground lines, significant oil or gas extraction appurtenances, and other critical site features.
- Unique identifiers so that the plan may be related to the subject property if ever separated from the file, such as property owner's name, property or building address, and/or legal description.
- Name, address, and contact information of the site plan preparer.
- A unique drawing number or name to distinguish the site plan from any other drawings submitted.

# City of Bixby Site Plan Application

- Seal and signature of the design professional preparing the site plan if/as required.
- Date of the site plan, including any dates of revision.
- North arrow.
- Graphic scale; a numeric scale may also be used if the native paper size is specified on the site plan.
- Location map identifying the site within the land Section, arterial or larger streets within or along the boundaries of the land Section, along with sufficient subdivisions or other land features to allow for the identification of the site within the land Section.
- Other existing and/or proposed critical features not listed above if necessary for proper site design review in the opinion of City staff.
- Representation of critical features within a sufficient area outside the site if necessary for proper site design review in the opinion of City staff.

*All information and items listed below must be completed and submitted prior to application review.*

Included		Submittal Items	Comments
Yes	N/A		
<input checked="" type="checkbox"/>		Site plan showing the information listed above	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A landscape plan representing all existing and/or proposed landscaping.	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A sign plan representing all existing and/or proposed signs.	
<input type="checkbox"/>	<input type="checkbox"/>	Building elevations or building height information.	LETTER
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A screening and fence plan or representation on another drawing of all existing and/or proposed fences, walls, gates, and trash receptacle screening enclosures.	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A lighting plan and lighting information.	

Is the subject property located in a Planned Unit Development (PUD)? YES PUD #: 60

If within a PUD, does the PUD require Planning Commission approval of a site plan? YES

I do hereby certify that the information submitted herein is complete, true and accurate:

Signature:  Date: 8/18/14

**APPLICANT - DO NOT WRITE BELOW THIS LINE**

.....  
 Date Received \_\_\_\_\_ Received By \_\_\_\_\_ Date Approved \_\_\_\_\_  
 Building Permit # \_\_\_\_\_ Case Reference # \_\_\_\_\_

**KEYNOTES** ○ NOTE: NOT ALL KEYNOTES MAY BE USED ON THIS SHEET.

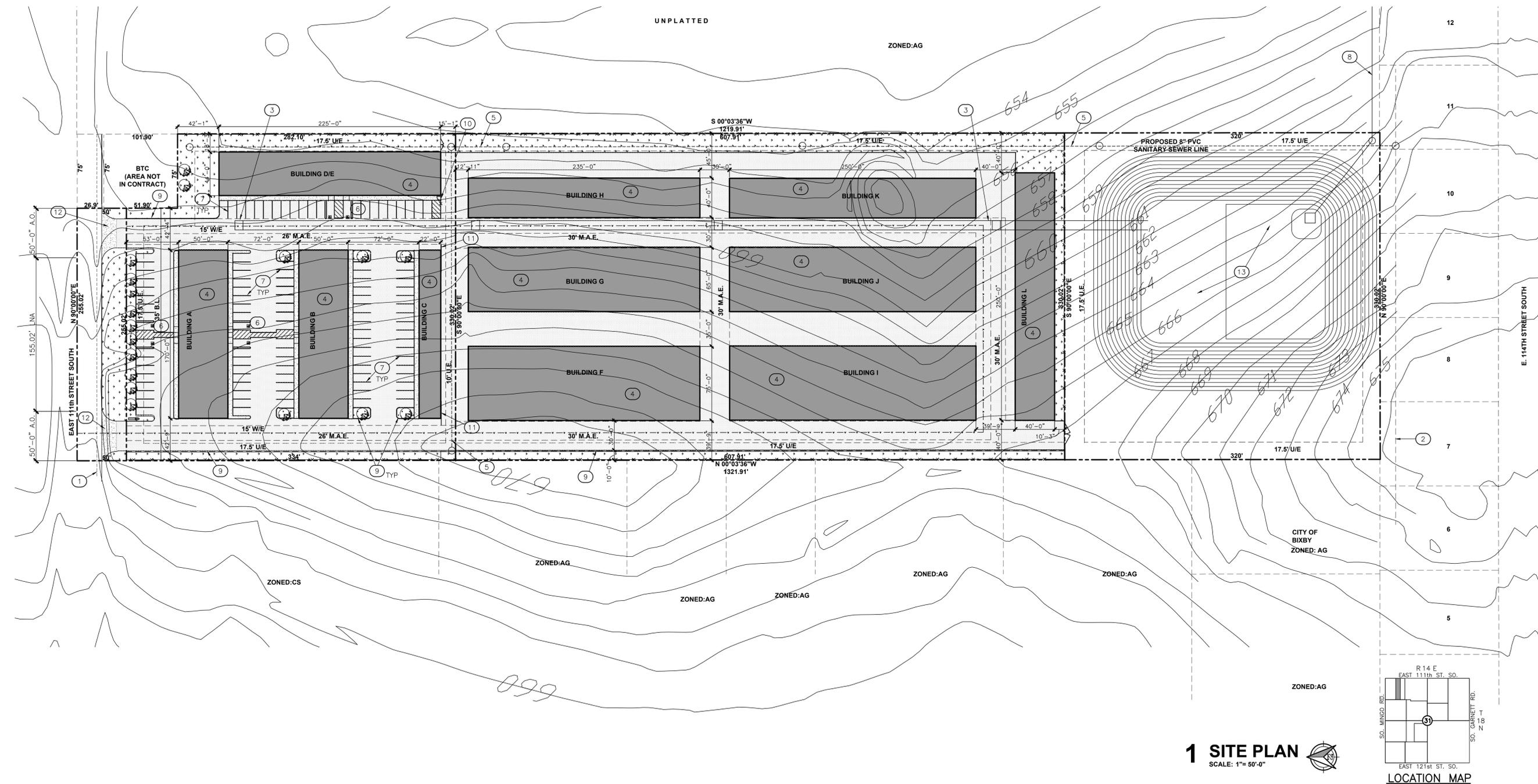
1. EXISTING 12" WATER LINE
2. EXISTING 8" SANITARY SEWER
3. UNDERGROUND STORM DRAIN W/ CATCH BASINS
4. 1-STORY METAL BUILDING STRUCTURE
5. 8" SANITARY SEWER
6. ACCESSIBLE PARKING STALL
7. 4" WIDE PARKING STRIPING, PAINTED WHITE
8. UNDERGROUND STORM DRAIN
9. CONCRETE CURB
10. PEDESTRIAN ACCESS GATE
11. SLIDING ACCESS GATE
12. CONCRETE DRIVE APRON
13. DETENTION AREA

**LEGEND**  
SITE PLAN

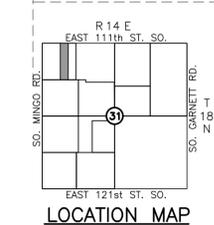
-  LANDSCAPED AREA
-  CONCRETE PAVING
-  ASPHALTIC CONCRETE PAVING
-  NEW METAL BUILDING

**PARKING TABULATIONS**

PARKING LOT 1	
TOTAL PARKING SPACES	109
ACCESSIBLE SPACES REQUIRED	5
REGULAR ACCESSIBLE SPACES PROVIDED	5
VAN ACCESSIBLE SPACES PROVIDED	1
STANDARD SPACES PROVIDED	103



**1 SITE PLAN**  
SCALE: 1"= 50'-0"



**wdesign**  
ARCHITECTURE & INTERIORS  
1513 E. 15th Street, Suite A  
Tulsa, OK 74120  
Office: 918.794.6616  
Fax: 918.794.6602  
www.wdesignsite.com

SEAL:

WELDON BOWMAN, AIA  
OK LICENSE NO. 6042  
CA# 02461 EXPIRES 06/30/2015

PROJECT:  
**BRISBANE  
OFFICE PARK**

PROJECT #  
**14098**

BIXBY, OK  
**74008**

CONSULTANT:

REVISIONS:

ISSUE DATE:  
**8.18.2014**

SHEET NAME:  
**ARCHITECTURAL  
SITE PLAN**

SHEET #:

**AS100**  
DRAWN BY: AHC

# LEGEND

TURF / GRASS (AREA TO BE IRRIGATED) .....	
PROPERTY LINE / R.O.W.....	
ASPHALTIC CONCRETE (IMPERVIOUS MATERIAL).....	
CONCRETE (IMPERVIOUS MATERIAL).....	

# PLANTING NOTES

- LANDSCAPE PLANS ARE FOR PLANT MATERIAL AND IRRIGATION ONLY.
- FORTY-EIGHT HOURS PRIOR TO EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE TELEVISION COMPANIES, UTILITIES, OR ENTITIES. REVIEW WITH OWNER, SITE ELECTRICAL, SITE GRADING AND DRAINAGE, SITE IRRIGATION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITY LOCATIONS AND RECORD SETS OF SAME IN POSSESSION OF OWNER. MARK ALL SUCH UTILITIES ON SITE PRIOR TO COMMENCING. COORDINATE WITH OWNER BEFORE AND DURING CONSTRUCTION. REPAIR DAMAGE TO ANY SYSTEM AT NO COST TO OWNER.
- UTILITIES SHOWN FOR INFORMATION PURPOSES ONLY. LANDSCAPE AND IRRIGATION CONTRACTOR SHALL MOVE PLANTS AND IRRIGATION AS MAY BE NECESSARY TO AVOID CONFLICT WITH UTILITIES.
- ALL DEMOLITION FOR EXISTING BLDGS, UTILITIES, FENCE, PAVEMENT, TREES, ETC. SHALL BE PERFORMED BY GENERAL CONTRACTOR PRIOR TO LANDSCAPE OR IRRIGATION INSTALLATION.
- PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIERS AND BARRICADES AS OUTLINED IN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ALL LANDSCAPED AREAS SHALL BE IRRIGATED BY AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
- ALL PLANT MATERIAL SHALL BE HEALTHY AND DISEASE FREE AT THE TIME OF PLANTING.
- THE CONTRACTOR SHALL LAY OUT ON THE GROUND THE LOCATIONS FOR THE PLANTS AND OUTLINES OF AREAS TO BE PLANTED. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE ENGINEER BEFORE EXCAVATION BEGINS. THE ENGINEER MAY ADJUST THE LOCATION OF ANY SPECIFIED PLANT MATERIALS PRIOR TO PLANTING.
- REMOVE ALL WEEDS AND GRASSES FROM PLANTING BEDS. IF BERMUDA IS PRESENT, IT SHALL BE ERADICATED BY APPROVED MEANS.
- ALL TRAFFIC ISLANDS TO BE OVER-EXCAVATED THREE FEET BELOW BASE OF CURB AND BACKFILLED WITH TOPSOIL. ISLANDS WILL BE CROWNED A MINIMUM OF ONE FOOT ABOVE TOP OF CURB.
- FINISHED GRADES FOR SHRUB AND GROUND COVER AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENT AND CURBS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN A MINIMUM OF 2% UNLESS OTHERWISE NOTED AND REVIEWED WITH THE ENGINEER FOR FINAL APPROVAL.
- WITHIN APPROVED BED AREAS, PREPARE SOIL BY ROTO-TILING TWO INCHES (2") OF COMPOST "BACK TO NATURE" SOIL CONDITIONER) OVER THE ENTIRE BED AREA TO A DEPTH OF SIX INCHES (6").
- LANDSCAPE CONTRACTOR SHALL ADJUST TREE LOCATIONS IN THE FIELD TO INSURE THAT THE TREE TRUNK IS A MINIMUM OF 10' FEET FROM ANY UTILITY.
- ON ALL TREES THE TOP SIX INCHES (6") OF BACK FILL SHALL CONSIST OF A 1:1 MIXTURE OF COMPOST TO SOIL.
- AROUND ALL TREES FORM A CIRCULAR RING FREE OF VEGETATION. CIRCLE SHALL BE TRUE IN FORM AND CENTERED ON THE TREE.
- ALL TREES SHALL BE STAKED WITH TWO (2) BLACK METAL SPLIT TEE FENCE POST AND TIED WITH WIRE THROUGH THE HOSE.
- ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND ARE NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS, OR TREE PITS TO BE TOPSOILED 6" DEEP AND SHALL BE SODDED.
- FOR OTHER PLANTING REQUIREMENTS, SEE DETAILS.
- CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR THE PROPER PLANTING OF ALL TREES, SHRUBS, GROUNDCOVERS, AND GRASS.
- QUANTITIES ON PLANT MATERIALS LIST ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLANTING PLANS AND COVERAGE OF ALL AREAS DELINEATED. WHEN DISCREPANCIES OCCUR BETWEEN PLANT LIST AND PLANTING PLANS, THE PLANS ARE TO SUPERSEDE THE PLANT LIST IN ALL CASES.
- NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL BY THE ENGINEER.
- DEVIATIONS FROM THESE PLANS SHALL BE NOTED ON THE RECORD DRAWING BY THE CONTRACTOR AND ONLY WITH THE APPROVAL OF THE ENGINEER.
- NO PROPOSED TREE LOCATION IS CLOSER THAN 5' FROM ANY UNDERGROUND UTILITY, NOR IS ANY TREE CLOSER THAN 10' FROM ANY OVERHEAD UTILITY LINE.

# LANDSCAPE ORDINANCE SUMMARY

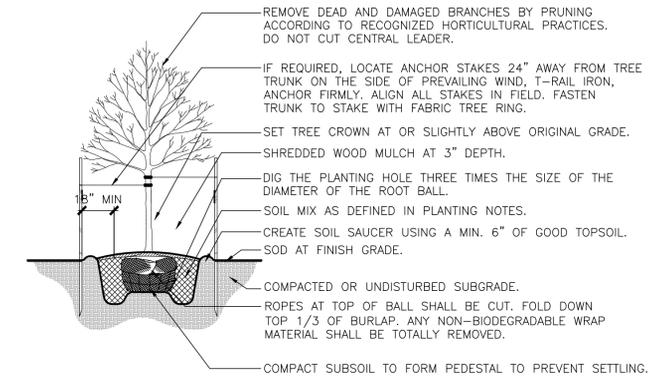
STREET YARD REQUIREMENT (LOT 5 BLOCK 1)	
FRONTAGE STREET	EAST 111 <sup>th</sup> ST. SOUTH
STREET YARD AREA	4,000
LANDSCAPE AREA REQUIRED	NO LESS THAN 15%
LANDSCAPE AREA PROVIDED	6,106 ft <sup>2</sup> or 40%
NUMBER OF TREES REQUIRED (1 PER 1000 SQ. FT)	1
NUMBER OF TREES PRESERVED	0
NUMBER OF TREES PROPOSED	18

# IMPERVIOUS CALCULATIONS

TOTAL AREA	428,638 ft <sup>2</sup>
EXISTING IMPERVIOUS AREA	N/A
PROPOSED IMPERVIOUS AREA	141,172 ft <sup>2</sup> or 33%
TOTAL IMPERVIOUS INCREASE	141,172 ft <sup>2</sup>

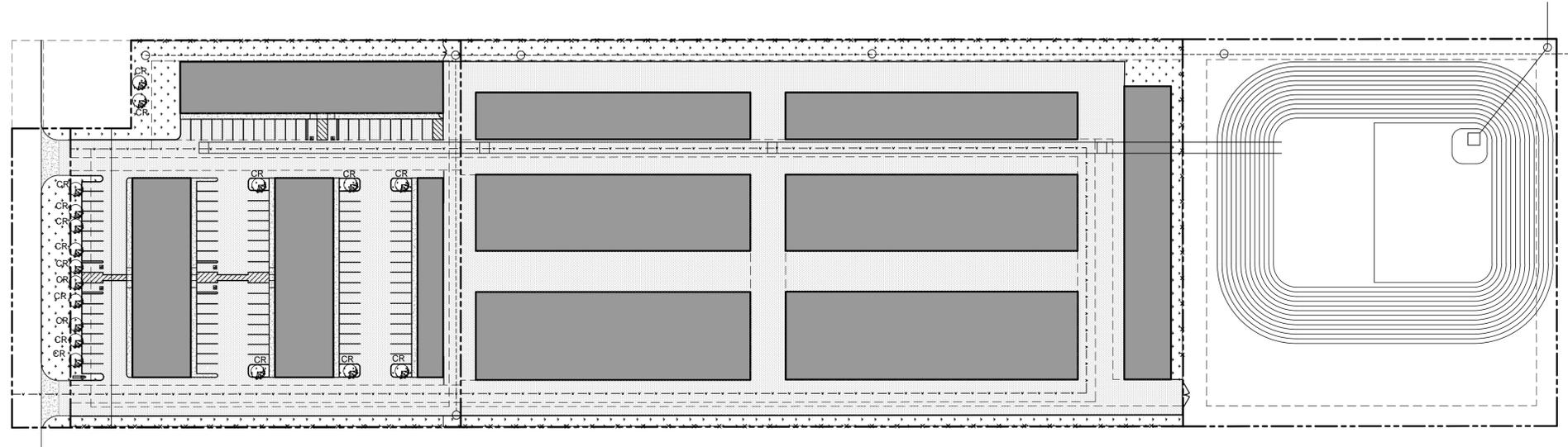
# LANDSCAPE MATERIAL LIST

Key	Qty	Material Name	
CR	18	CERCIS RENIFORMIS - OKLAHOMA REDBUD	6' (H) - 1" (CAL)
BW	TBD	BOXWOODS	TBD
CM	TBD	DWARF CREPE MYRTLES	TBD
SP	TBD	SPIREA	TBD



# 2 TREE PLANTING DETAIL

SCALE: NONE



# 1 LANDSCAPE PLAN

SCALE: 1"= 60'-0"



EXISTING UNDERGROUND LINES HAVE BEEN SHOWN TO THE EXTENT KNOWN AND PLANS HAVE BEEN SENT TO THE AFFECTED UTILITY OWNERS FOR VERIFICATION OF EXISTING LINES. BEFORE YOU DIG, CONTACT OKIE: 1-800-522-6543.

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SEAL:

WELDON BOWMAN, AIA  
 OK LICENSE NO. 6042  
 CA# 02461 EXPIRES 06/30/2015

PROJECT:

**BRISBANE  
 OFFICE PARK**

**PROJECT #  
 14098**

**BIXBY, OK  
 74008**

CONSULTANT:

REVISIONS:

ISSUE DATE:

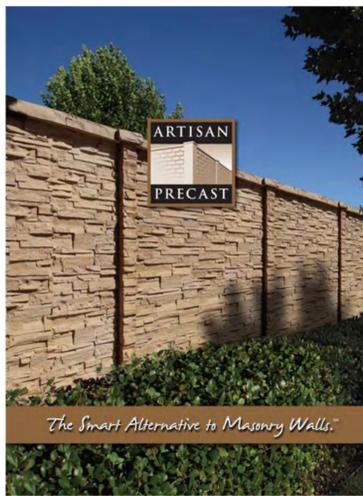
8.18.2014

SHEET NAME:  
**LANDSCAPE  
 PLAN**

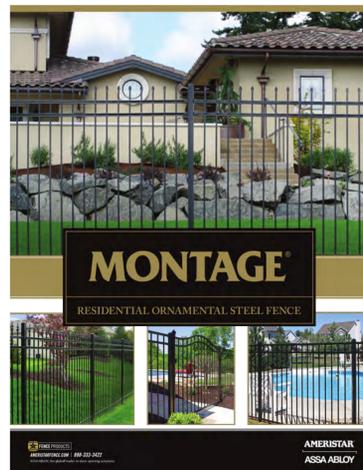
SHEET #:

**AS101**

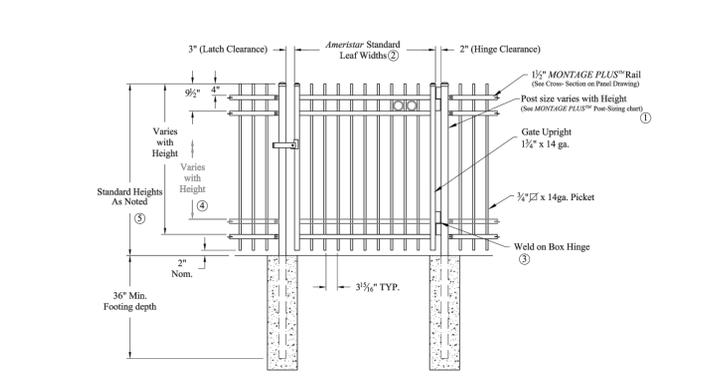
DRAWN BY: AHC



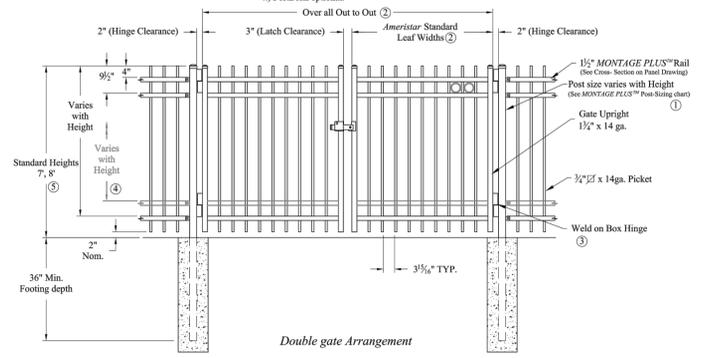
GRAPHIC - MASONRY FENCE



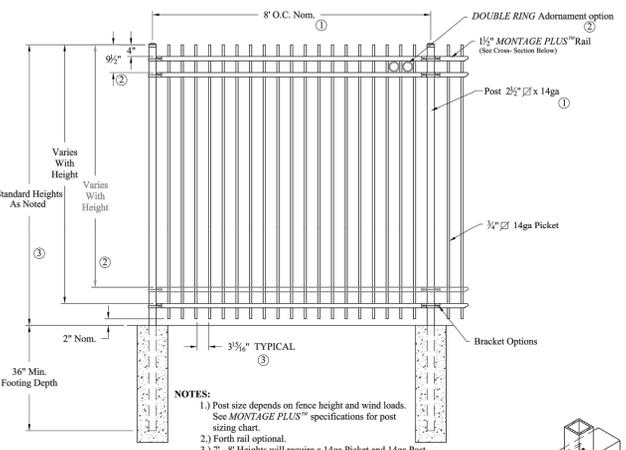
GRAPHIC - IRON FENCE



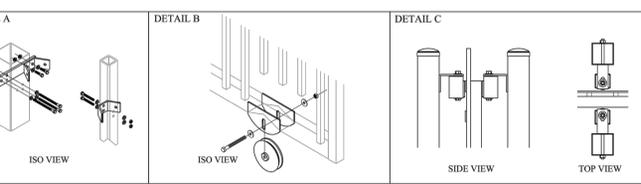
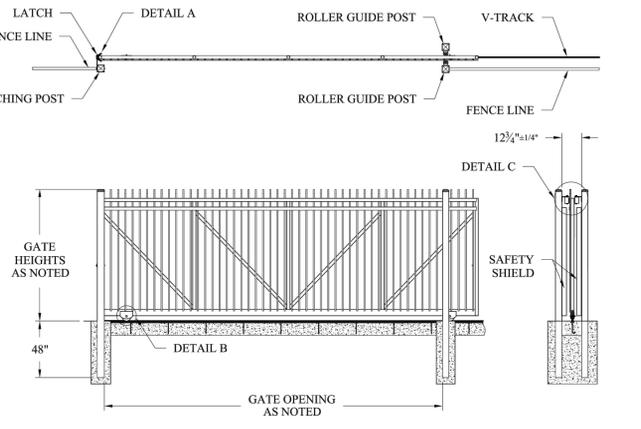
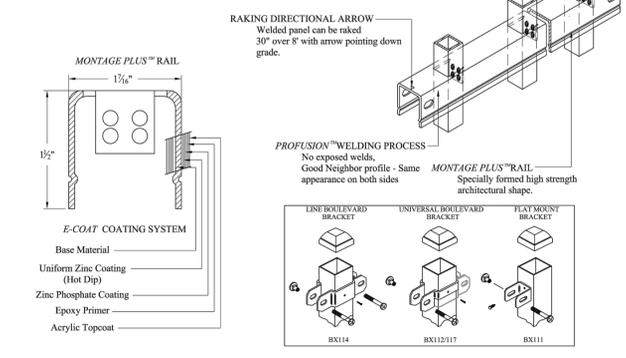
**Single gate Arrangement**  
 NOTES:  
 1.) Post size depends on fence height, weight and wind loads. See MONTAGE PLUS™ post sizing chart.  
 2.) See Ameristar gate table for standard out to outs. Custom gate openings available for special out to out/leaf widths.  
 3.) Additional styles of gate hardware are available on request. This could change the Latch & Hinge Clearance.  
 4.) Forth rail optional.



**4 PEDESTRIAN/UTILITY GATE DETAIL**  
 SCALE: NONE

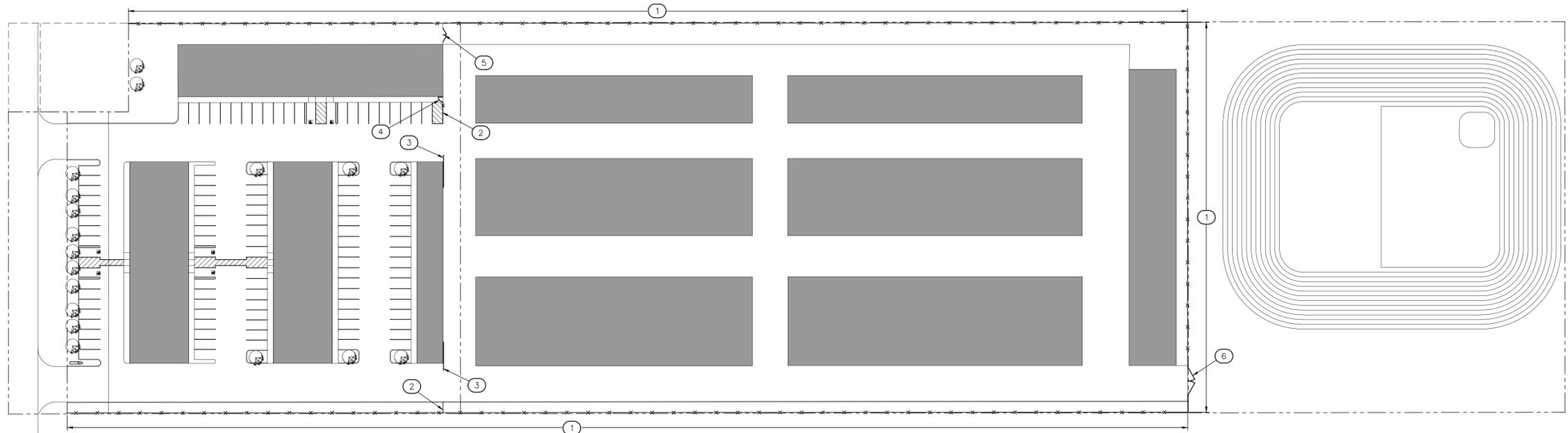


**FENCE DETAIL**  
 NOTES:  
 1.) Post size depends on fence height and wind loads. See MONTAGE PLUS™ specifications for post sizing chart.  
 2.) Forth rail optional.  
 3.) 7' - 8' Heights will require a 14ga Picket and 14ga Post



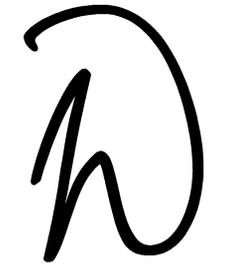
**3 FENCE DETAIL**  
 SCALE: NONE

**2 HORIZONTAL GATE DETAIL**  
 SCALE: NONE



**KEYNOTES**  
 SCREENING SITE PLAN  
 NOTE: NOT ALL KEYNOTES MAY BE USED ON THIS SHEET.  
 1. 8' H 'BRICKORETE' MASONRY FENCE, RE: AS103  
 2. 8' H ORNAMENTAL IRON PICKET FENCE, RE: 3/AS102  
 3. 26'x8' H HORIZONTAL ROLLING GATE, RE: 2/AS102  
 4. 4'x8' H ORNAMENTAL IRON PEDESTRIAN GATE, RE: 4/AS102  
 5. 12'x7' H DOUBLE UTILITY GATE, RE: 4/AS102  
 6. 24'x8' H DOUBLE UTILITY GATE, RE: 4/AS102

**1 SCREENING SITE PLAN**  
 SCALE: 1" = 50'-0"



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SEAL:

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 OK LICENSE NO. 6042  
 CA# 02461 EXPIRES 06/30/2015

PROJECT:  
**BRISBANE OFFICE PARK**

PROJECT #  
**14098**

BIXBY, OK  
**74008**

CONSULTANT:

REVISIONS:

ISSUE DATE:

8.18.2014

SHEET NAME:  
**SCREENING SITE PLAN**

SHEET #:

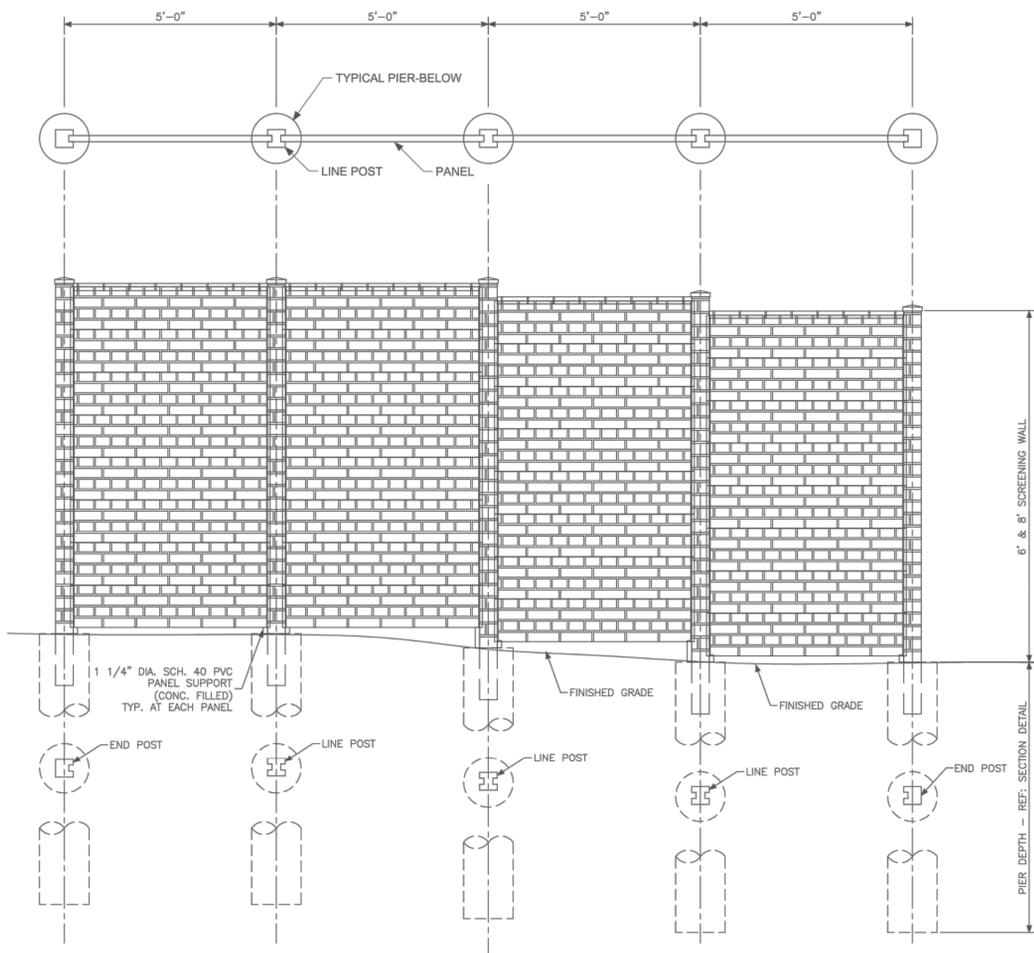
**AS102**

DRAWN BY: AHC

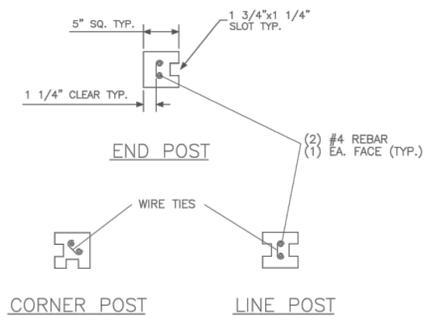


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 AMERICAN ELECTRIC POWER (AEP)

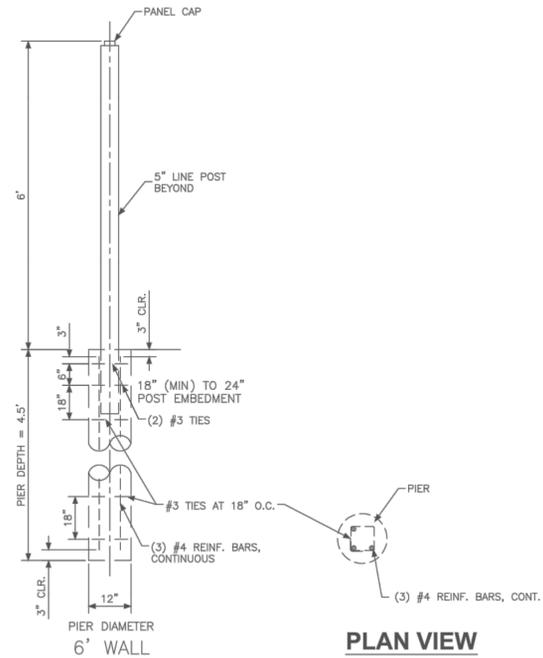
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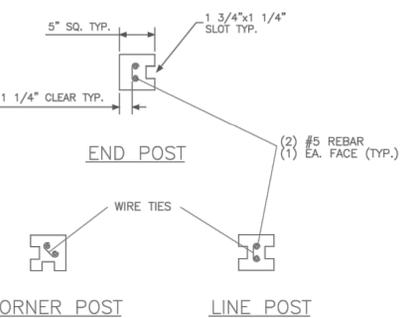
**ELEVATION - 6' & 8' SCREENING WALL AND PIERS**



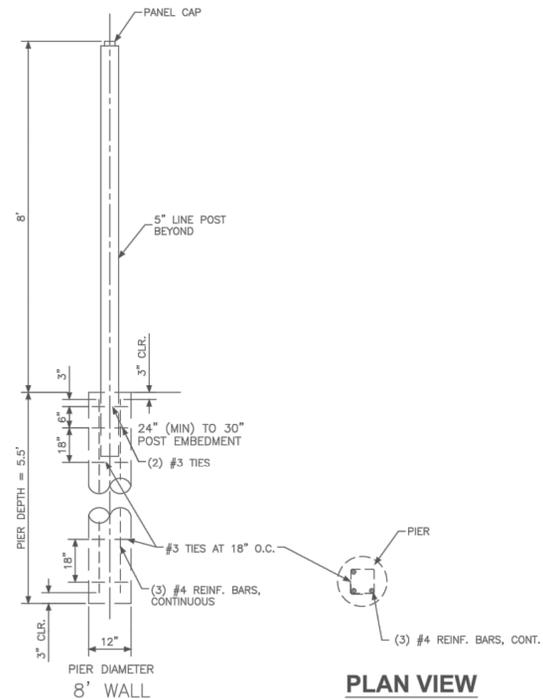
**SECTION - 6' SCREENING WALL POST**



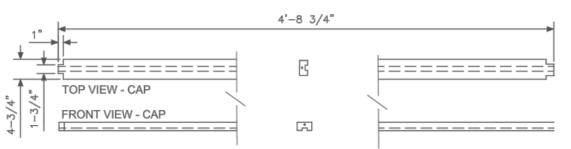
**SECTION - 6' SCREENING WALL AND PIER**



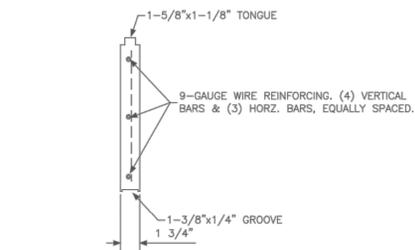
**SECTION - 8' SCREENING WALL POST**



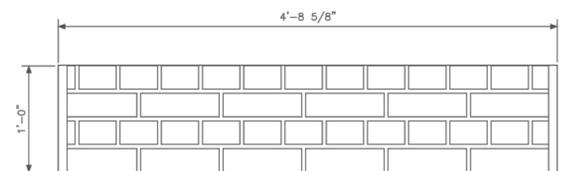
**SECTION - 8' SCREENING WALL AND PIER**



**WALL PANEL CAP - PLAN VIEW & ELEVATION**

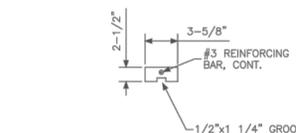


**WALL PANEL - SECTION**



**DETAILS - BRICKCRETE WALL PANEL & CAP**

\*\*\* NOTE BRICKCRETE STYLE PATTERN NOT EXACT \*\*\*



**WALL PANEL CAP - SECTION**

**Specifications and Notes**

**General:**

- This project has been designed in accordance with the International Building Code, 2010 Edition.
- Applied loads:
  - Wind Velocity (V) = 90 mph
  - Exposure: C
  - Importance Factor (I) = 1.0
  - Velocity Pressure Exposure Coefficient (Kz) = 0.85
  - Wind Directionality Factor (Kd) = 0.85
  - Topographic Factor (Kzt) = 1.0
  - Wind Pressure  $P = 0.00256(Kz)(Kzt)(Kd)(V^2)(I)$   
 $P = 0.00256(0.85)(1.0)(0.85)(90)^2(1.0)$   
 $P = 15.0$  psf
  - Working Design Stress: 33% Increase (1.33)
  - Seismic Design: Site Class D

- Screening wall is to be constructed entirely on the project property.

**Color:**

- Post, Panels and Panel caps shall be integrally colored.
- Color shall be brown as approved by the on-site owner.

**Concrete**

- Concrete Materials:
  - Concrete shall be normal weight concrete having sand and gravel or crushed stone aggregate. Mixed with ASTM-C150, type I or III portland cement to meet the minimum compressive strength as follows:
- panels & post: 5000 psi @ 28 days
- footings & piers: 3000 psi @ 28 days
- sidewalk & non-structural: 3000 psi @ 28 days
- Water used for concrete shall be clean water and free from injurious amounts of oils, acids, alkalis, organic or other deleterious substances.
- All concrete permanently exposed to the weather shall contain an air-entraining admixture resulting in 3 to 6 percent entrained air or recommended by the manufacturer.

**Concrete workmanship:**

- Fresh poured concrete shall be tamped in to place using steel rammer, slicing tools, or mechanical vibrator, until concrete is thoroughly compact and without void.
- Excavation for footing shall be on undisturbed soil or to the depth noted on the drawings. Leave the bottom bearing surface clean and smooth. If footing excavations are made deeper than intended, only concrete shall be used for fill. Remove all loose material from excavations prior to concrete pour.

**Reinforcements:**

- Reinforcing material:
  - Deformed type bars shall conform to ASTM-A 615, Grade 60 placed as shown on the drawings.
  - Steel reinforcing wire shall meet U.S. Steel Wire gauge, ASTM-A 82. fy = 70,000 psi min galvanized.
  - All ties and stirrups shall conform to the requirements of ASTM-A 615, grade 40.
  - All wire mesh shall be 9 gauge galvanized having 3 horizontal bars and 4 vertical on 16 inch centers.

**Reinforcing workmanship:**

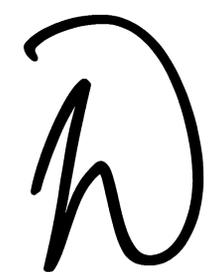
- Reinforcement steel shall be fabricated in accordance with the CRSI Standard Detail. Reinforcing bars shall be cold-bent only. Use of heat to bend reinforcement steel shall be cause for rejection.
- Reinforcement steel bars and wire fabric shall be thoroughly cleaned before placing and again before the concrete is placed. Shall be accurately positioned and secured in place. No brick of porous materials may be used to support the steel off the ground.
- Install all reinforcement with the following clearance between reinforcing steel and face of concrete:
  - Footing, pier or beam bottom (3")
  - Earth-formed pier or beam side (2")
  - Formed footing, pier or beam sides, exposed (1")
  - Precast exposed to weather: panels (3/4"), posts (1-1/4")
- Splices within continuous unscheduled reinforcing steel shall have a minimum lap of 30 bar diameters.

**Soils**

- Footing size is based on the following minimum soil properties:
  - Soil Compaction \*\*\*\*\* 90% std. proctor
  - Bearing Capacity \*\*\*\*\* 1,500 psf
  - Friction Resistance \*\*\*\*\* 260 psf
  - Lateral Bearing \*\*\*\*\* 100 psf/ft of depth

**Fill**

- All design criteria based on construction on natural ground. Screenwall not to be constructed on berms or fill dirt.



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 CA# 02461 EXPIRES 06/30/2015

**PROJECT:**  
**BRISBANE**  
**OFFICE PARK**

**PROJECT #**  
**14098**

**BIXBY, OK**  
**74008**

CONSULTANT:

REVISIONS:

ISSUE DATE:

8.18.2014

**SHEET NAME:**  
**SCREEN WALL**  
**DETAILS**

SHEET #:

**AS103**

DRAWN BY: AHC



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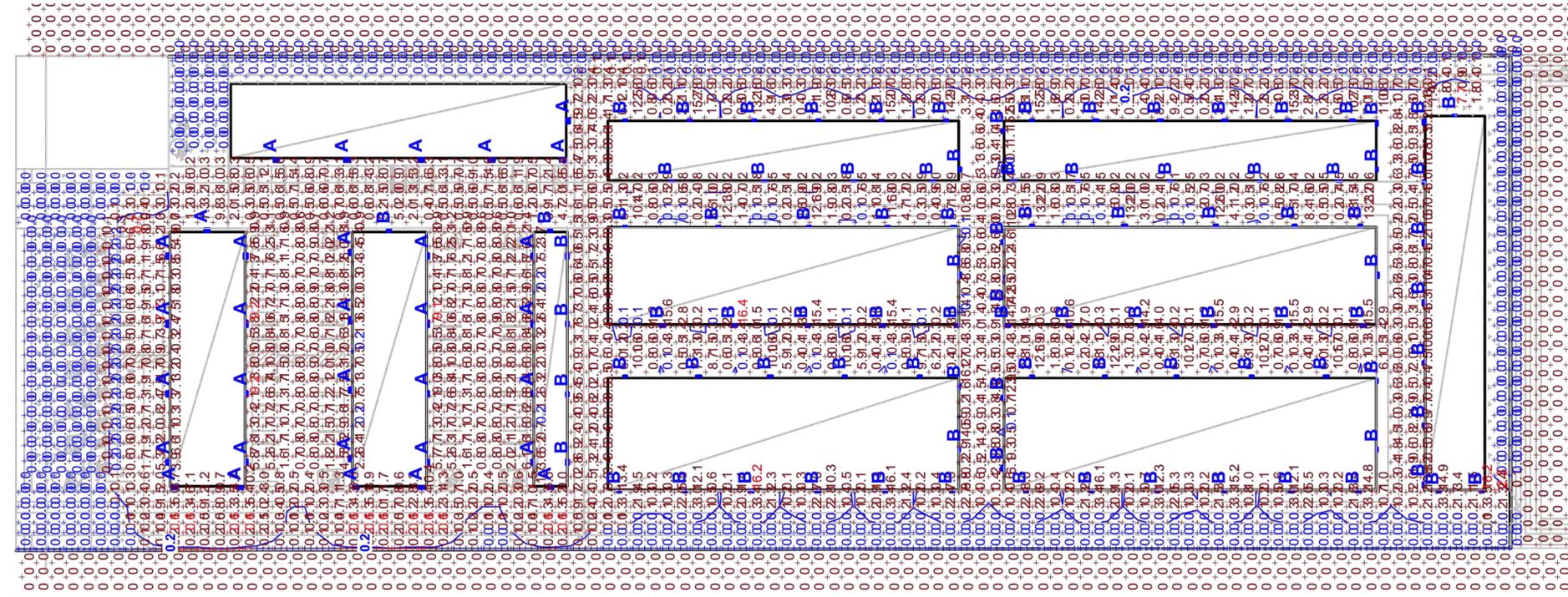
8.18.2014

SHEET NAME:  
**SITE LIGHTING PLAN**

SHEET #:

**AS104**

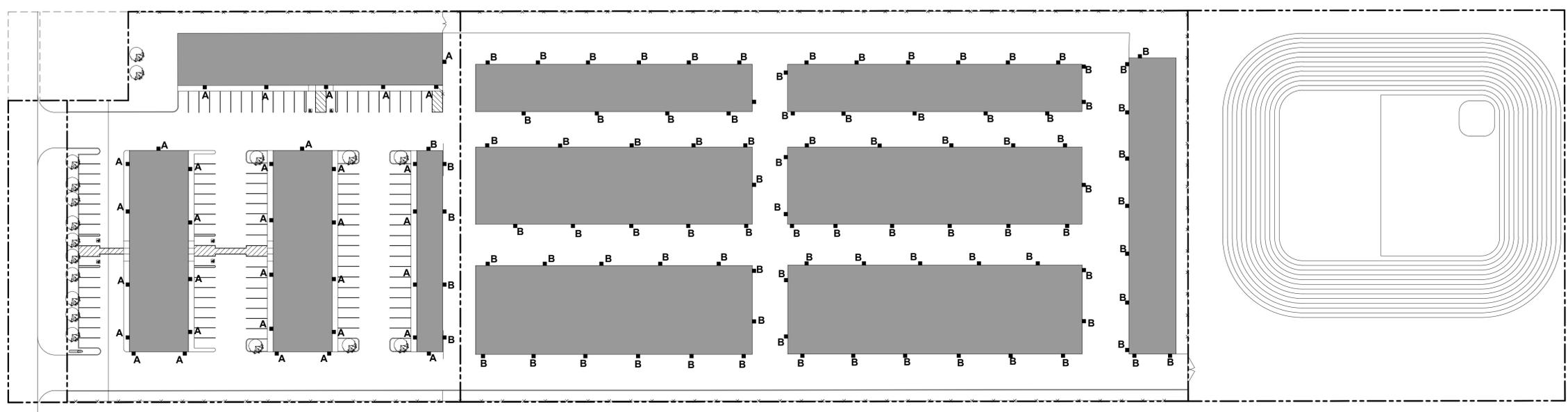
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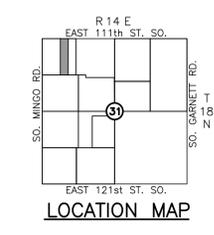
**2 SITE PHOTOMETRIC PLAN**  
 SCALE: NONE

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Beyond West Property Line	+	0.000 fc	0.001 fc	0.000 fc	N/A	N/A
Drive Lanes	+	2.0 fc	16.2 fc	0.0 fc	N/A	N/A
Drive Lanes	+	2.3 fc	16.4 fc	0.1 fc	164.0:1	23.0:1
East Landscape Area	+	0.1 fc	7.7 fc	0.0 fc	N/A	N/A
East of Property Line	+	0 fc	0 fc	0 fc	N/A	N/A
North Landscape Area	+	0.0 fc	0.7 fc	0.0 fc	N/A	N/A
Parking A North	+	1.8 fc	7.7 fc	0.2 fc	38.5:1	9.0:1
Parking A/B	+	2.2 fc	9.2 fc	0.2 fc	46.0:1	11.0:1
Parking B/C	+	2.2 fc	9.1 fc	0.2 fc	45.5:1	11.0:1
South Landscape Area	+	0.0 fc	2.3 fc	0.0 fc	N/A	N/A
South of Property Line	+	0 fc	0 fc	0 fc	N/A	N/A
West Landscape Area	+	0.1 fc	0.6 fc	0.0 fc	N/A	N/A
West Masonry Wall	+	0.1 fc	0.6 fc	0.0 fc	N/A	N/A
West of Property Line	+	0.000 fc	0.000 fc	0.000 fc	N/A	N/A

LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
■	A	32	XTORSA	LUMARK CROSSTOUR MAXX LED 50W - 5000K, FULL CUTOFF		XTOR5A.ies	Absolute	0.91	50.1
■	B	94	XTOR3A	LUMARK CROSSTOUR LED WALL PACK - 30W - 5000K WITH SPECULAR REFLECTOR, CLEAR LENS, AND ALUMINUM HEATSINK		XTOR3A.ies	Absolute	0.91	29.7



**1 SITE LIGHTING PLAN**  
 SCALE: 1"=50'-0"



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ISSUE DATE:

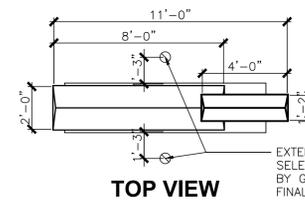
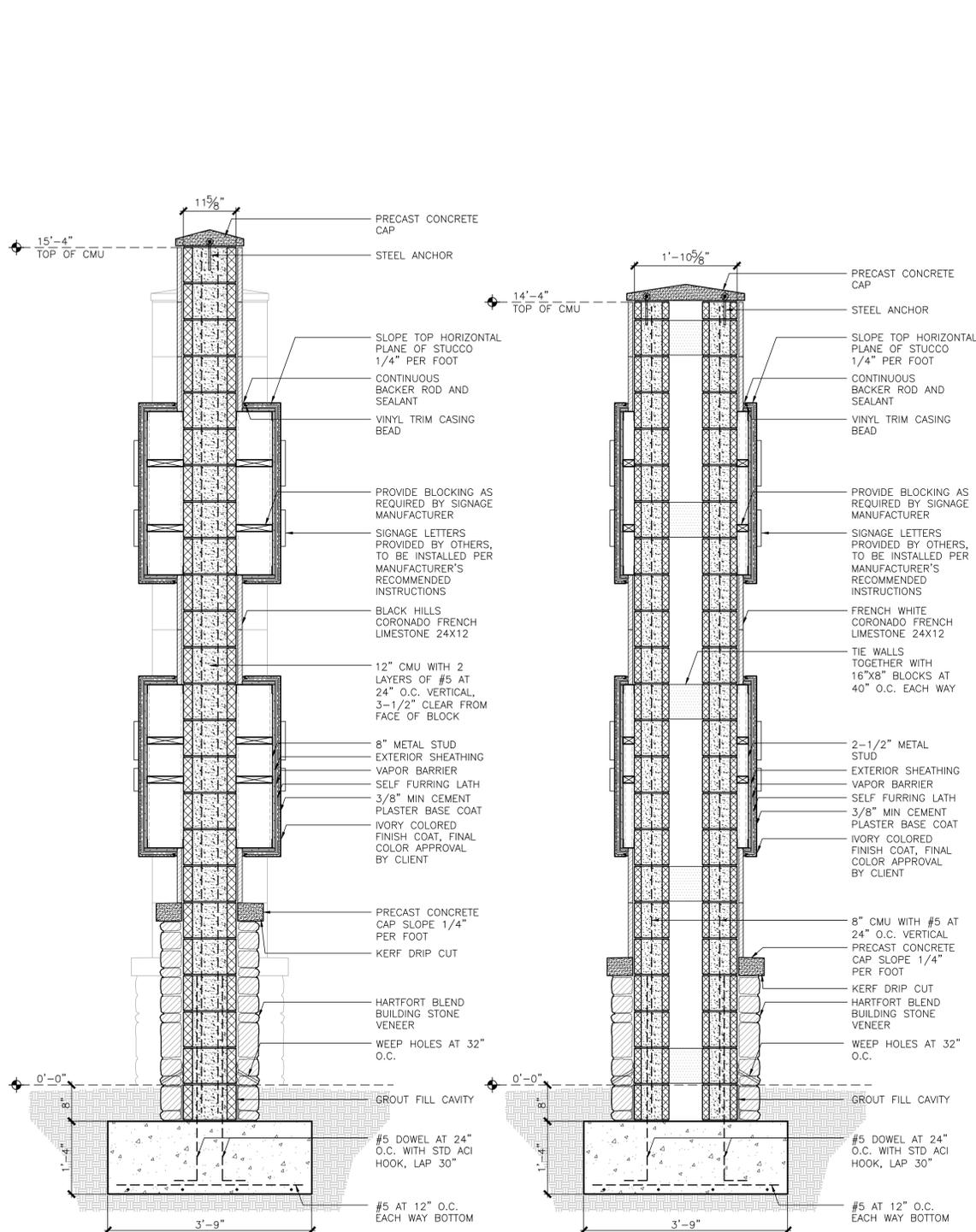
8.18.2014

SHEET NAME:  
**MONUMENT SIGN  
 SITE, PLAN,  
 AND DETAILS**

SHEET #:

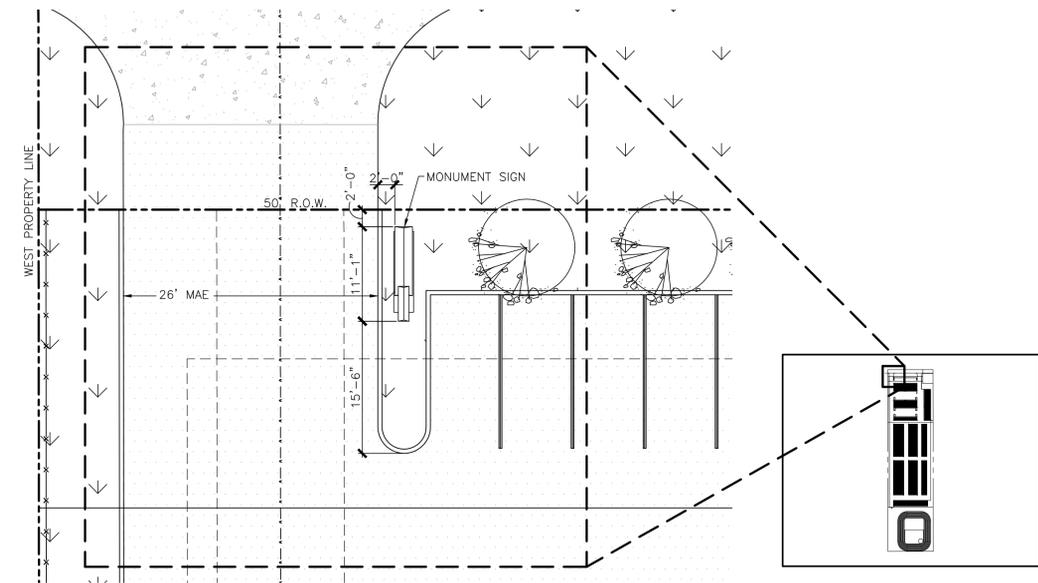
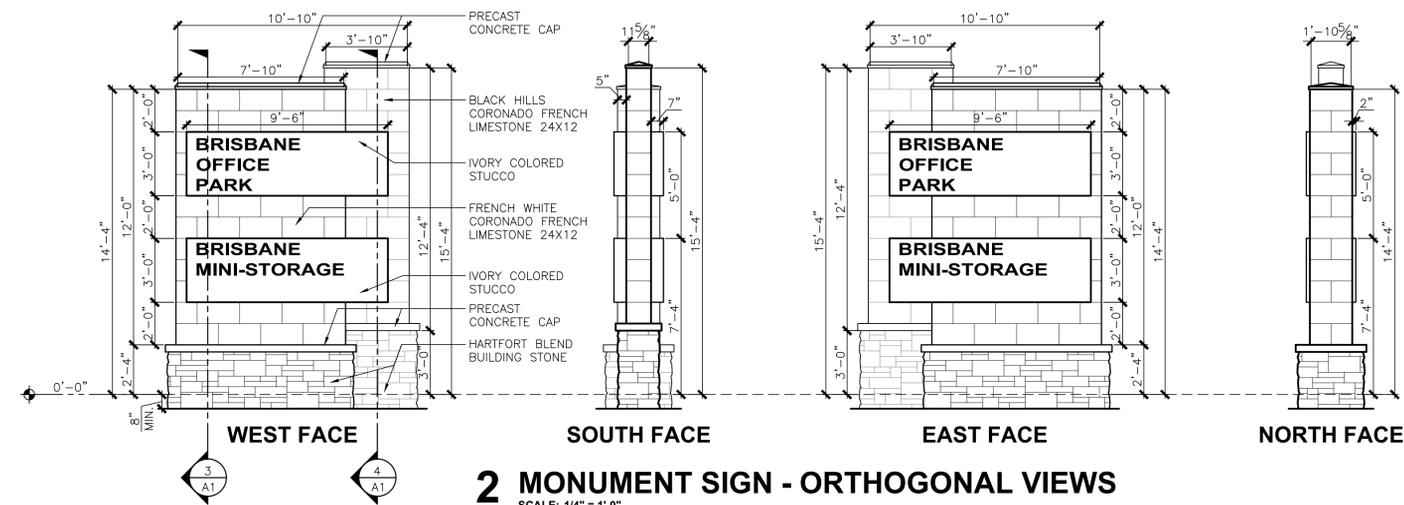
**AS105**

DRAWN BY: AHC



NOTE: EXTERIOR SIGN LETTERS OBTAINED AND INSTALLED BY GENERAL CONTRACTOR. PROVIDE BLOCKING, BACKING, AND/OR MOUNTING BRACKETS AS REQUIRED BY LETTER MANUFACTURER.

NOTE: DIMENSIONS ARE MEASURED FROM OUTER-FACE TO OUTER-FACE OF CMU.



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Office: 918.794.6616 Fax: 918.794.6602 Web: [wdesignsite.com](http://wdesignsite.com)

Mr. Enyart,

Per our conversation on August 18<sup>th</sup> in reference to the Brisbane Office Park in PUD #60, we are submitting this statement as confirmation that Building Elevations for the aforementioned will be forthcoming at least one week prior to the Planning Commission meeting scheduled for September 15<sup>th</sup>, 2014. Other documents are being provided as requested.

Sincerely,

Roger McKee  
Project Manager  
W Design, LLC